



06.06.2024

TS Construction Management

9760 SW Tigard Street

Tigard, OR, 97223

RE: **Lot 9 - Premier Industrial Park – New Buildings – 19225 SW Teton Ave, Tualatin OR 97062**

Dear Property Owner,

You are cordially invited to attend a meeting on **06.20.2024 at 6:00pm** at 19225 SW Teton Ave, Tualatin OR 97062. This meeting shall be held to discuss a proposed project located at 19225 SW Teton Ave, Tualatin OR 97062. The proposal is to discuss the construction of new slab-on-grade commercial metal warehouse buildings.

The purpose of this meeting is to provide a means for the applicant and surrounding property owners to meet and discuss this proposal and identify any issues regarding this proposal.

Regards,



Carson Pike, Project Engineer

TS Construction Management

P.O. Box 885

Tualatin, OR 97062

Cell (503)-867-0051

[cpike@tsconstructionmanagement.com](mailto:cpike@tsconstructionmanagement.com)

# LOT 9 - PREMIER INDUSTRIAL PARK

LIGHT INDUSTRY WAREHOUSE

TUALATIN, OREGON

Project:  
LOT 9  
19225 SW TETON AVE.  
TUALATIN, OR 97062

Architect:

**foci**

Owner:  
KEVIN PIKE  
TBD

General Contractor:  
DANIEL SEASHORE  
TS CONSTRUCTION MGMT  
9760 SW TIGARD ST.  
TIGARD, OR 97223  
T: 503-517-8701

## ABBREVIATION

ACT	ACOUSTICAL CEILING TILE
ADA	AMERICANS WITH DISABILITIES ACT
AFF	ABOVE FINISH FLOOR
ALT	ALTERNATE
ALUM	ALUMINUM
ARCH	ARCHITECTURAL
@	AT
BC	BOTTOM OF CURB
BD	BOARD
BLDG	BUILDING
BLKG	BLOCKING
BS	BOTTOM OF STEP
BTWN	BETWEEN
BW	BOTTOM OF WALL
CEM	CEMENT
CER	CERAMIC
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CLOSET
CLG	CEILING
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONST	CONSTRUCTION
COL	COLUMN
CTR	CENTER
D	DEPTH
DEMO	DEMOLITION
DIA	DIAMETER
DN	DOWN
DOB	DEPARTMENT OF BUILDINGS
DWG	DRAWING
EA	EACH
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
EQ	EQUAL
EQUIP	EQUIPMENT
EXT	EXTERIOR
EXIST	EXISTING
FD	FLOOR DRAIN
FF	FINISH FLOOR
FIN	FINISH(ED)
FIXT	FIXTURE
FL	FLOOR
FT	FOOT/FEET
FTG	FOOTING
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GWB	GYPSON WALL BOARD
GYP	GYPSON
HM	HOLLOW METAL
INSUL	INSULATION
INT	INTERIOR
LAM	LAMINATE
LP	LOW POINT
LT	LIGHT
MAX	MAXIMUM
MDF	MEDIUM DENSITY FIBER BOARD
MEP	MECHANICAL, ELECTRICAL & PLUMBING
MIN	MINIMUM
MO	MASONRY OPENING
MTD	MOUNT(ED)
MTL	METAL
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
NO.	NUMBER
NTS	NOT TO SCALE
OC	ON CENTER
OSB	ORIENTED STRAND BOARD
PERF	PERFORATED
PLYWD	PLYWOOD
POB	POINT OF BEGINNING
PTD	PAINTED
RCP	REFLECTED CEILING PLAN
REINF	REINFORCED
REQ	REQUIRED
RM	ROOM
RO	ROUGH OPENING
SPEC	SPECIFICATION
SQ	SQUARE
SS	STAINLESS STEEL
STL	STEEL
SUSP	SUSPENDED
TBD	TO BE DETERMINED
TC	TOP OF CURB
TEL	TELEPHONE
T&G	TONGUE & GROOVE
TS	TOP OF STEP
TW	TOP OF WALL
TYP	TYPICAL
VIF	VERIFY IN FIELD
W	WIDTH
W/	WITH
WD	WOOD
WIN	WINDOW

## PROJECT DATA

<b>PROJECT DESCRIPTION:</b>	TWO NEW SPECULATIVE LIGHT INDUSTRIAL BUILDINGS (4600 & 3280 SF RESPECTIVELY). BUILDINGS TO BE METAL BUILDING WITH A 3'-6" SPLIT-FACE CMU WAINSCOT. THE LARGER BUILDING WILL HAVE (3) GRADE-LEVEL OVERHEAD DOORS WHILE THE OTHER WILL HAVE (2).
<b>SITE AND ZONING INFORMATION</b>	
<b>PROJECT ADDRESS:</b>	19225 SW TETON AVE, TUALATIN, OR, 97062 LOT 9 PREMIERE INDUSTRIAL PARK
<b>LEGAL DESCRIPTION:</b>	TLID: 2S123CB00401 STATE ID: 2 S 1 23 CB 00401 TAX ACCOUNT NUMBER: R2049030
<b>PROJECT TYPE:</b>	NEW BUILDING
<b>SITE AREA:</b>	35,078 (.8 ACRES)
<b>NEIGHBORHOOD</b>	N/A
<b>WETLAND PROTECTION DISTRICT</b>	DEVELOPMENT IS LOCATED WITH IN THE HEDGES CREEK WETLAND PROTECTION DISTRICT. 12.5% OF TOTAL AREA

## ZONING CODE SUMMARY

ZONING CODE SUMMARY	STANDARDS	PROPOSED
<b>ZONING</b> T.D.C CHAPTER 61	MANUFACTURING GENERAL (MG)	COMPLAINT
<b>LOT SIZE</b> TABLE 61-2	20,000 SF	COMPLAINT (35,078 SF)
<b>HEIGHT</b> TABLE 61-2	MAX HEIGHT (30'-0")	24' (SEE ELEVATIONS)
<b>SETBACKS</b> TABLE 61-2	<b>FRONT</b> 30' <b>SIDE</b> 0-50' <b>REAR</b> 0-50'	COMPLAINT (53') COMPLAINT (17' MIN) COMPLAINT (40' TYP)
<b>PARKING SPACES REQUIRED</b> T.D.C. 73C-100	MINIMUM PARKING REQUIRED: MANUFACTURING = 12 (1.6/1000 SF)	PROVIDED: 2 ADA PARKING SPACES 10 STANDARD PARKING SPACES 2 COMPACT SPACES
<b>LOADING BERTHS REQ'D:</b> T.D.C. 73C-390 (1)	0 BERTHS (INDUSTRIAL 0-5,000 SF)	0 BERTHS (BOTH BUILDINGS < 5,000 SF)
<b>BICYCLE PARKING REQ'D:</b> T.D.C. 73.370 (2)	MANUFACTURING - 0.1/1000 SF @ 7880 SF = 0.4 SPACES (2 MIN)	4 SPACES (2 PER BLDG) (NOTE - LOCATE 4 INSIDE BUILDING - SEE A1.1 FOR LOCATION AND DETAIL 9/A0.2)
<b>LANDSCAPE REQUIRED:</b> T.D.C. 73.240 (3)	TOTAL - 15% OF DEVELOPED SITE (1,386 SF)	TOTAL - 17.2% (1,589 SF)
<b>LANDSCAPED PARKING ISLAND</b> REQUIRED: T.D.C. 73.360 (1)	25 SF/PARKING SPACE @ 7 SPACES = 175 SF	LANDSCAPED PARKING ISLAND AREA PROVIDED: 288 SF

## BUILDING CODE SUMMARY

<b>BUILDING CODE ANALYSIS</b>	
<b>OCCUPANCY:</b>	GROUP B (BUSINESS) / S-1 (MODERATE HAZARD STORAGE)
<b>CONSTRUCTION TYPE:</b>	V-B (NON-SPRINKLERED)
<b>SITE AREA:</b>	35,078 SQ FT
<b>BUILDING FOOTPRINT</b>	BUILDING A - 4600 SF BUILDING B - 3280 SF TOTAL - 7,880 SF
<b>DEVELOPED AREA</b>	
<b>WETLAND BUFFER:</b>	
<b>IMPERVIOUS AREA:</b>	1528 SF = 1,285 (BUILDING) + 243 (DRIVEWAY/WALKWAY)
<b>GOVERNING CODES :</b>	TUALATIN DEVELOPMENT CODE
<b>APPLICABLE BUILDING CODE:</b>	2022 OREGON STRUCTURAL SPECIALTY CODE 2022 OREGON MECHANICAL SPECIALTY CODE 2023 OREGON PLUMBING SPECIALTY CODE 2023 OREGON ELECTRICAL SPECIALTY CODE 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE 2022 OREGON FIRE CODE

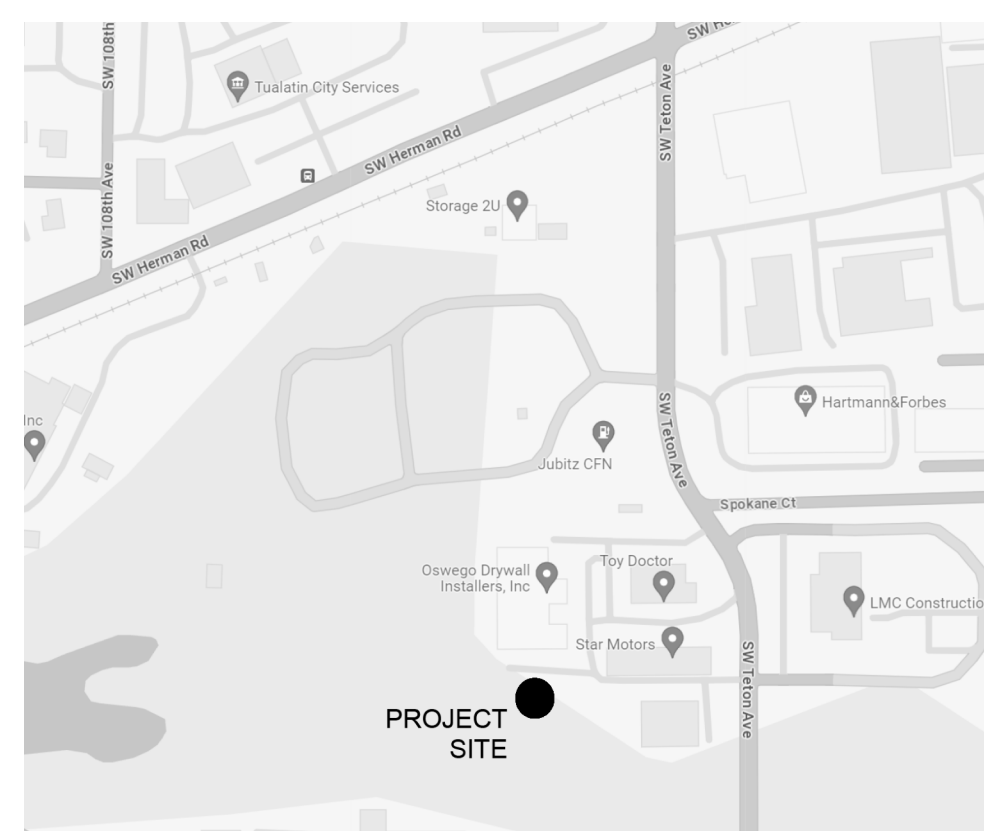
## PROJECT DIRECTORY

<b>OWNER INFORMATION:</b>
KEVIN PIKE 19602 Derby Court West Linn, Oregon 97068 503-516-2367 kevinpike@comcast.net
<b>GENERAL CONTRACTOR INFORMATION:</b>
DAN SEASHORE TS CONSTRUCTION 503-517-8701 dseashore@tsconstructionmanagement.com CCB #
<b>ARCHITECT</b>
TRAVIS NISSEN, RA FOCI LLC 608-406-0810 nissen.travis@gmail.com
<b>STRUCTURAL ENGINEER</b>
JEREMY GAVELIN, PE NEST STRUCTURAL 509-590-9242 jeremy@neststructural.com
<b>CIVIL ENGINEER</b>
TOM SISUL SISUL ENGINEERING 503-657-0188 tomsisul@sisulengineering.com

## GENERAL NOTES

- THE DRAWINGS REPRESENT DESIGN INTENT ONLY AND DO NOT NECESSARILY REFLECT EXACT FIELD CONDITIONS. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE CONDITIONS AND MEASUREMENTS OF THE EXISTING CONDITIONS AND MEASUREMENTS OF THE THE EXISTING CONDITIONS PRIOR TO BEGINNING WORK OR ORDERING MATERIALS.
- ALL WORK SHALL BE IN CONFORMANCE WITH THE INTERNATIONAL BUILDING CODE (CURRENT EDITION) WITH LOCAL AMENDMENTS; APPLICABLE STATE, CITY AND COUNTRY CODES, STATUES, REGULATIONS AND ORDINANCES.
- DO NOT SCALE OFF THE DRAWINGS; IF NEEDED THE ARCHITECT SHOULD BE CONSULTED FOR CLARIFICATION
- DIMENSIONS INDICATED ON THE DRAWINGS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE
- PROVIDE ALL WORK IDENTIFIED IN THESE PERMIT DOCUMENTS IN THE CONFIGURATION SHOWN. DO NOT DEVIATE FROM THESE CONFIGURATIONS WITHOUT THE SPECIFIC WRITTEN PERMISSION OF THE BUILDING OWNER.
- PROTECT PROPERTY, ADJACENT PROPERTY AND BUILDING MATERIALS FROM DAMAGE DUE TO CONSTRUCTION.
- ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS SHALL BE COORDINATED WITH THE ARCHITECT. THE DESIGNER SHALL E EXEMPT FROM LIABILITY IF CHANGES IMPACT THE WORK AREA OR RELATED AREAS WITHOUT CONSENT AND WRITTEN APPROVAL. THE ARCHITECT WILL HAVE (5) WORKING DAYS TO REVIEW SUCH SUBMITTALS.
- CONTRACTOR TO PROVIDE ALL NECESSARY TEMPORARY SUPPORT FOR WALLS AND FLOORS PRIOR TO COMPLETION OF VERTICAL AND LATERAL LOAD SYSTEMS.

## VICINITY MAP

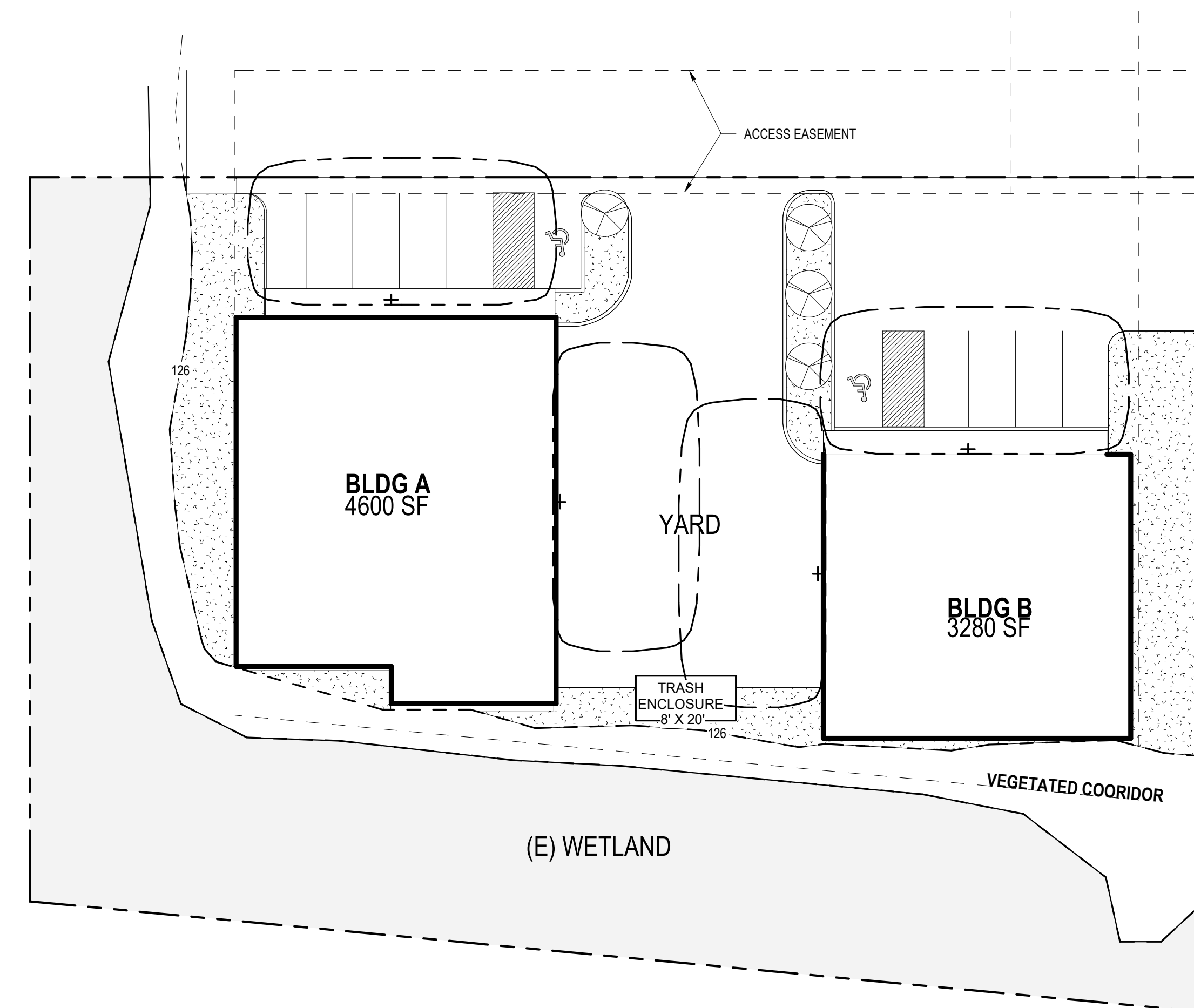


SHEET LIST		
NUMBER	NAME	PERMIT
A0.00	PROJECT INFORMATION	•
A0.01	SITE PLAN	•
A0.02	LANDSCAPE PLAN	•
A1.00	FLOOR PLAN - LEVEL 1	•
A1.01	ROOF PLAN	•
A2.01	ELEVATIONS	•
A7.00	SCHEDULES & DETAILS	•
A7.10	WALL/CEILING ASSEMBLIES	•
A8.00	GENERAL NOTES	•

## DEFERRED SUBMITTALS:

FIRE SPRINKLER:	NOT APPLICABLE
FIRE ALARM / DETECTION:	NOT APPLICABLE
MECHANICAL:	SEPARATE
PLUMBING:	SEPARATE
ELECTRICAL:	SEPARATE
EQUIPMENT ANCHORAGES:	SEPARATE

NOTE: SEPARATE PERMITS REQUIRED FOR DEFERRED SUBMITTALS. DESIGN BUILDERS ARE RESPONSIBLE FOR THE DESIGN OF THEIR SYSTEM AND COMPONENTS. ELEMENTS SHOWN IN DOCUMENTS ARE SCHEMATIC ONLY. PROVIDE DEFERRED SUBMITTALS TO ARCHITECT FOR REVIEW PRIOR TO SUBMITTAL.



## 1 SITE LIGHTING

1" = 20'-0"

### SITE LIGHTING LEGEND

- ADA PARKING SPACE
- BUILDING MOUNTED LIGHT FIXTURE - MOUNT AT 13'0" ABOVE FINISH FLOOR LED WALL 'DIRECTOR' BY KIM LIGHTING

### SITE LIGHTING NOTES

- CONTRACTOR SHALL VERIFY & CONFIRM EXISTING CONDITIONS SHOWN OR IMPLIED ON DRAWINGS PRIOR TO THE START OF CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES
- ISOLUMS SHOWN ILLUSTRATE APPROXIMATE .5FC RING IN PARKING AND ACCESSIBLE AREAS
- ALL LIGHTING SHOWN SHALL BE MODIFIED WITH CUTOFF FIXTURES AS REQUIRED TO PREVENT LIGHT FROM SHINING OFF DEVELOPED AREA.
- ALL LIGHT SOURCE TO BE LED
- SEE FIXTURE CUT-SHEETS FOR ADDITIONAL INFORMATION

Date Issue  
7-9-24 AR REVIEW

Seal and Signature:

Project No: 00001  
Dwg By: Author  
Chk By: Checker

PROJECT INFORMATION  
**A0.00**

Pg No:




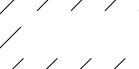
**NOTES**

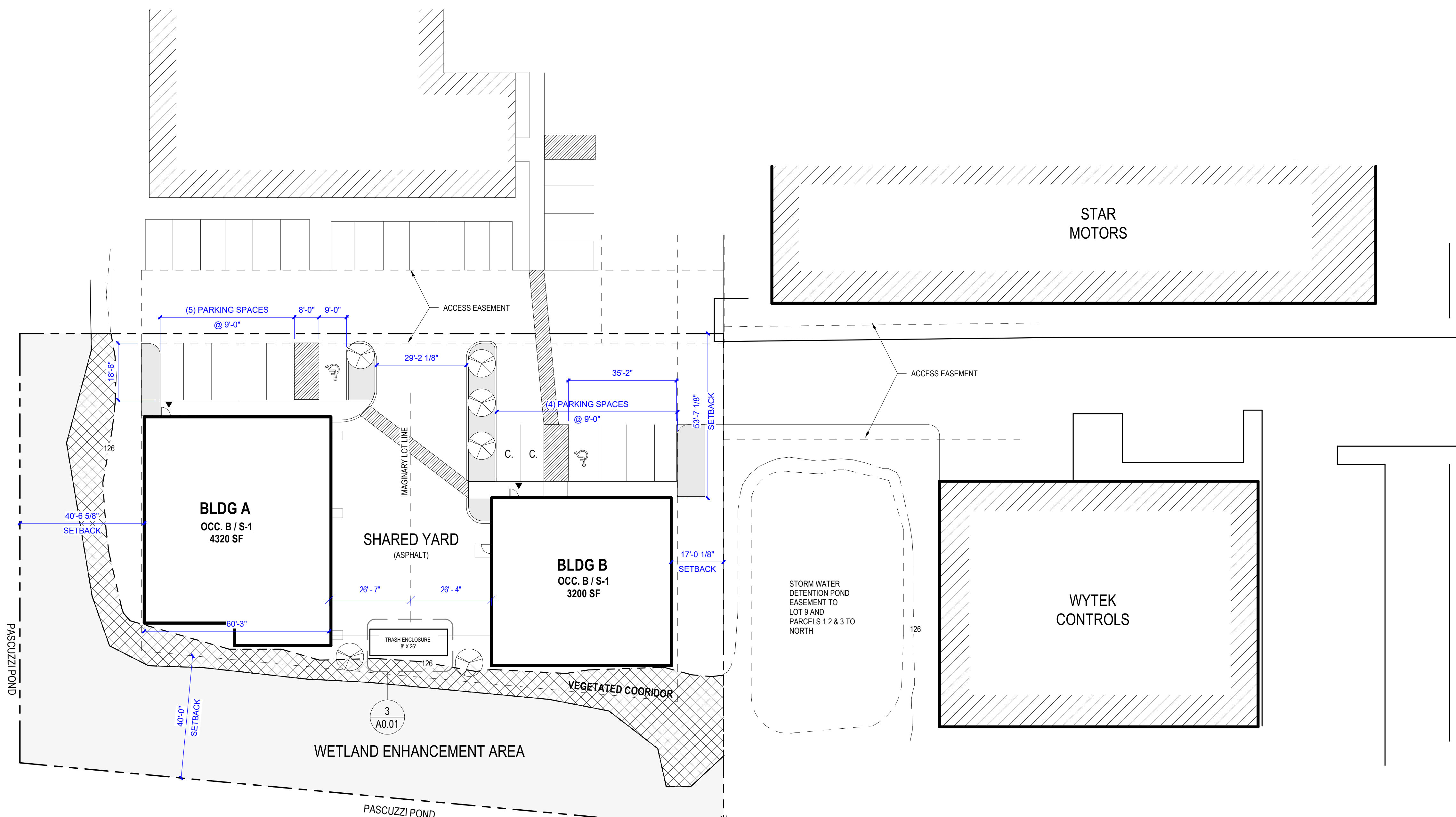
- DIMENSIONS SHOWN ARE TO FACE OF FINISH OR CENTERLINE OF COLUMN OR GRID LINE UNLESS NOTED OTHERWISE.
- DOORS NOT LOCATED BY DIMENSION ARE TO BE CENTERED IN WALLS AS SHOWN OR LOCATED 4 1/2" FROM FACE OF STUD TO FACE OF JAMB.
- DIMENSIONS AT OPENING IN STUD WALLS ARE TO CENTER OF ASSEMBLY UNLESS NOTED OTHERWISE. USE DIMENSIONS SHOWN; IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM DRAWINGS.
- CONDITIONS AND DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE. TYPICAL DETAILS NOT REFERENCED ON DRAWINGS APPLY UNLESS NOTED OTHERWISE BY SPECIFIC NOTES AND DETAILS. WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR THE TYPICAL CONSTRUCTION OF THE PROJECT.
- WHERE NO SPECIFIC STANDARDS ARE APPLIED TO A MATERIAL OR METHOD OF CONSTRUCTION TO BE USED ON THE WORK, ALL SUCH MATERIAL AND METHODS ARE TO MAINTAIN STANDARDS OF THE INDUSTRY AND, WHERE APPLICABLE, MANUFACTURER'S INSTRUCTIONS.
- ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING WITH APPROPRIATE TRADES, DRAWINGS, AND SUBCONTRACTORS PRIOR TO CONSTRUCTION. PROVIDE ALL NECESSARY ANCHORAGE, BLOCKING, BACKING, FRAMING FOR DOOR STOPS, CASEWORK, SHELING, WALL MOUNTED EQUIPMENT, AND ALL OTHER ITEMS AS REQUIRED FOR COMPLETE INSTALLATION.
- CONFIRM ALL ROUGH OPENING DIMENSIONS FOR DOORS AND WINDOWS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- WHERE A LENGTH OF WALL IS INTERSECTED BY PERPENDICULAR WALLS, WALL TYPE TO BE CONTINUOUS BETWEEN TAGS UNLESS NOTED OTHERWISE.
- SEE A7.10 FOR TYPICAL DEFLECTION HEAD DETAILS, ACOUSTIC WALL DETAILS, AND FIRE RATED WALL DETAILS.

**PARKING:**

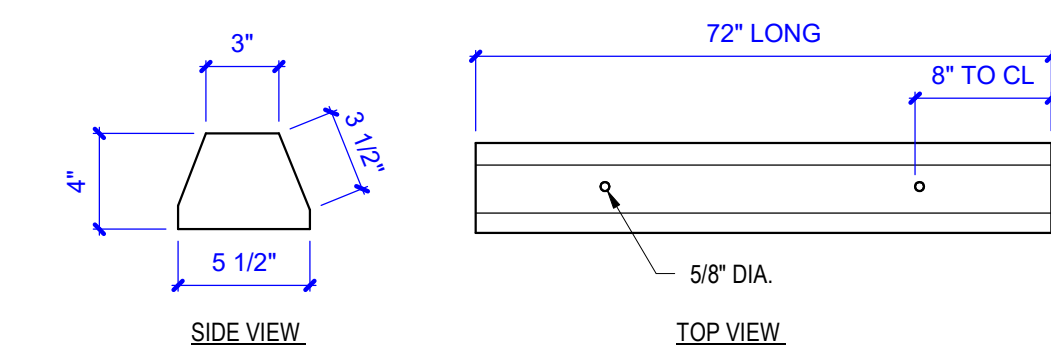
- STANDARD PARKING SPACES:  
 WIDTH: 9'-0"  
 DEPTH: 18'-6"  
 OVERHANG: 2'-6" WHERE INDICATED ON PLANS
- COMPACT PARKING SPACES:  
 WIDTH: 7'-6"  
 DEPTH: 15'-0"  
 OVERHANG: 2'-6" WHERE INDICATED ON PLANS

**LEGEND**

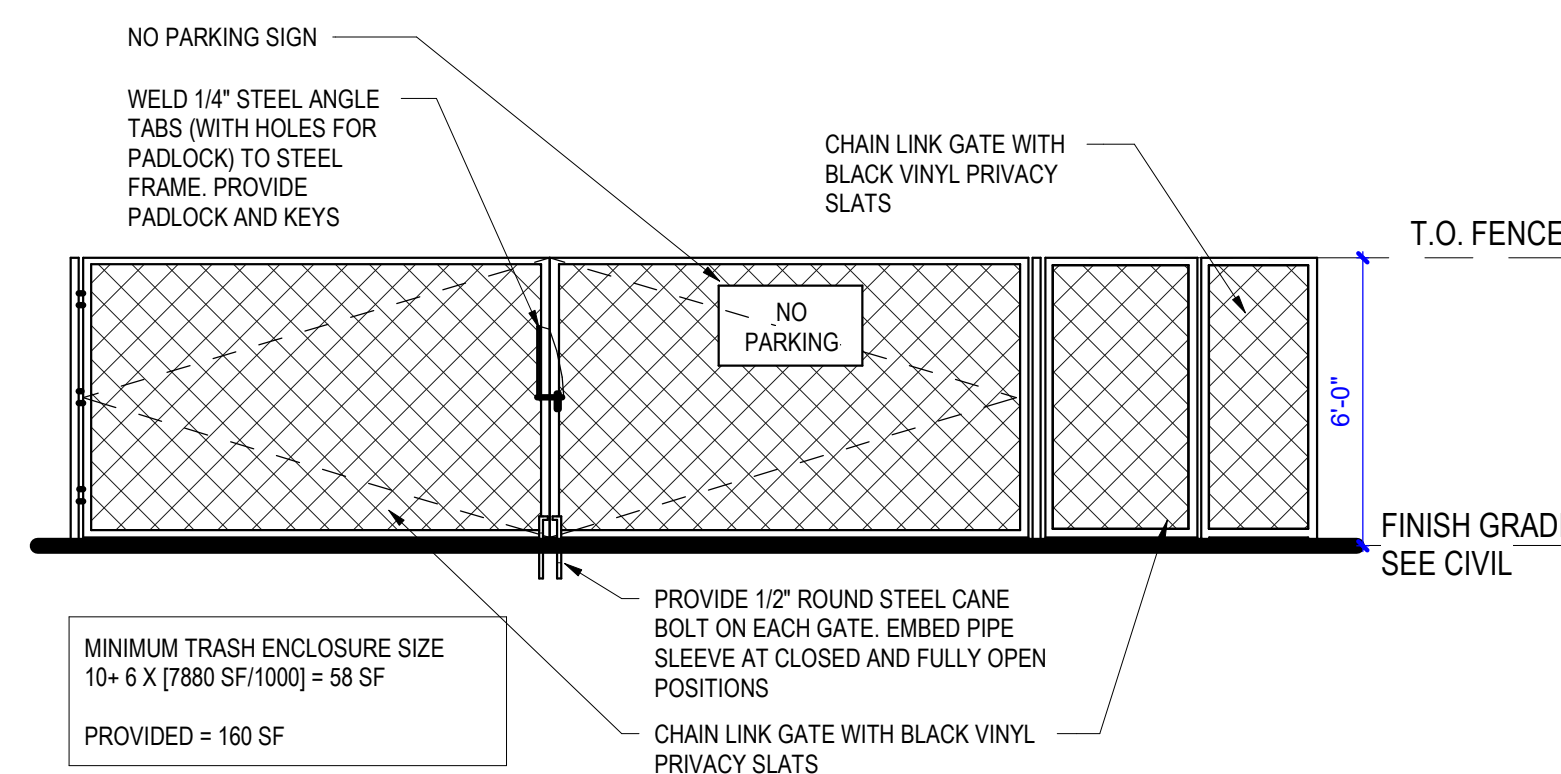
-  PRIMARY / PUBLIC ENTRANCE
-  WETLANDS
-  VEGETATED CORRIDOR
-  EXISTING BUILDING



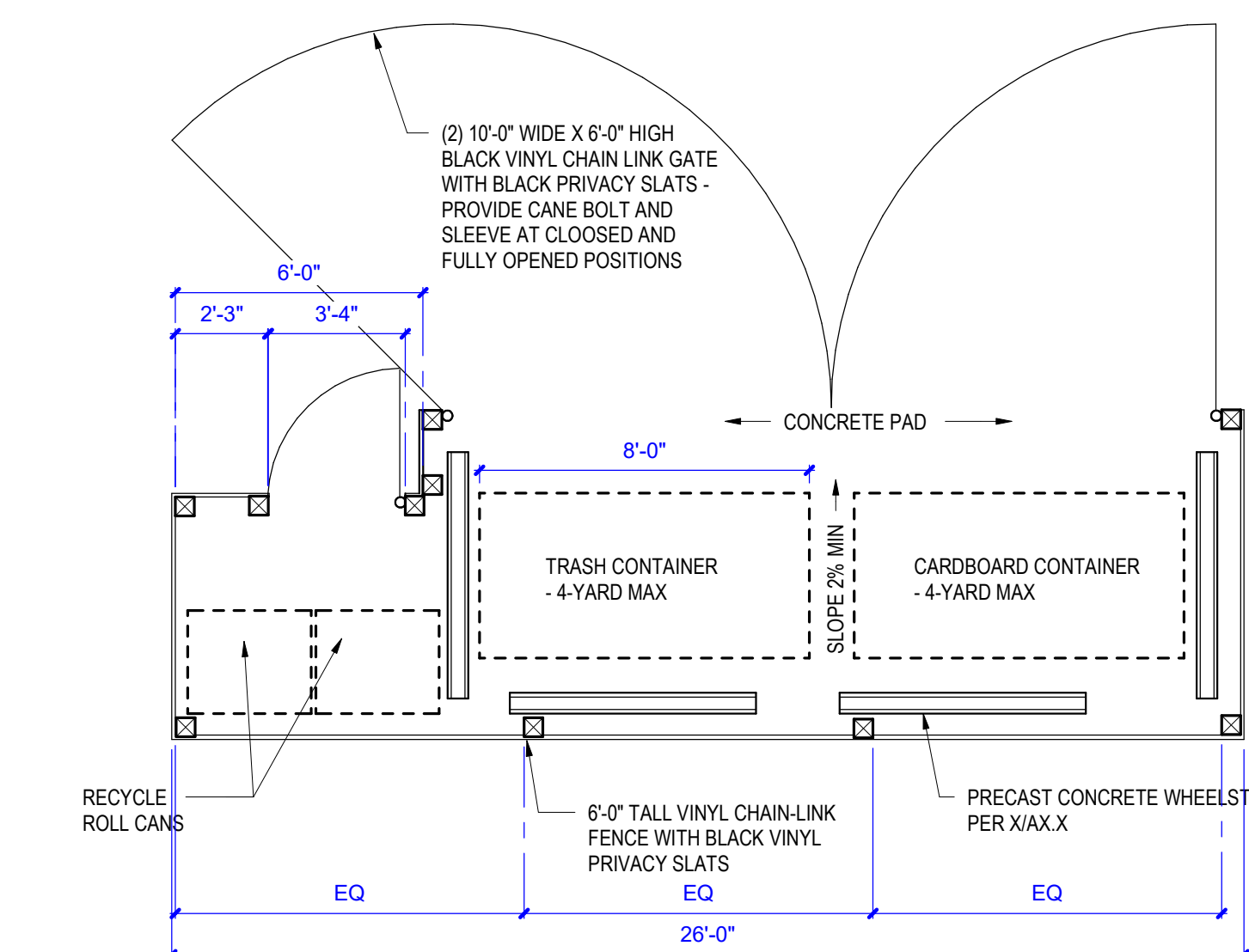
**2 SITE PLAN**  
 1" = 20'-0"



**1 WHEEL STOP**  
 1 1/2" = 1'-0"



**4 TRASH ENCLOSURE ELEVATION**  
 1/4" = 1'-0"



**3 TRASH ENCLOSURE**  
 1/4" = 1'-0"

Date	Issue
7-9-24	AR REVIEW

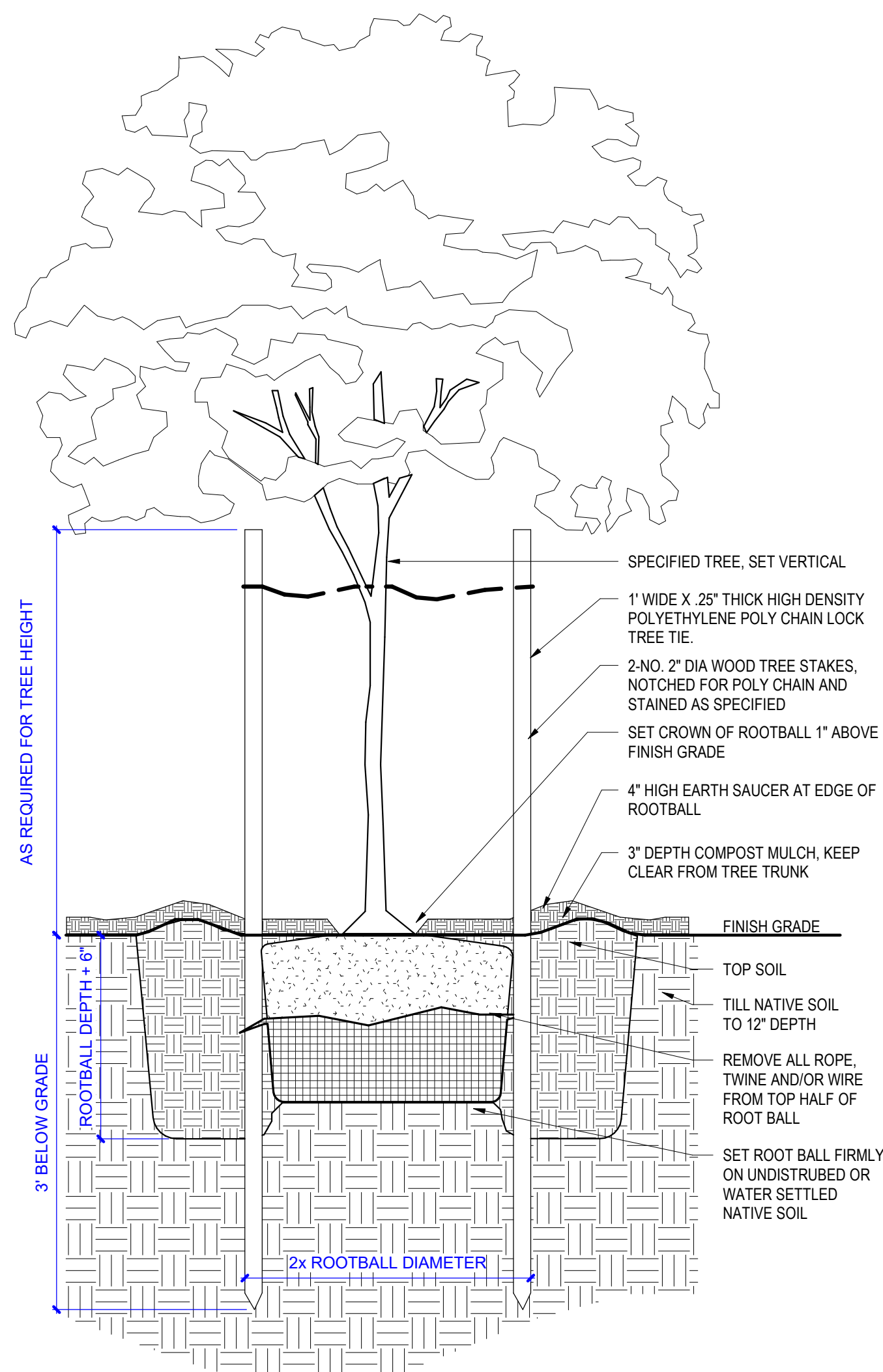
Seal and Signature:

Project No: 00001  
 Dwg By: Author  
 Chk By: Checker

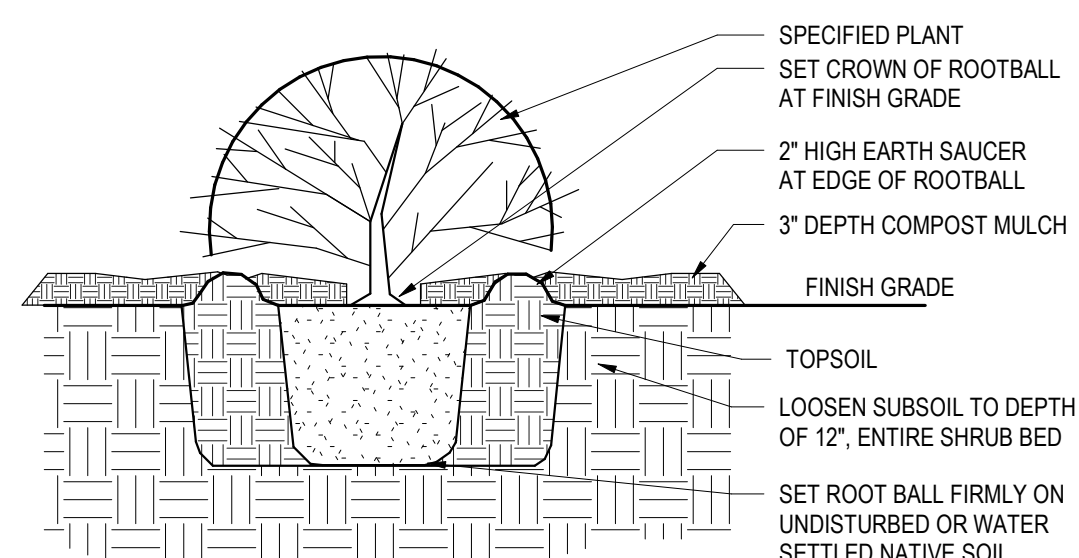
**SITE PLAN**

**A0.01**

Pg No:



**1 DECIDUOUS TREE PLANTING**  
 3" = 1'-0"



**2 SHRUB AND GROUNDCOVER DETAIL**  
 3" = 1'-0"

**IRRIGATION NOTES**

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED TO COVER ALL PLANTED AREAS. EQUIPMENT USED SHALL BE TORO, RAINBIRD, OR APPROVED EQUIVALENT.
2. ALL VALVES ARE TO BE PLACED IN APPROVED LOCKING VALVE BOXES, OR MINIMUM 2 CUBIC FEET OF DRAIN ROCK.
3. INSTALL BACKFLOW PREVENTION DEVICES AND MANUAL SHUTOFF VALVES IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES.
4. MAKE PROVISION TO DRAIN ALL SYSTEMS. INSTALL MANUAL DRAIN VALVES AT POINT OF CONNECTION.
5. SUBMITTAL: AT COMPLETION OF PROJECT, PROVIDE OWNER WITH AS-BUILT DRAWINGS, MAINTENANCE SUMMARY AND ALL BROCHURES OR INSTRUCTIONS INCLUDED WITH EQUIPMENT. AS-BUILT DRAWINGS TO SHOW LOCATION OF ALL VALVES.
6. MAINTENANCE: DURING FIRST YEAR GUARANTEE PERIOD, SHUT DOWN AND WINTERIZE SYSTEM NO LATER THAN NOV. 1ST. ACTIVATE SYSTEM IN SPRING, NO LATER THAN MAY 15TH. CONTRACTOR TO BE RESPONSIBLE FOR ANY DAMAGES RESULTING FROM FREEZING WATER IN LINES AND IMPROPER WINTERIZING OF SYSTEM DURING THE FIRST YEAR.
7. GUARANTEE: THE ENTIRE SYSTEM SHALL BE UNCONDITIONALLY GUARANTEED AS TO MATERIALS AND WORKMANSHIP, INCLUDING BUT NOT LIMITED TO SETTLING OF BLACKFILL AREAS OR TO DAMAGE TO LAWN, PLANTINGS, PAVING ETC. FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE. ANY AREA, MATERIALS OR WORKMANSHIP REQUIRING REPAIR SHALL BE WITH COST TO OWNER.

**PLANTING NOTES**

(E) WETLAND BUFFER - 10,024 SF  
 VEGETATED COORIDOR - 3400 SF  
 GENERAL LANDSCAPE - 3700 SF

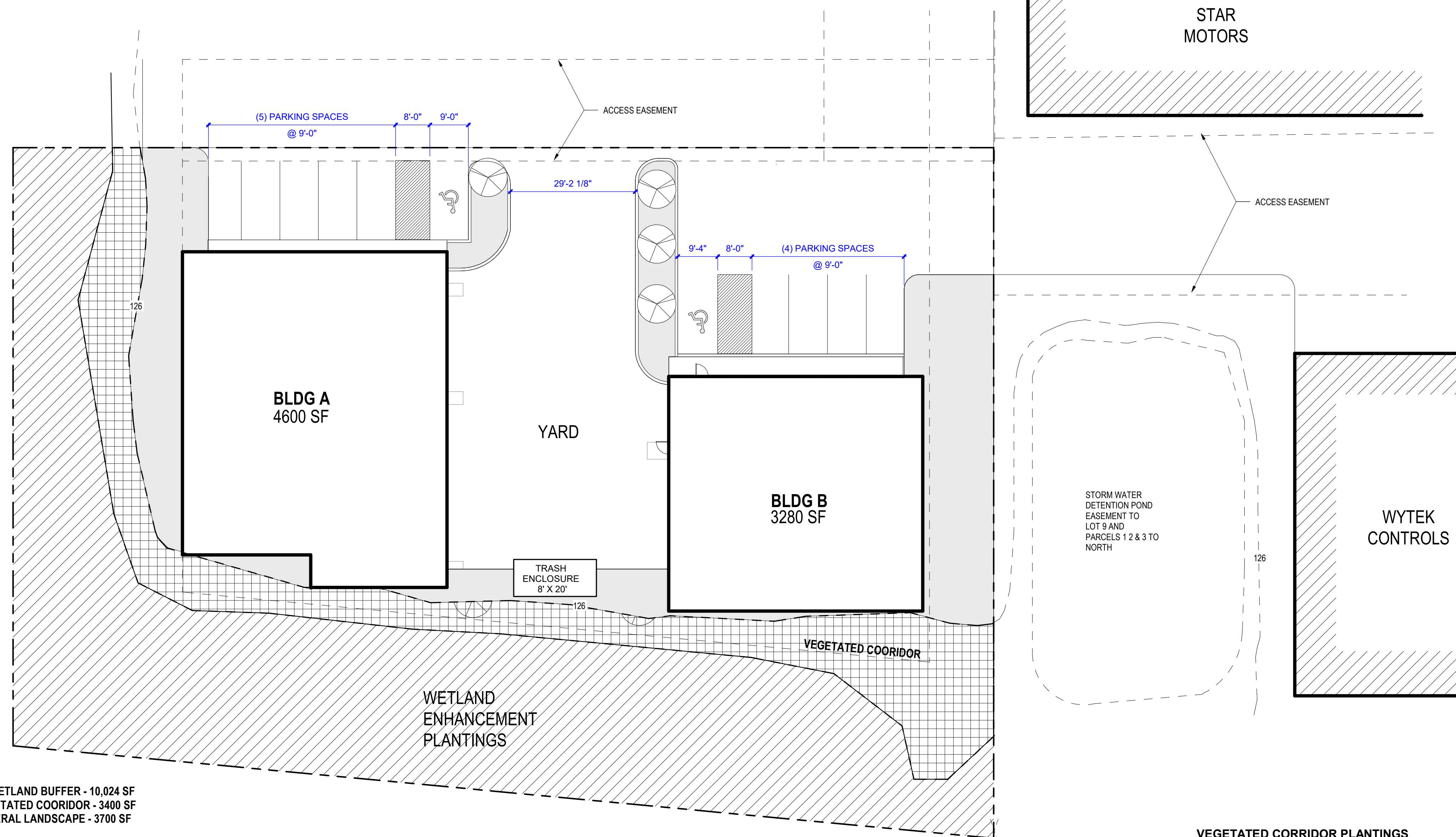
50%

OVERALL BUILDING AREA = 8,040 SF  
 BUILDING AREA (GROSS) - 7880 SF  
 TRASH ENCLOSURE 160 SF

IMPERVIOUS AREA (INCLUDING STORAGE YARD) - 8,8189 SF  
 SIDEWALK - 500 SF

OVERALL SITE - 34,482 SF

**3 LANDSCAPE AREA REQUIREMENTS**  
 1/16" = 1'-0"



**LANDSCAPE REQUIREMENTS**

TOTAL SITE AREA - LOT 9:  
 REQUIRED LANDSCAPE AREA (PER CODE 12.5%\*)  
 TOTAL LANDSCAPE AREA PROVIDED 7100 SF

TOTAL NUMBER OF PARKING SPACES  
 REQUIRED LANDSCAPE AREA PER STALL

TREES REQUIRED IN PARKING AREA  
 TOTAL NUMBER OF TREES PROVIDED IN ISLANDS

\*DEVELOPMENT IS LOCATED WITH IN THE HEDGES CREEK WETLAND PROTECTION DISTRICT. 12.5% OF TOTAL AREA

**VEGETATED CORRIDOR PLANTINGS**

Acer circinatum	VINE MAPLE
Alnus rubra	WESTERN RED ALDER
Amelanchier alnifolia	WESTERN SERVICEBERRY
Betula papyrifera	PAPER BIRCH
Salix lucida	SHINING WILLOW
Quercus rubra	NORTHERN RED OAK

<b>SHRUBS</b>	<b>SHRUBS</b>
Cornus sericea	REA OSTER DOGWOOD
Holodiscus discolor	OCEANSPRAY
Mahonia aquifolium	OREGON GRAPE
Mahonia aquifolium 'Compacta'	COMPACT OREGON GRAPE
Rhododendron 'Peter J. Mezzit'	PJM RHODODENDREN
Ribes sanguineum	RED FLOORING CURRRANT
Rosa nutkana	NOKIA ROSE
Spiraea douglasii	DOUGLAS SPIRE
Vaccinium ovatum	EVERGREEN HUCKLEBERRY

**VEGETATED CORRIDOR PLANTINGS (ACTUALLY SPACED)**

<b>TREES</b>			
Rhamnus purshiana	Cascara	2 Gal.	17
Crataegus douglasii	Douglas hawthorn	2 Gal.	17

<b>SHRUBS</b>			
Rosa gymnocarpa	Baldhip rose	1 Gal.	40
Amelanchier alnifolia	Serviceberry	2 Gal.	30
Symphoricarpos albus	Snowberry	1 Gal.	40
Mahonia aquifolium	Tall Oregon grape	1 Gal.	40

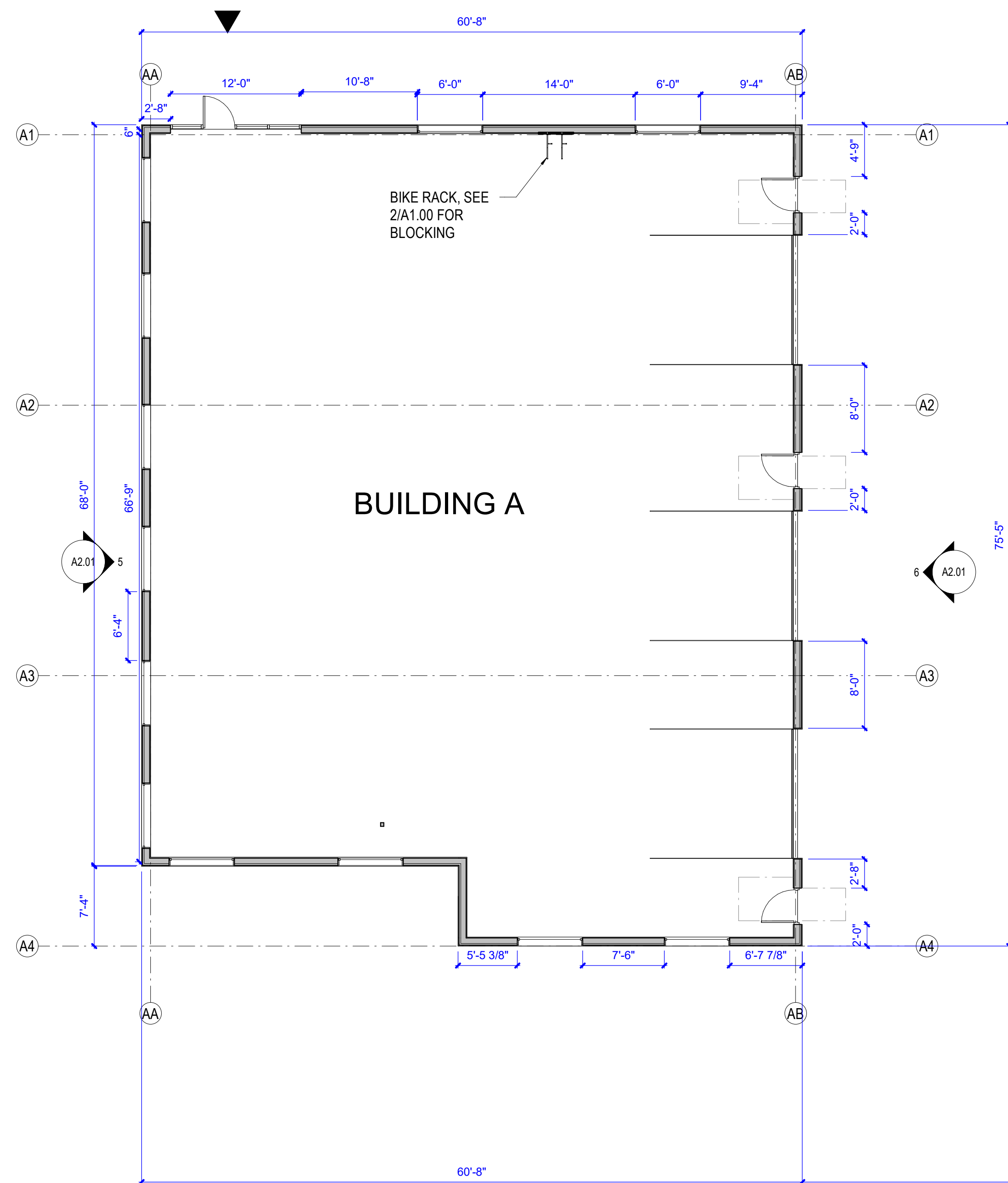
<b>HERBS/GROUND COVER</b>			
Agrostis exarata	Spike bentgrass	Seed	AS NEEDED
Elymus glaucus	Blue wildrye	Seed	AS NEEDED

**WETLAND ENHANCEMENT PLANTINGS**

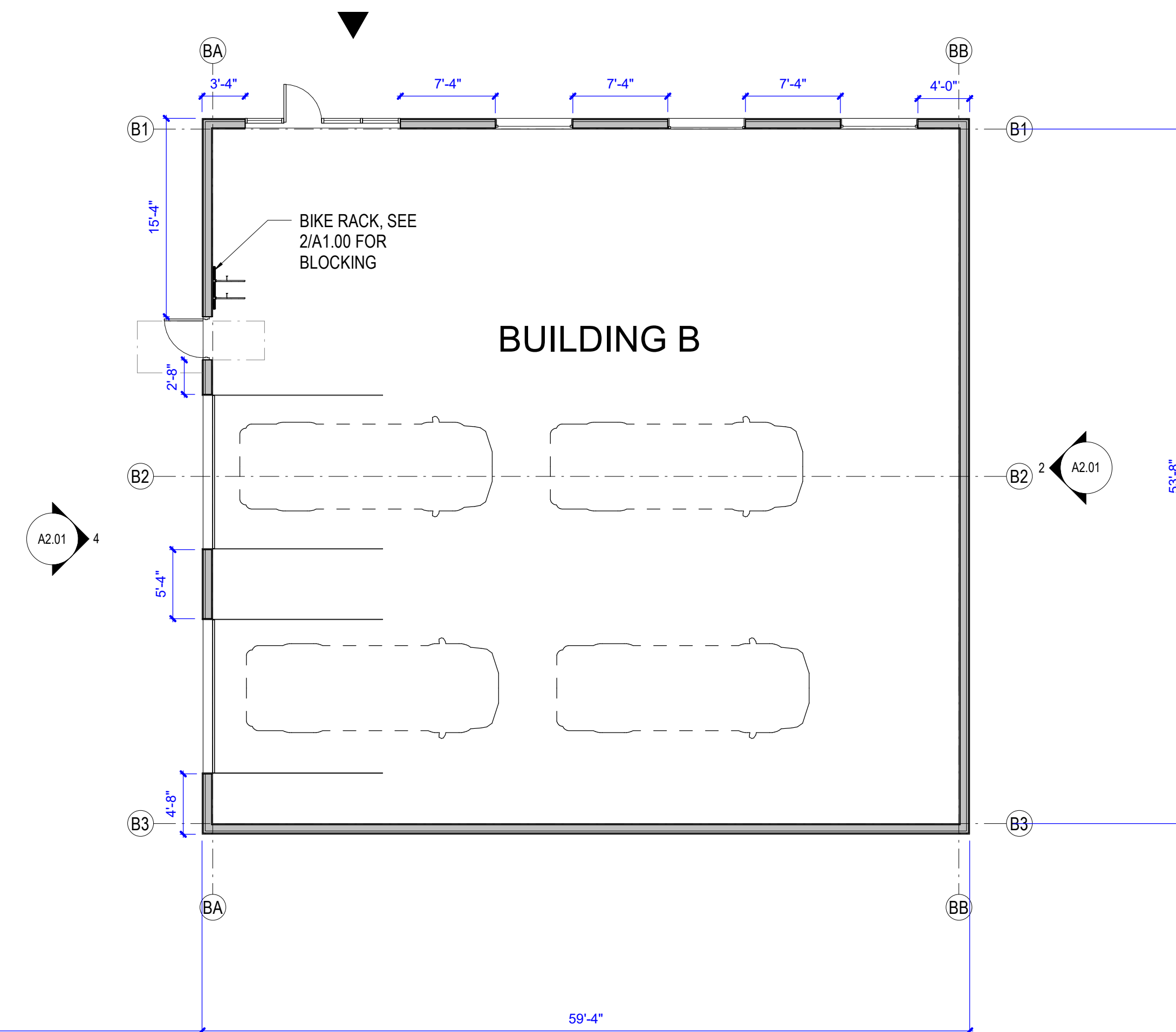
<b>TREES</b>			
Salix lasiandra	Pacific willow	1 Gal.	25
Salix sitchensis	Sitka willow	1 Gal.	25

<b>SHRUBS</b>			
Cornus sericea	Red Oster Dogwood	1 Gal.	75
Physocarpus capitatus	Pacific Ninebark	1 Gal.	40
Rosa pisocarpa	Clustered Rose	1 Gal.	55
Spiraea douglasii	Douglas Spiraea	1 Gal.	75

<b>HERBS/GROUND COVER</b>			
Agrostis exarata	Spike bentgrass	Seed	AS NEEDED
Glyceria elata	Tall managrass	Seed	AS NEEDED



**1** LEVEL 1 FLOOR PLAN  
 1/8" = 1'-0"

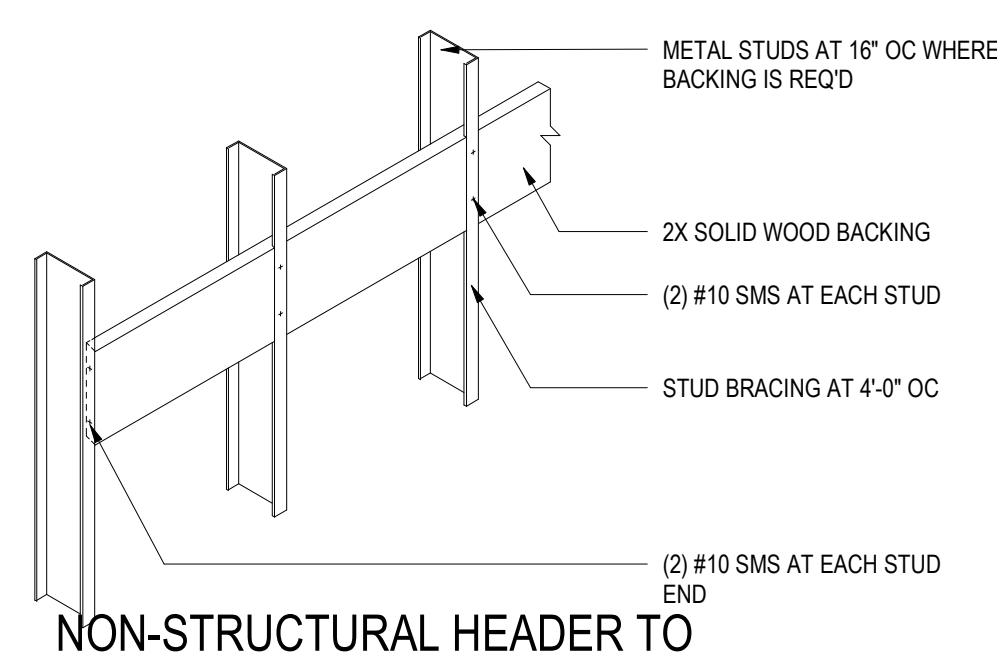


**LEGEND**

- ▲ PRIMARY / PUBLIC ENTRANCE
- △ SECONDARY ENTRANCE OR EGRESS
- HS-1 HUMIDITY SENSOR: SURFACE-MOUNTED DWYER MAGNEHELIC DIFFERENTIAL PRESSURE GAUGE

**NOTES**

1. DIMENSIONS SHOWN ARE TO FACE OF FINISH OR CENTERLINE OF COLUMN OR GRID LINE UNLESS NOTED OTHERWISE.
2. DOORS NOT LOCATED BY DIMENSION ARE TO BE CENTERED IN WALLS AS SHOWN OR LOCATED 4 1/2" FROM FACE OF STUD TO FACE OF JAMB.
3. DIMENSIONS AT OPENING IN STUD WALLS ARE TO CENTER OF ASSEMBLY UNLESS NOTED OTHERWISE.
4. USE DIMENSIONS SHOWN; IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM DRAWINGS.
5. CONDITIONS AND DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE. TYPICAL DETAILS NOT REFERENCED ON DRAWINGS APPLY UNLESS NOTED OTHERWISE BY SPECIFIC NOTES AND DETAILS. WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR THE TYPICAL CONSTRUCTION OF THE PROJECT.
6. WHERE NO SPECIFIC STANDARDS ARE APPLIED TO A MATERIAL OR METHOD OF CONSTRUCTION TO BE USED ON THE WORK, ALL SUCH MATERIAL AND METHODS ARE TO MAINTAIN STANDARDS OF THE INDUSTRY AND, WHERE APPLICABLE, MANUFACTURER'S INSTRUCTIONS.
7. ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING WITH APPROPRIATE TRADES, DRAWINGS, AND SUBCONTRACTORS PRIOR TO CONSTRUCTION.
8. PROVIDE ALL NECESSARY ANCHORAGE BLOCKING, BACKING, FRAMING FOR DOOR STOPS, CASEWORK, SHELVING, WALL MOUNTED EQUIPMENT, AND ALL OTHER ITEMS AS REQUIRED FOR COMPLETE INSTALLATION.
9. CONFIRM ALL ROUGH OPENING DIMENSIONS FOR DOORS AND WINDOWS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
10. WHERE A LENGTH OF WALL IS INTERSECTED BY PERPENDICULAR WALLS, WALL TYPE TO BE CONTINUOUS BETWEEN TAGS UNLESS NOTED OTHERWISE.
11. SEE AT 10 FOR TYPICAL DEFLECTION HEAD DETAILS, ACOUSTIC WALL DETAILS, AND FIRE RATED WALL DETAILS.



**2** NON-STRUCTURAL HEADER TO JAMB  
 3" = 1'-0"

Date	Issue
7-9-24	AR REVIEW

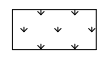


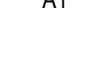
Seal and Signature:

Project No: 00001  
 Dwg By: Author  
 Chk By: Checker

**FLOOR PLAN -**  
**LEVEL 1**  
**A1.00**

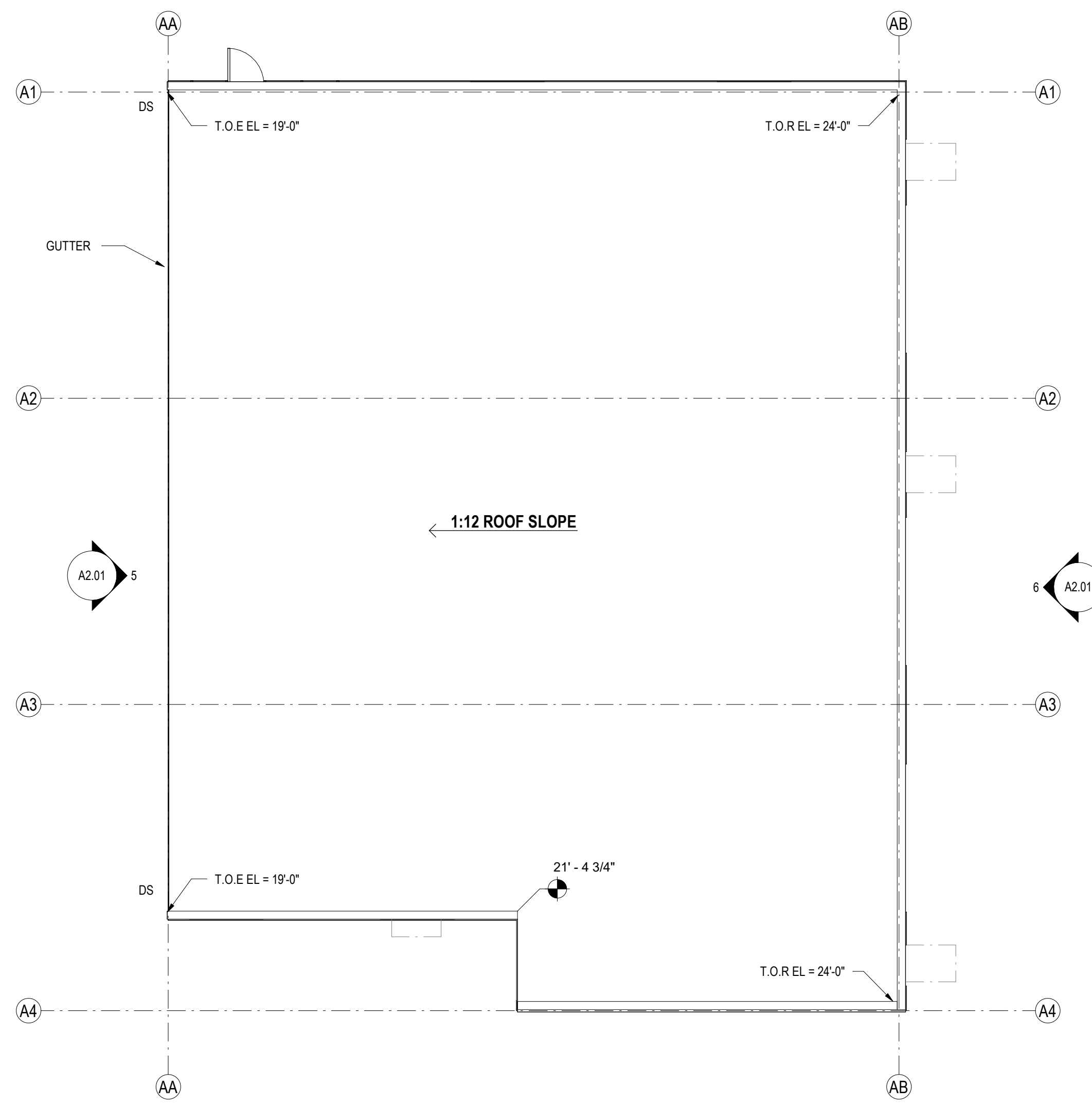
Pg No:

**LEGEND**

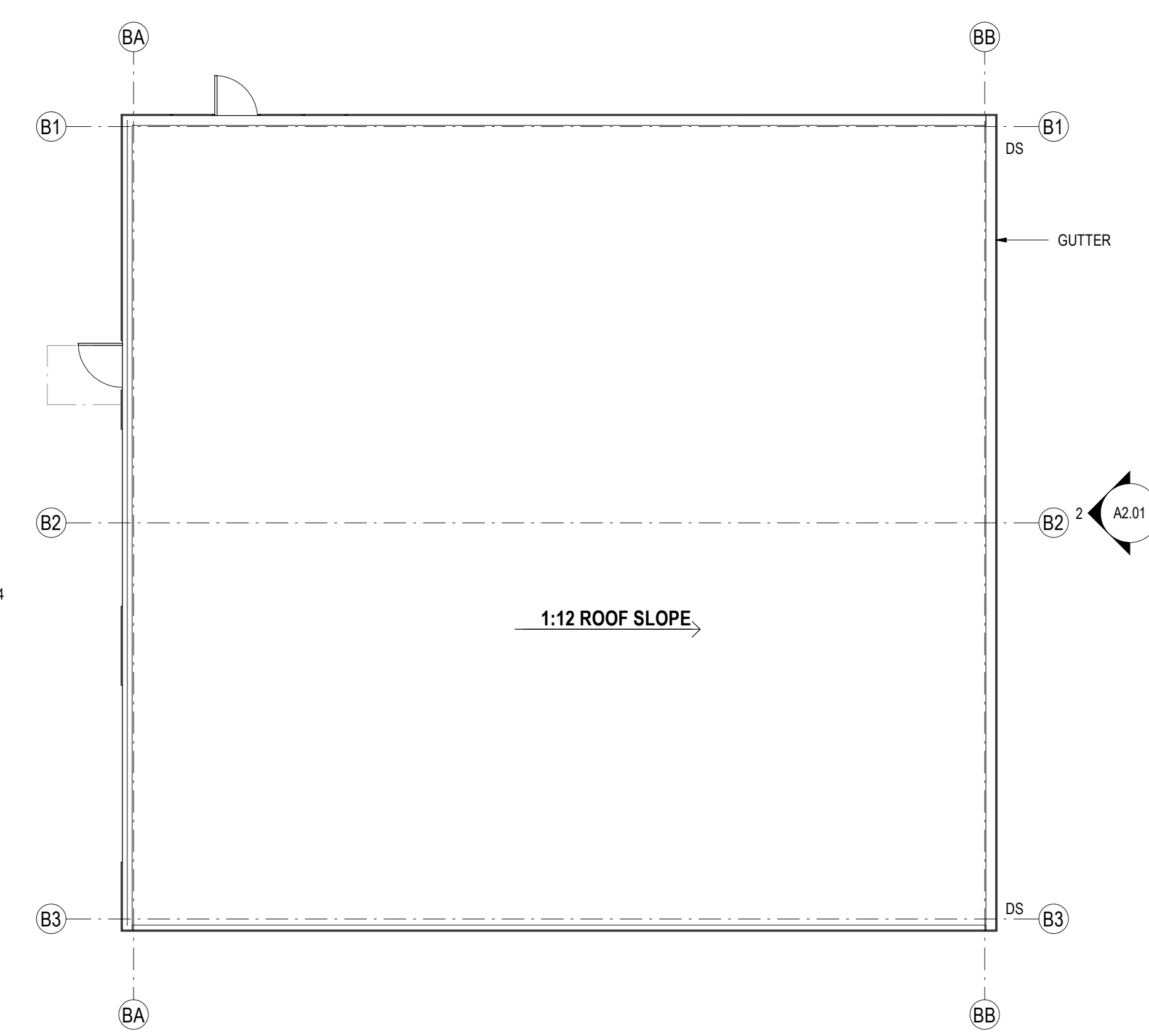
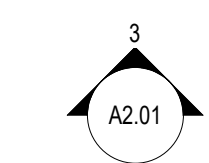
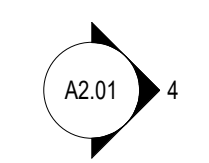
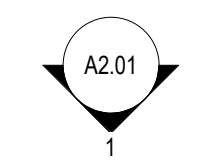
-  Sustainable Roof Zone
-  Roof Drain
-  Wall tag
-  Door Tag

**NOTES**

1. FUTURE ROOFTOP UNITS TO BE SCREENED PER CITY OF TUALATIN DEVELOPMENT CODE



**1 ROOF**  
 1/8" = 1'-0"



Date	Issue
7-9-24	AR REVIEW

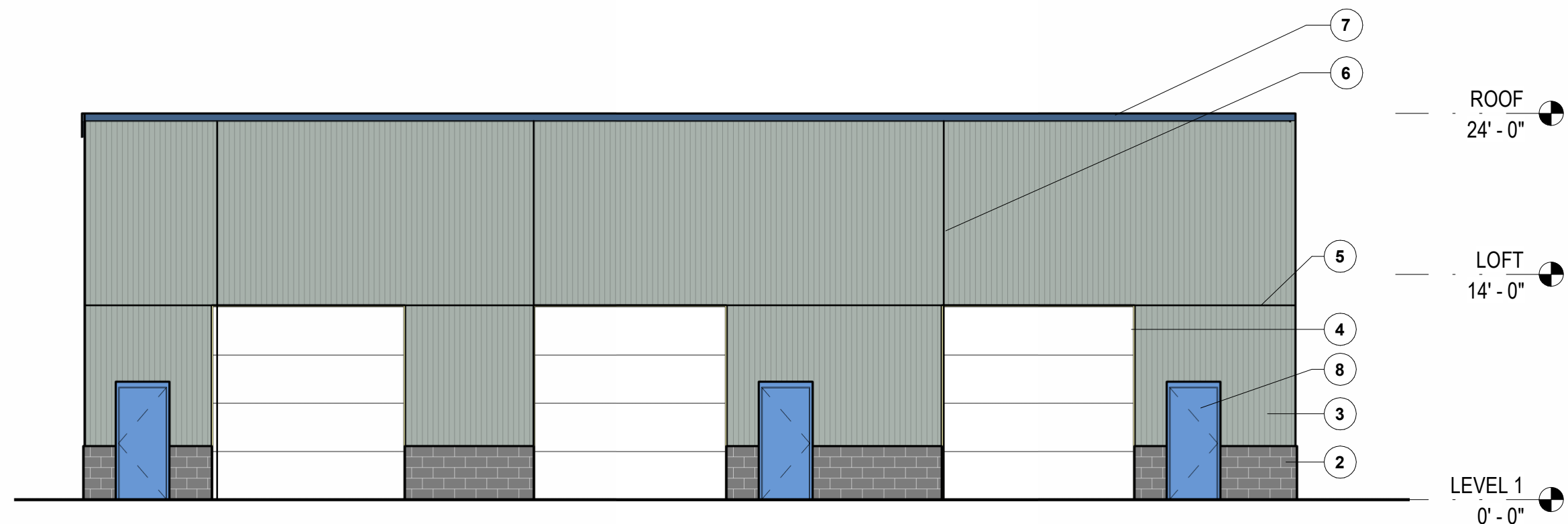
Seal and Signature:

Project No: 00001  
 Dwg By: Author  
 Chck By: Checker

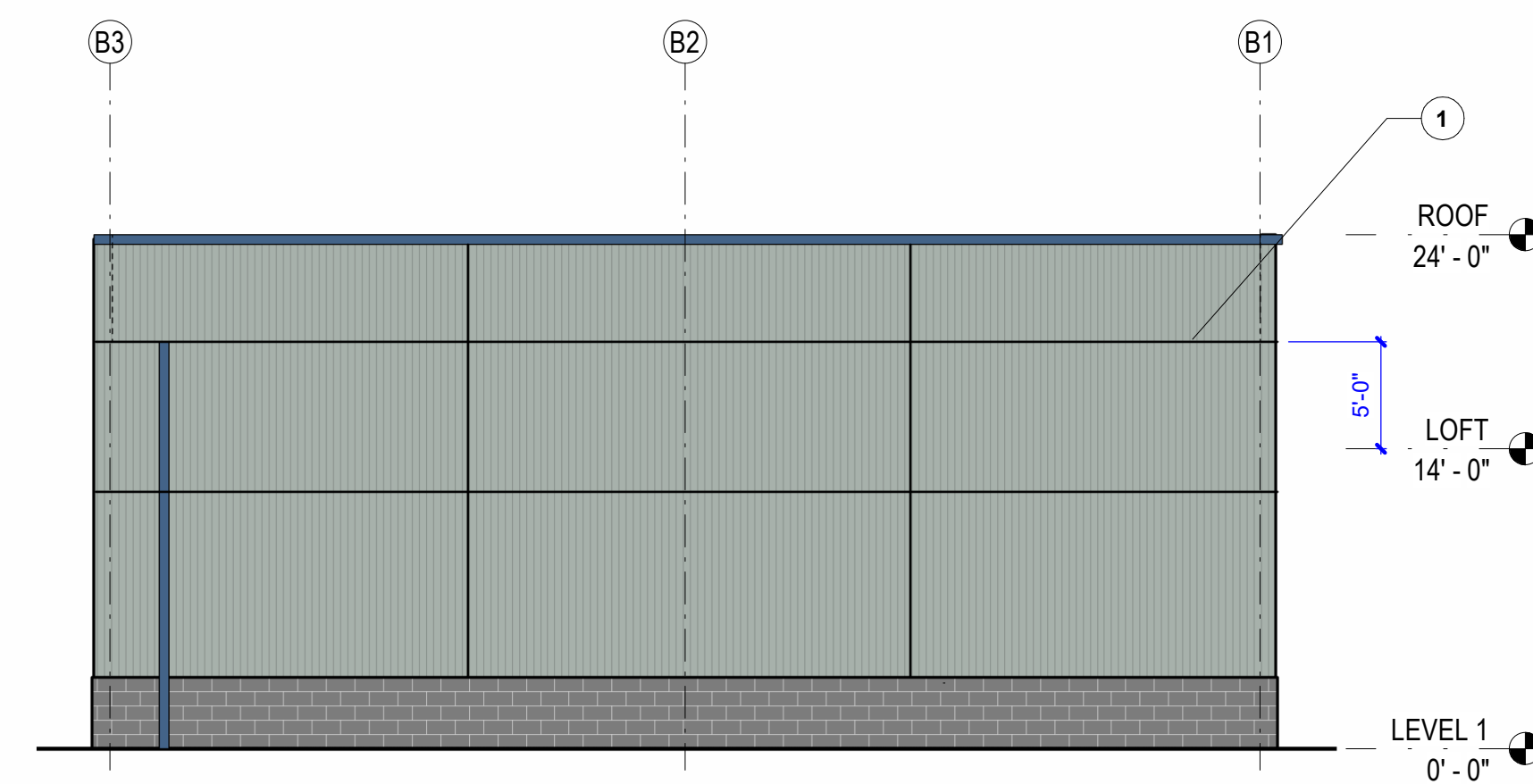
ROOF PLAN

**A1.01**

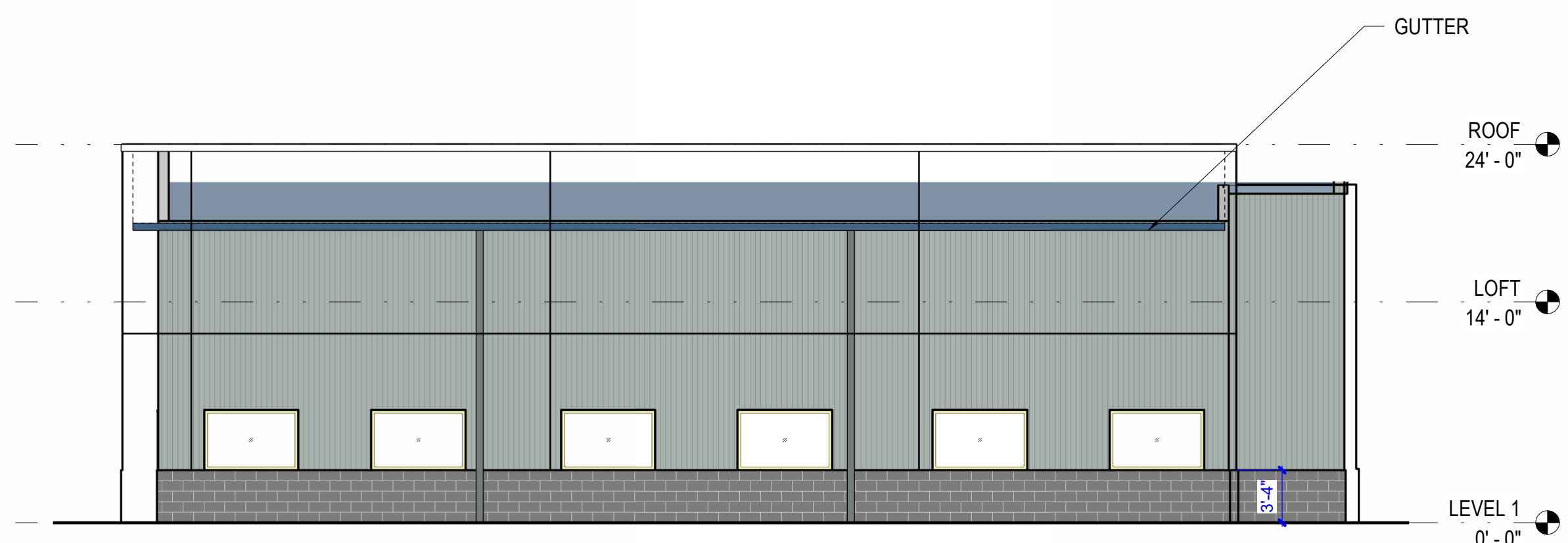
Pg No:



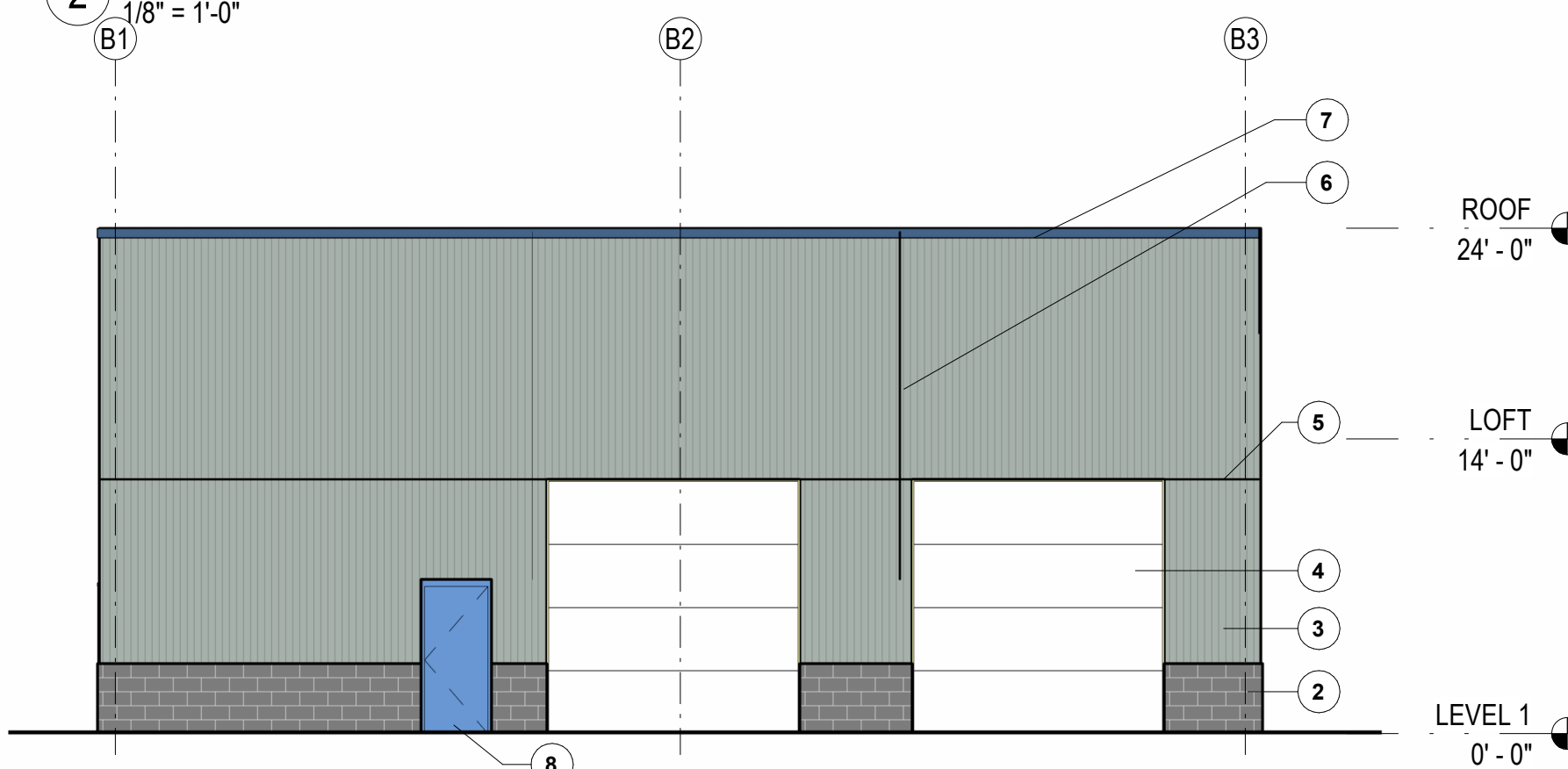
6 BUILDING A - EAST  
 1/8" = 1'-0"



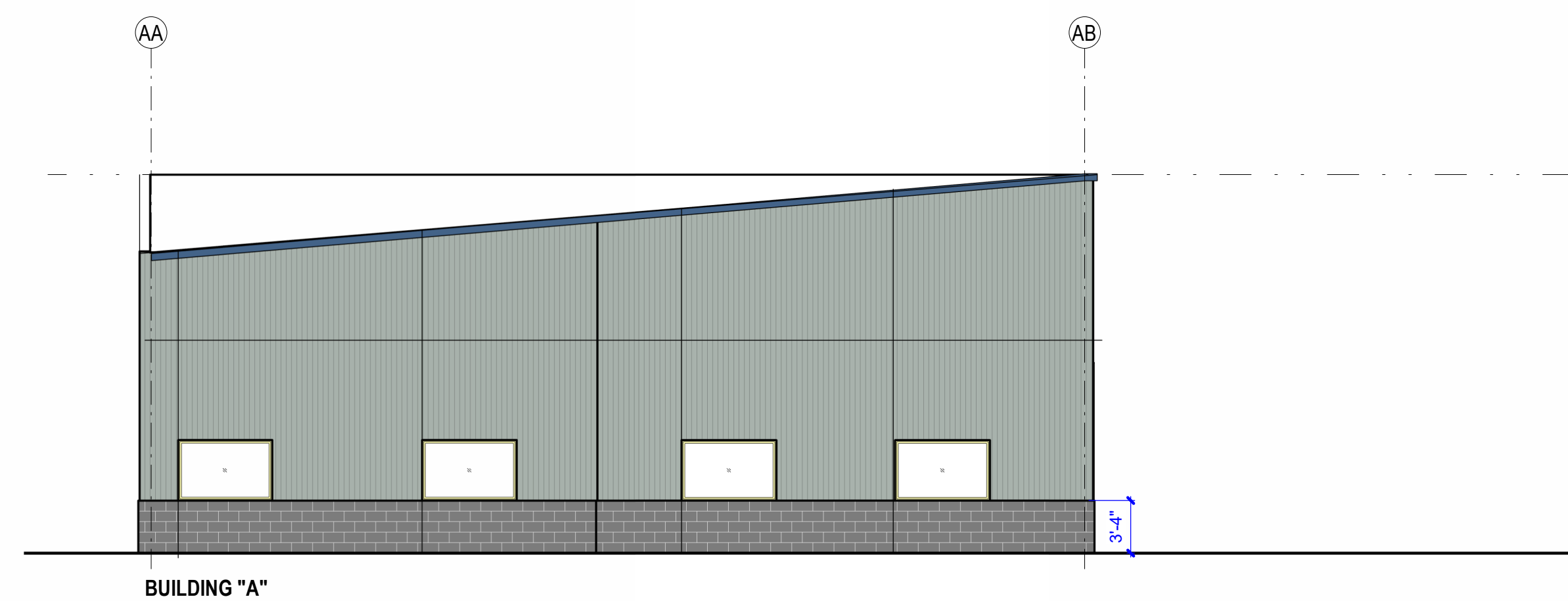
2 BUILDING B - EAST  
 1/8" = 1'-0"



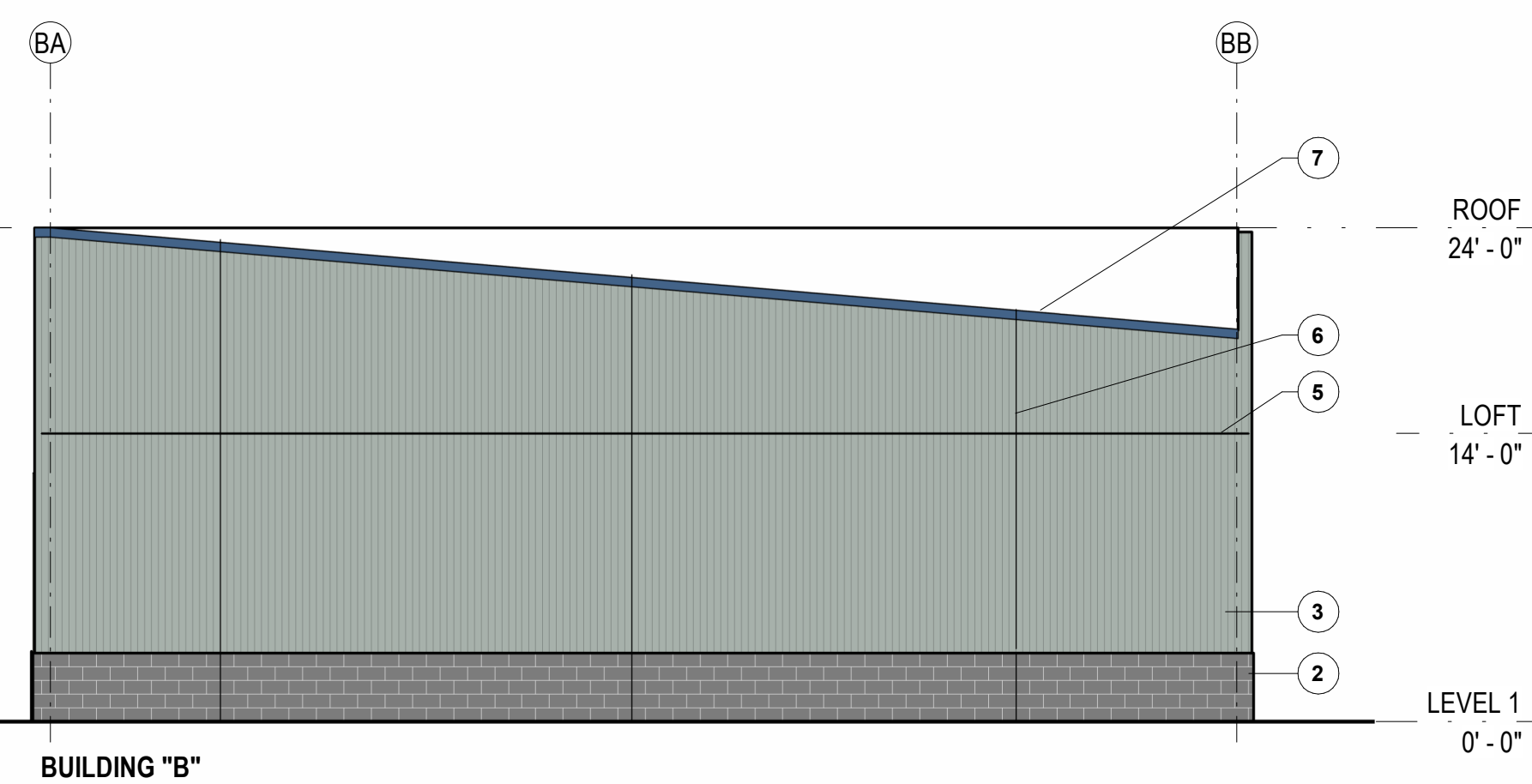
5 BUILDING A - WEST  
 1/8" = 1'-0"



4 BUILDING B - WEST  
 1/8" = 1'-0"



3 OVERALL SOUTH ELEVATION  
 1/8" = 1'-0"



1 OVERALL NORTH ELEVATION  
 1/8" = 1'-0"

**EXTERIOR KEY NOTES**

- 1 PREFINISHED SHEET METAL GUTTER - FINISH 4
- 2 SPLIT FACE CMU - FINISH 1
- 3 METAL BUILDING SIDING - FINISH 3
- 4 OVERHEAD SECTIONAL DOOR - 12' x 12' - FINISH 3
- 5 HORIZONTAL REVEAL - SEE DETAIL XX
- 6 VERTICAL REVEAL - SEE DETAIL XX
- 7 PARAPET CAP - PREFINISHED SHEET METAL - FINISH 4
- 8 HOLLOW METAL DOOR - FINISH 5, TYP.
- 9 STOREFRONT WINDOW SYSTEM - FINISH 2
- 10 STANDARD METAL BUILDING WINDOW - SEE SCHEDULE
- 11 LINE OF ROOF BEYOND

MATERIAL SCHEDULE			
MARK	MATERIAL	COLOR	PRODUCT
1	SPLIT FACE CMU	MIDNIGHT	WILLAMETTE GREYSTONE
2	ALUMINUM STOREFRONT	ANODIZED	TBD
3	METAL BUILDING SIDING	OLD TOWN GREY	AEP - REVERSE PBR PANEL
4	TRIM & GUTTER	TAHOE BLUE	TBD
5	STEEL PAINTED	TAHOE BLUE	TBD
6	SECTIONAL DOOR	WHITE	FACTORY STANDARD

**EXTERIOR ELEVATION NOTES:**

- 1 PAINT ALL NON-NOTED MISCELLANEOUS ITEMS TO MATCH ADJACENT REFERENCE FINISH COLOR UNO.
- 2 ALL PREFINISHED SHEET METAL FLASHING TO MATCH ADJACENT METAL PANEL FINISH UNLESS NOTED OTHERWISE - SEE EXTERIOR DETAILS.
- 3 SEE FLOOR PLAN FOR DOOR AND WINDOW TAGS, TYP.
- 4 COLOR ELEVATIONS AVAILABLE UPON REQUEST.
- 5 SEE WINDOW TYPES SHEETS FOR ADDITIONAL INFORMATION ON WINDOWS.
- 6 SIDING TRIMS AND ACCESSORIES TO MATCH SELECTED SIDING COLOR.
- 7 EXTERIOR FINISH SHOWN RETURNS 90 DEGREES BACK TO ADJACENT PARALLEL WALLS UNO.
- 8 PAINT ALL EXTERIOR HOLLOW METAL DOORS AND FRAMES COLOR "HPC-22"
- 9 ARCH FINISH FLOOR (FF) 100'-0" = CIVIL FINISH FLOOR (FF) 72.00'  
 ARCH FINISH FLOOR (FF) 108'-0" = CIVIL FINISH FLOOR (FF) 80.00'

Date Issue  
 7-9-24 AR REVIEW

Seal and Signature:

Project No: 00001  
 Dwg By: Author  
 Chk By: Checker

ELEVATIONS

**A2.01**

Pg No: