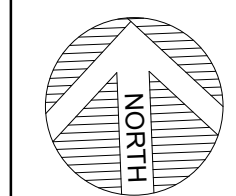
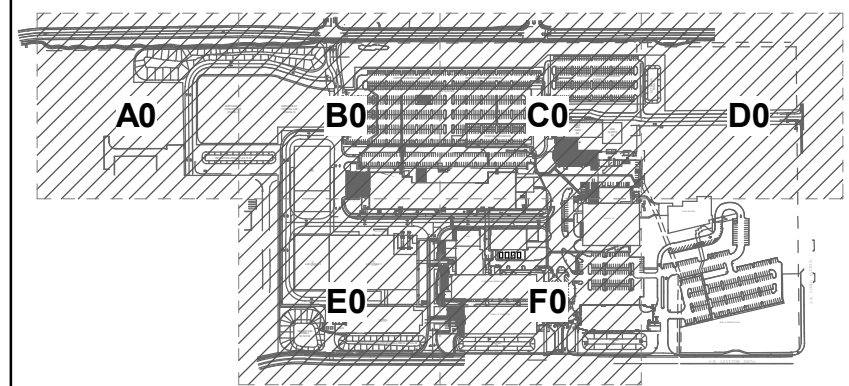


ARCHITECTURAL REVIEW

9/16/2024
(NOT FOR CONSTRUCTION)

NO	REVISION OR ISSUE	DATE	BY



SITE



Lam
RESEARCH
Lam Research Corporation
4400 CUSHING PARKWAY
FREMONT, CA 94538

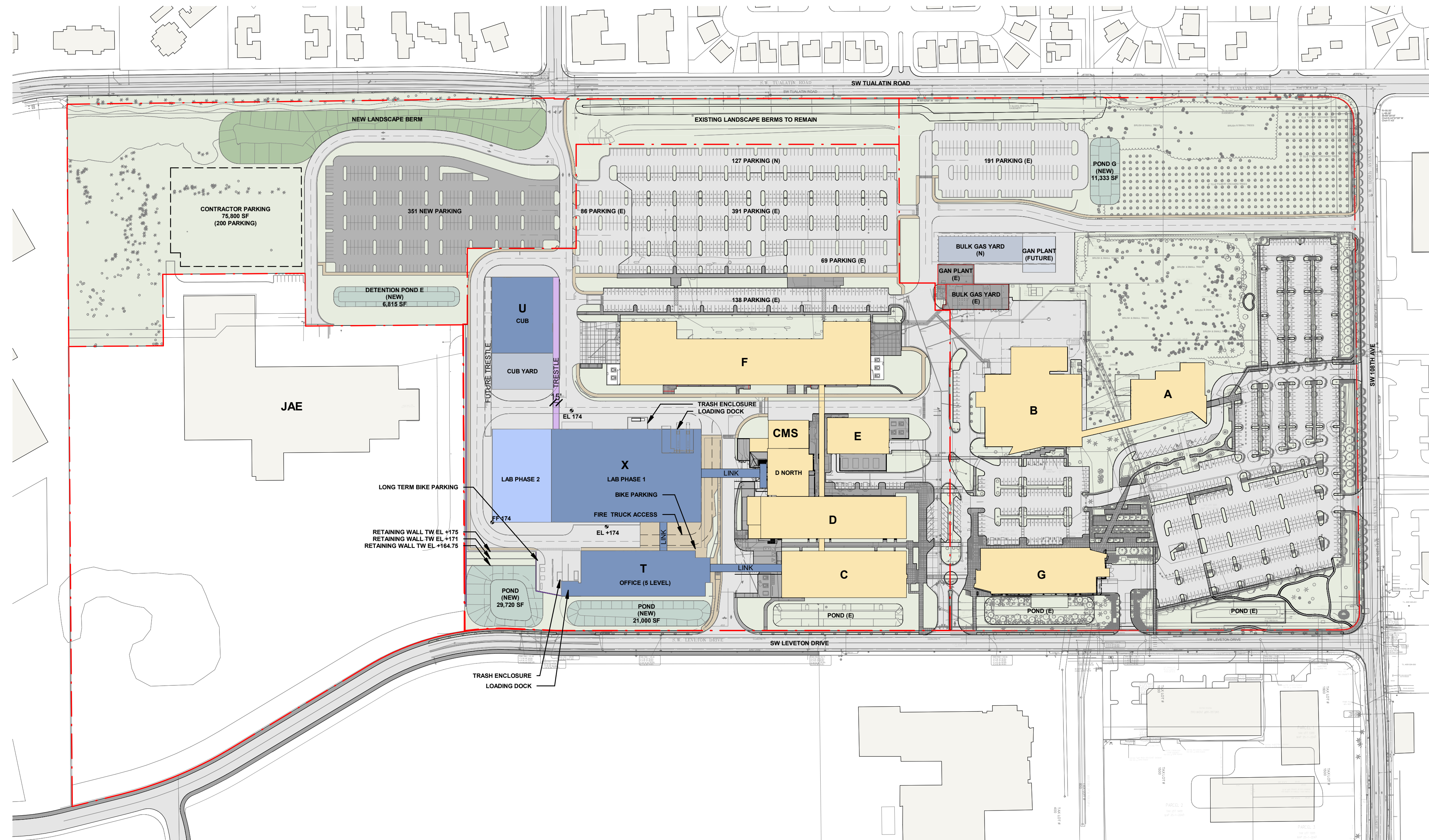
TITLE:
SITE MASTER PLAN - PHASE II

DATE ISSUED: DRAWING SCALE: 1" = 160'-0"

REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:

ZA0-0002



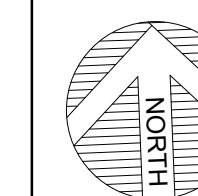
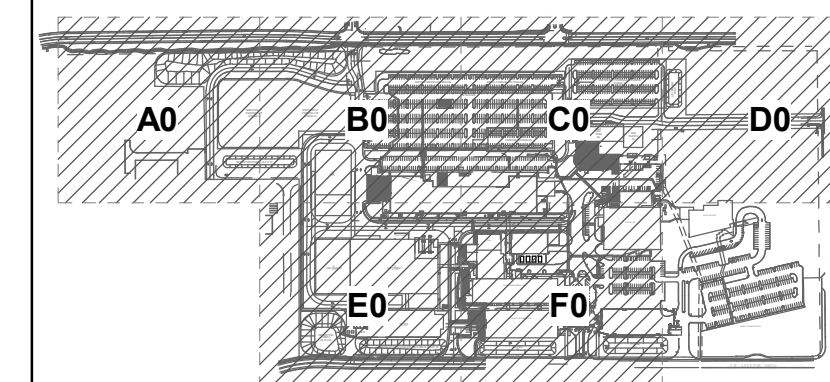
LEGEND

- | | |
|--|-------------------------------|
| EXISTING BUILDINGS | ROADS |
| NEW BUILDINGS (143,100 SF FLOOR PLATE) | DETENTION POND |
| NEW BUILDINGS PHASE 2 (32,500 SF FP) | RETAINING WALL |
| NEW YARDS | PROPERTY LINES |
| NEW TRESTLE | PARKING (TOTAL: 2,176 STALLS) |
| NEW PEDESTRIAN | - EXISTING: 1,698 |
| | - NEW: 478 |

TOTAL LAM CAMPUS SITE AREA: 75.96 ACRES

**ARCHITECTURAL
REVIEW**
9/16/2024
(NOT FOR CONSTRUCTION)

NO	REVISION OR ISSUE	DATE	BY



SITE



Lam Research Corporation
4400 CUSHING PARKWAY
FREMONT, CA 94538

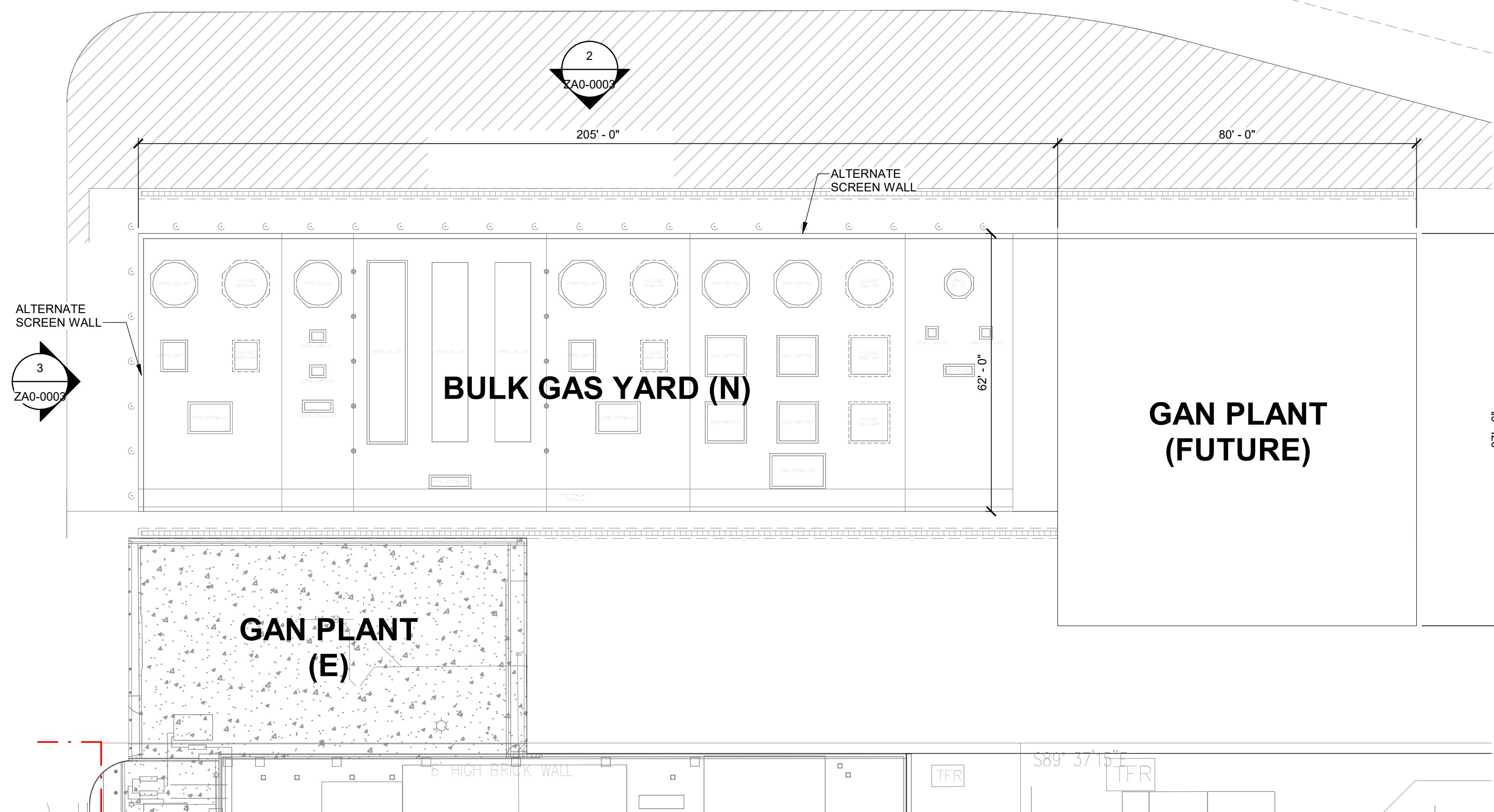
TITLE:
**ENLARGED PLAN -
BULK GAS YARD**

DATE ISSUED: DRAWING SCALE: 1" = 20'-0"

REVIT FILE: BUILDING DESIGNATOR:

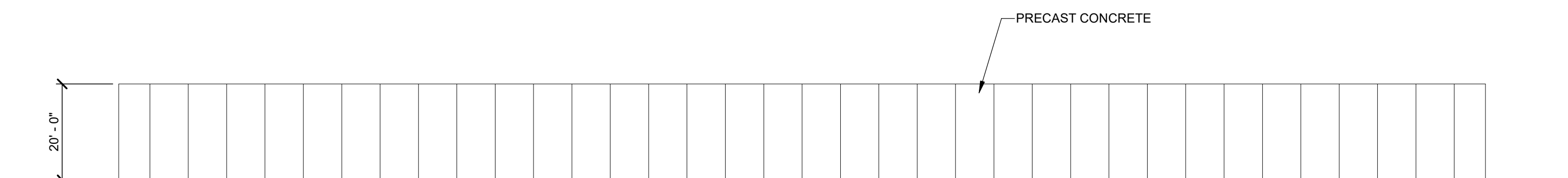
DRAWING NUMBER:

ZA0-0003



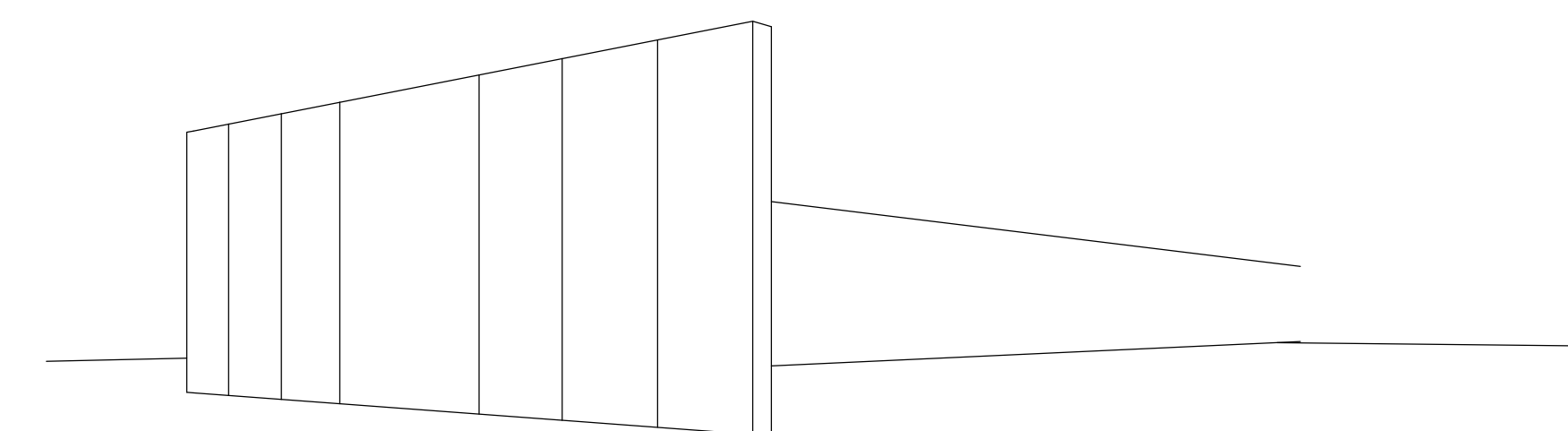
1 BULK GAS YARD - PLAN

1" = 20'-0"

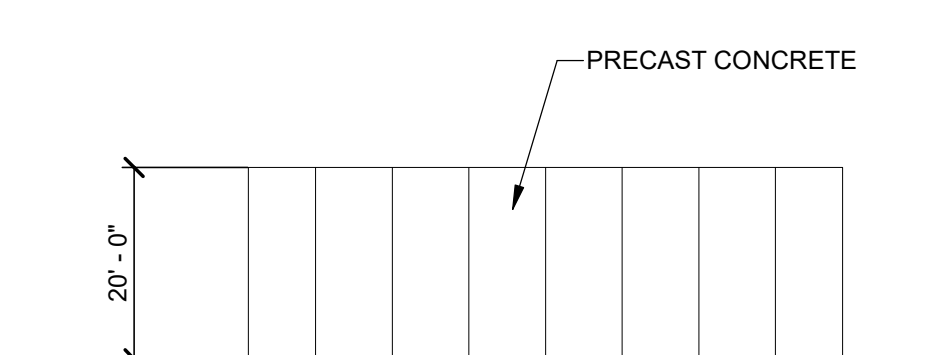


2 ALTERNATE SCREEN WALL - NORTH

1" = 20'-0"



4 BULK GAS YARD - PERSPECTIVE



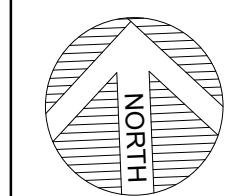
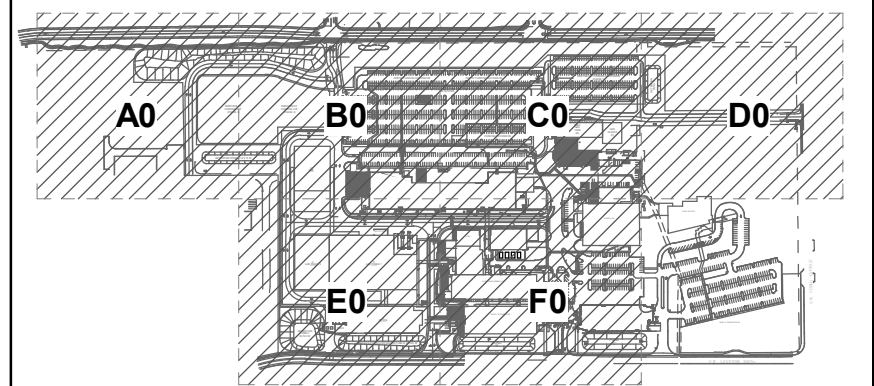
3 ALTERNATE SCREEN WALL - WEST

1" = 20'-0"

DRAWN:	REVIEWED:
DESIGNED:	APPROVED:
NOTICE:	STAMP:

**ARCHITECTURAL
REVIEW**
(NOT FOR CONSTRUCTION)

NO	REVISION OR ISSUE	DATE	BY



SITE

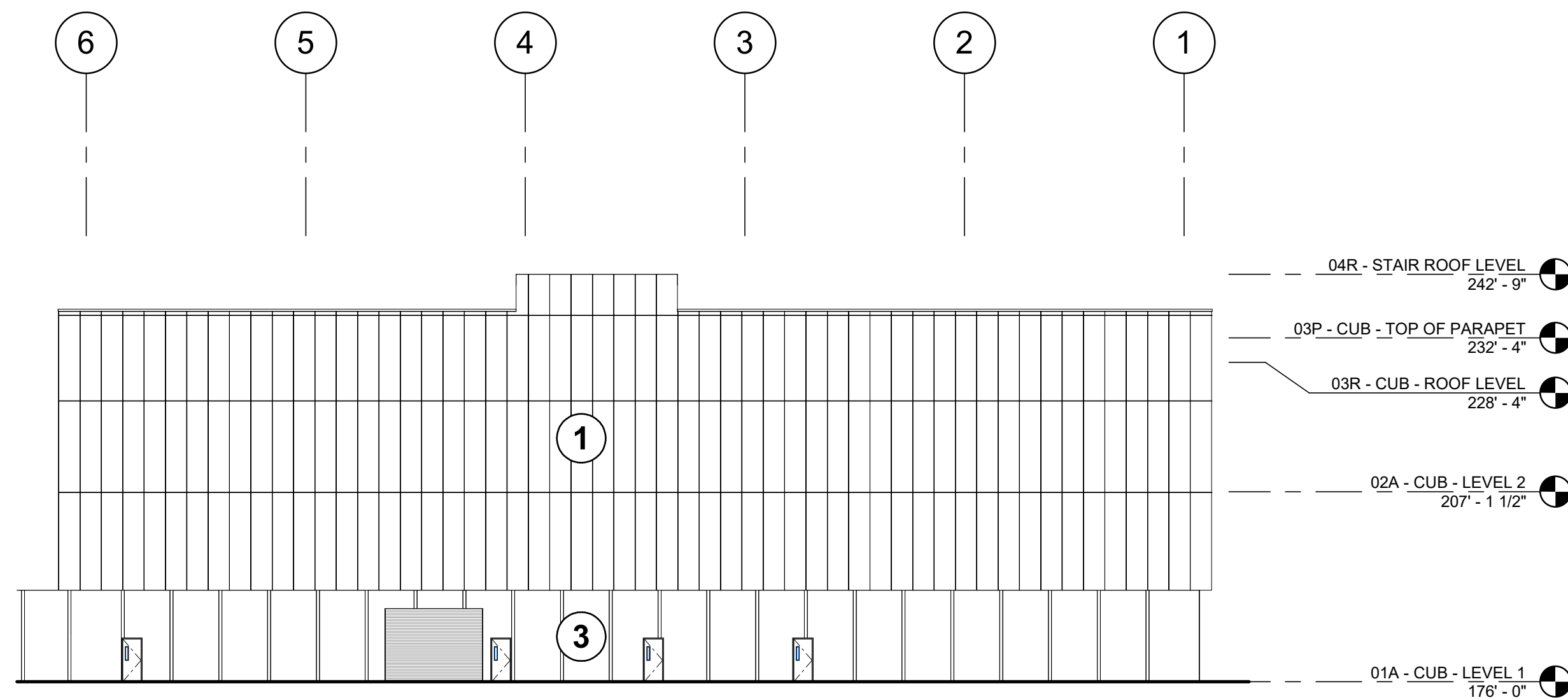
TITLE:
**EXTERIOR ELEVATIONS -
BUILDING U**

DATE ISSUED: DRAWING SCALE: 1" = 20'-0"
REVIT FILE: BUILDING DESIGNATOR:

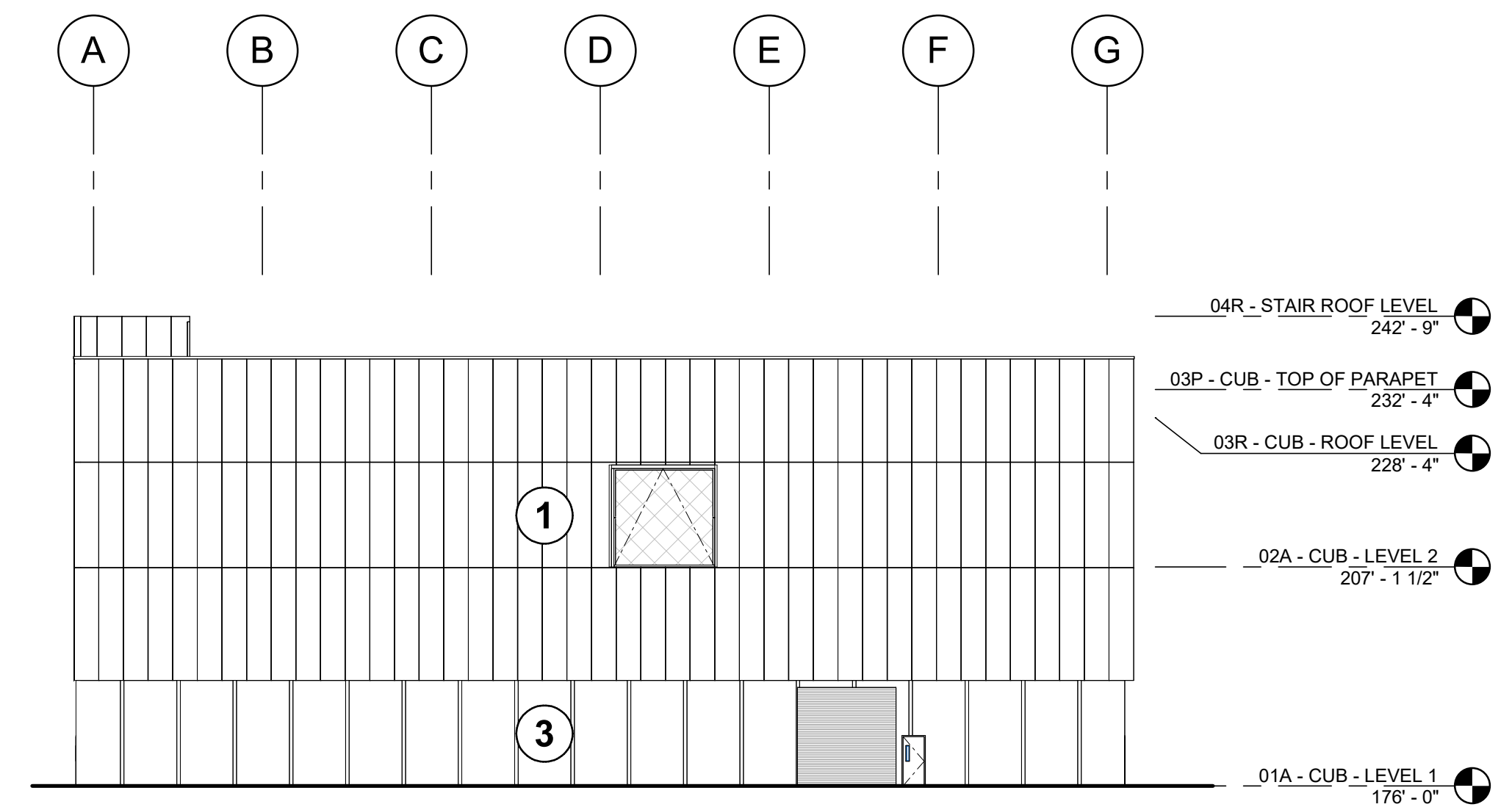
DRAWING NUMBER:

UA0-0005

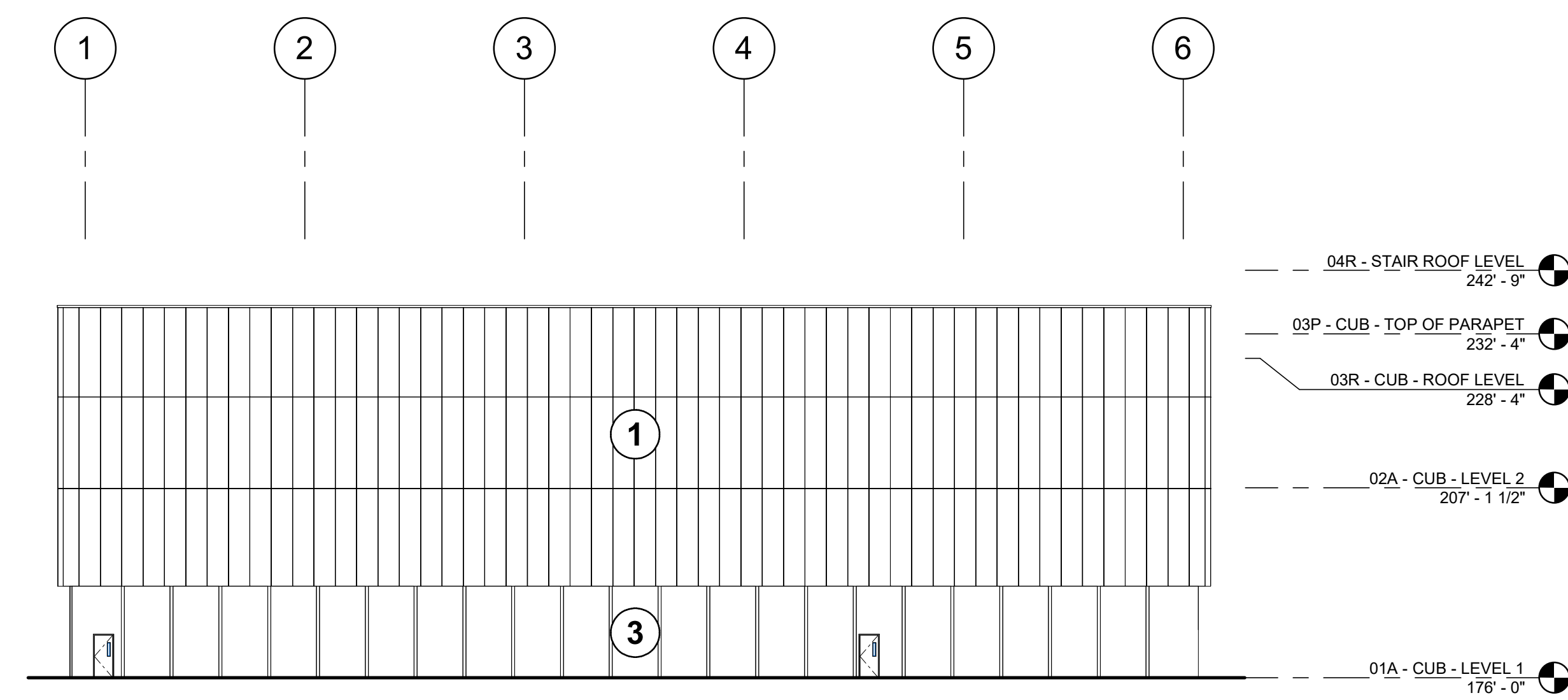
DATE: 9/17/2025 9:48:36 AM PATH: \\ars-jacobs-prod\us\OP\3822800\LAM\Research\TYP\UA0-0005.DWG, JAC



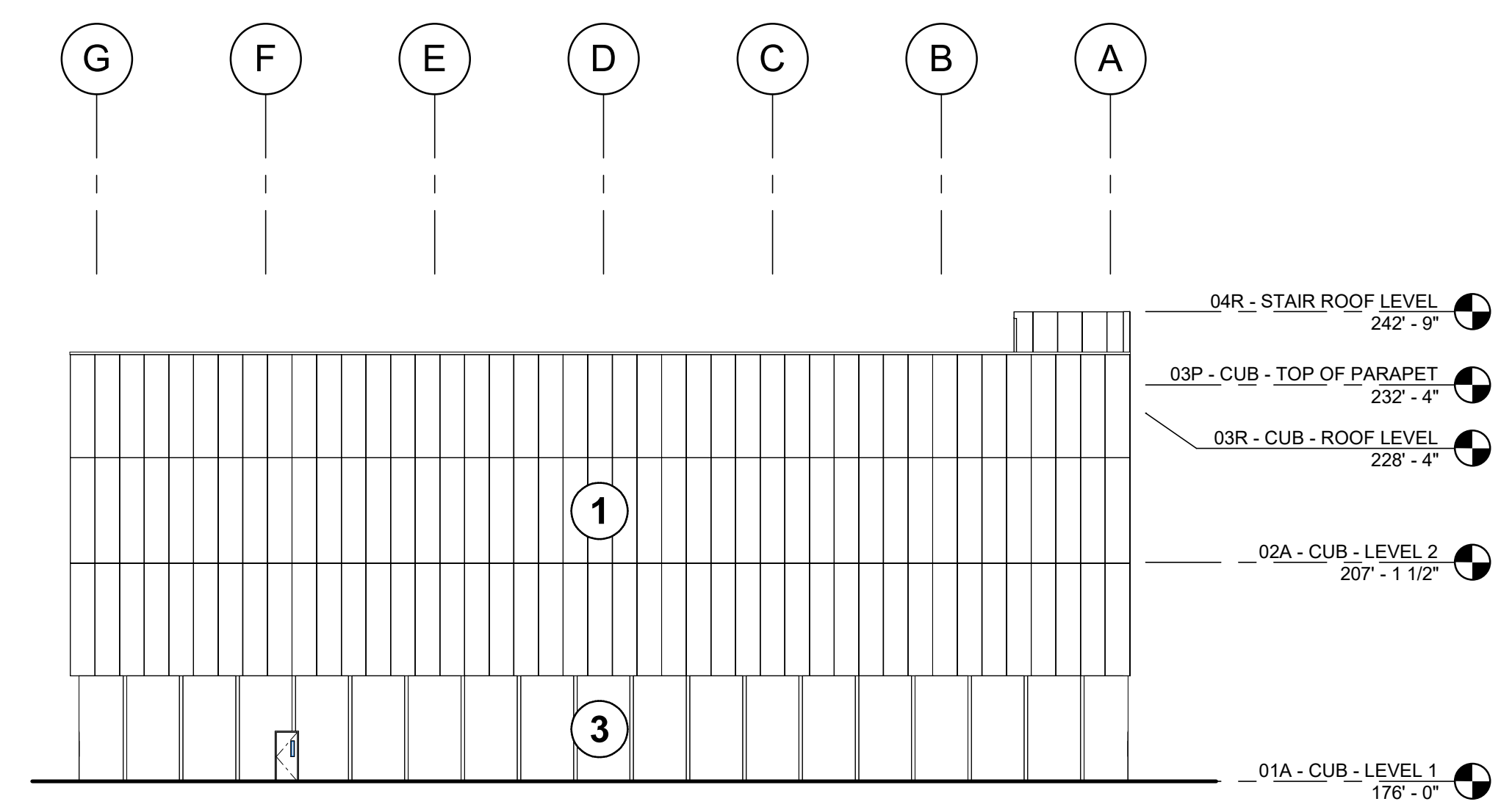
3 EXTERIOR ELEVATION - EAST - AR
1" = 20'-0"



1 EXTERIOR ELEVATION - NORTH - AR
1" = 20'-0"



4 EXTERIOR ELEVATION - WEST - AR
1" = 20'-0"



2 EXTERIOR ELEVATION - SOUTH - AR
1" = 20'-0"

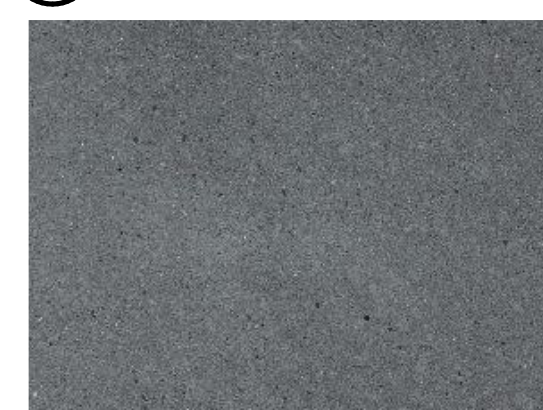
1 INSULATED METAL PANELS



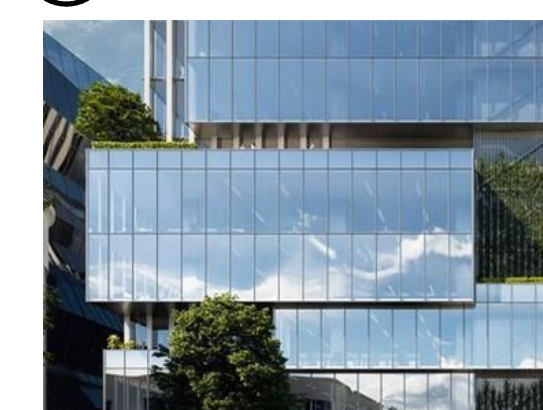
2 LOUVER SCREEN WALL



3 PRECAST CONCRETE

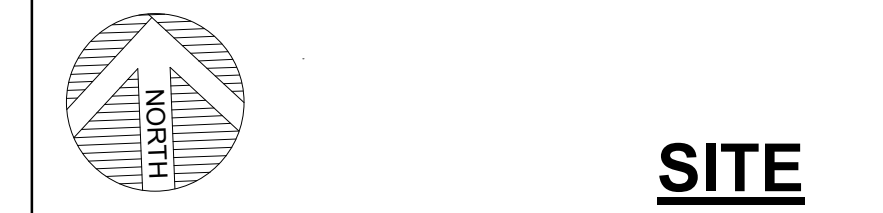
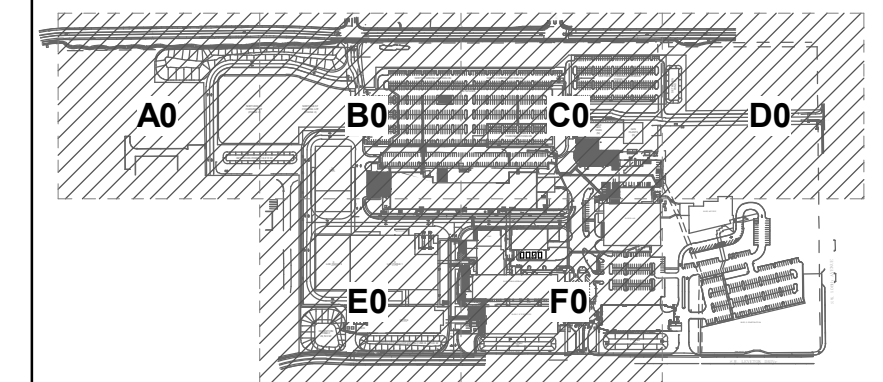


4 STOREFRONT / CURTAIN WALL GLAZING SYSTEM



**ARCHITECTURAL
 REVIEW**
 9/16/2024
 (NOT FOR CONSTRUCTION)

NO	REVISION OR ISSUE	DATE	BY



Lam
 RESEARCH

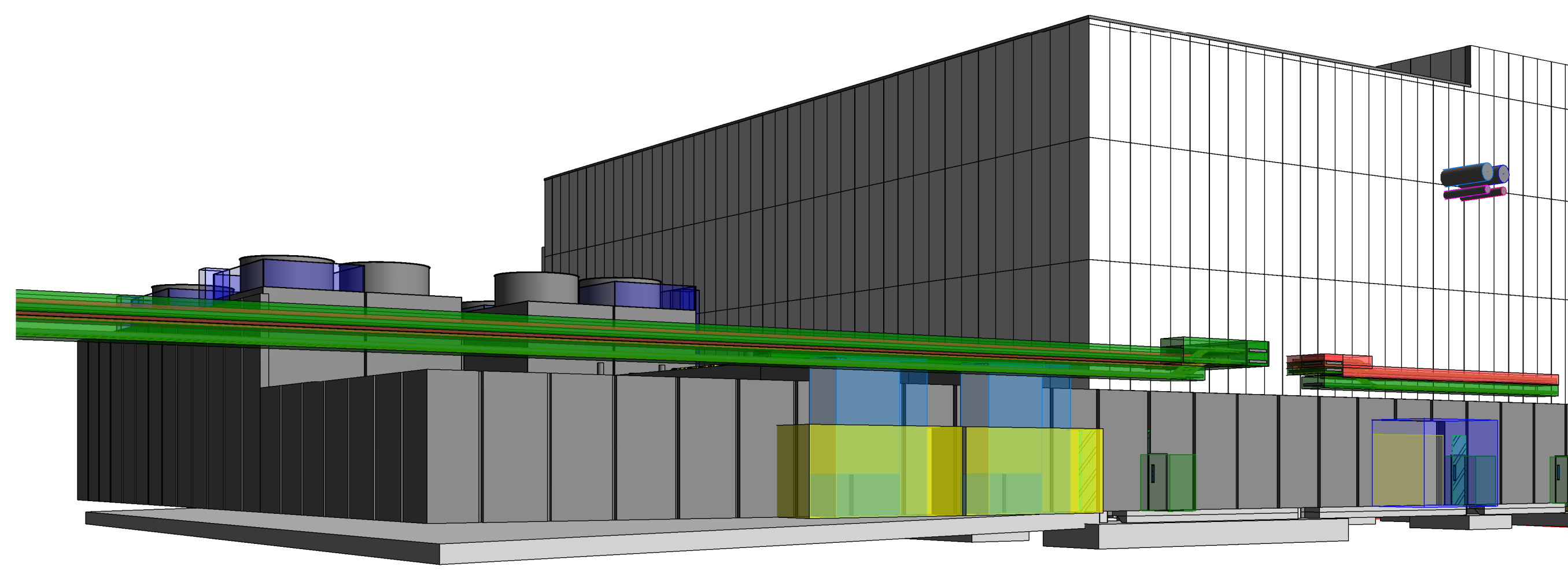
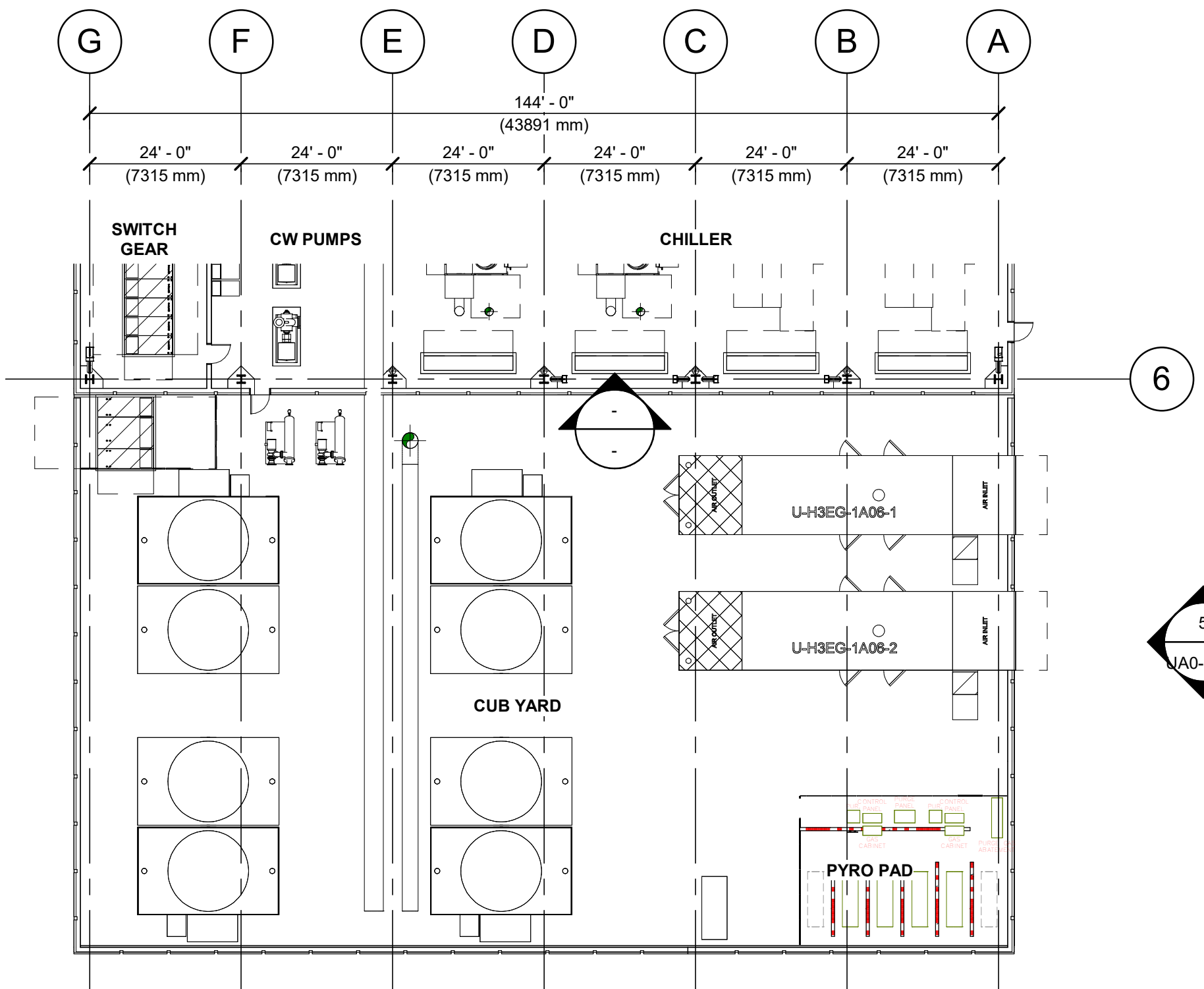
Lam Research Corporation
 4400 CUSHING PARKWAY
 FREMONT, CA 94538

TITLE:
**ENLARGED PLAN -
 BUILDING U**

DATE ISSUED: DRAWING SCALE: 1" = 20'-0"

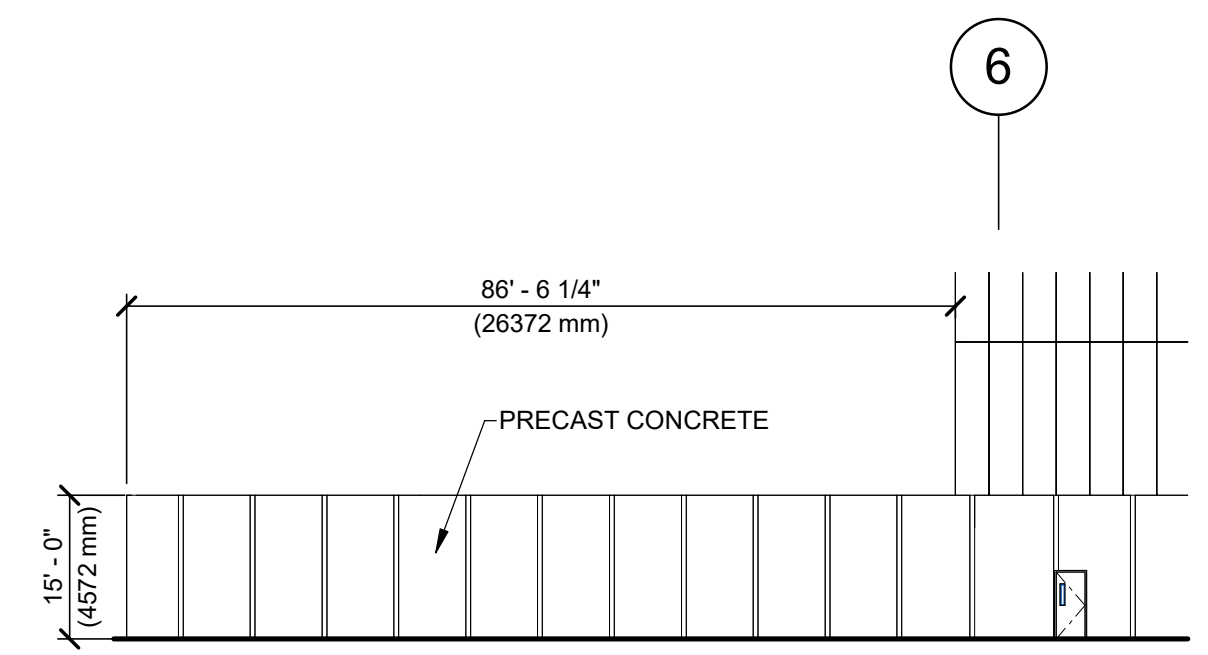
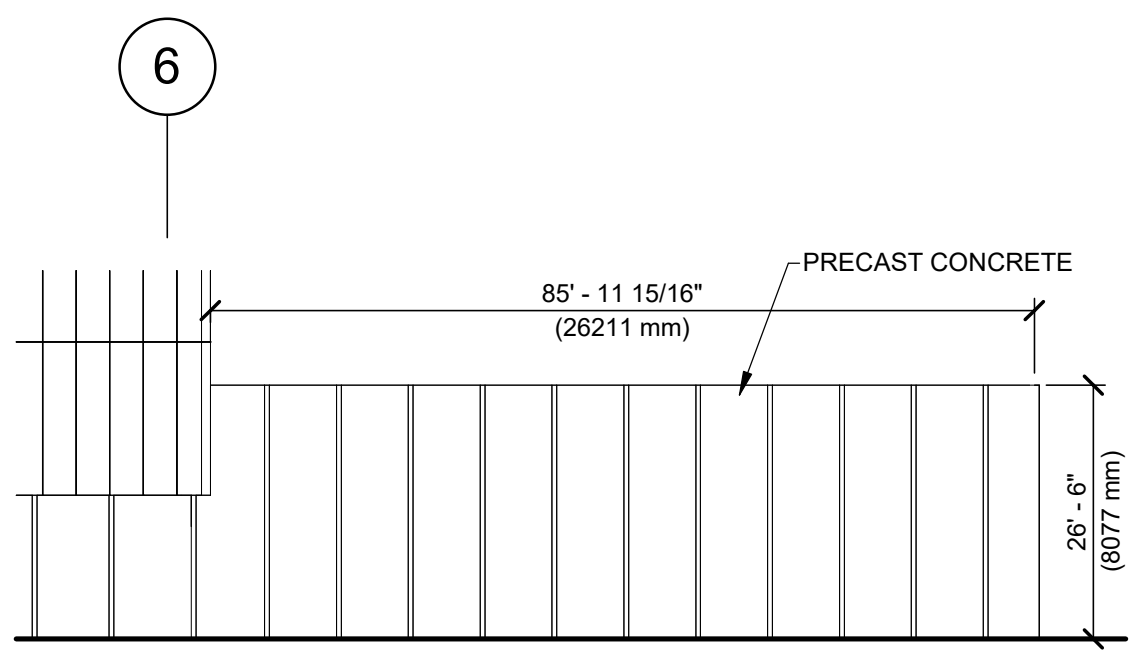
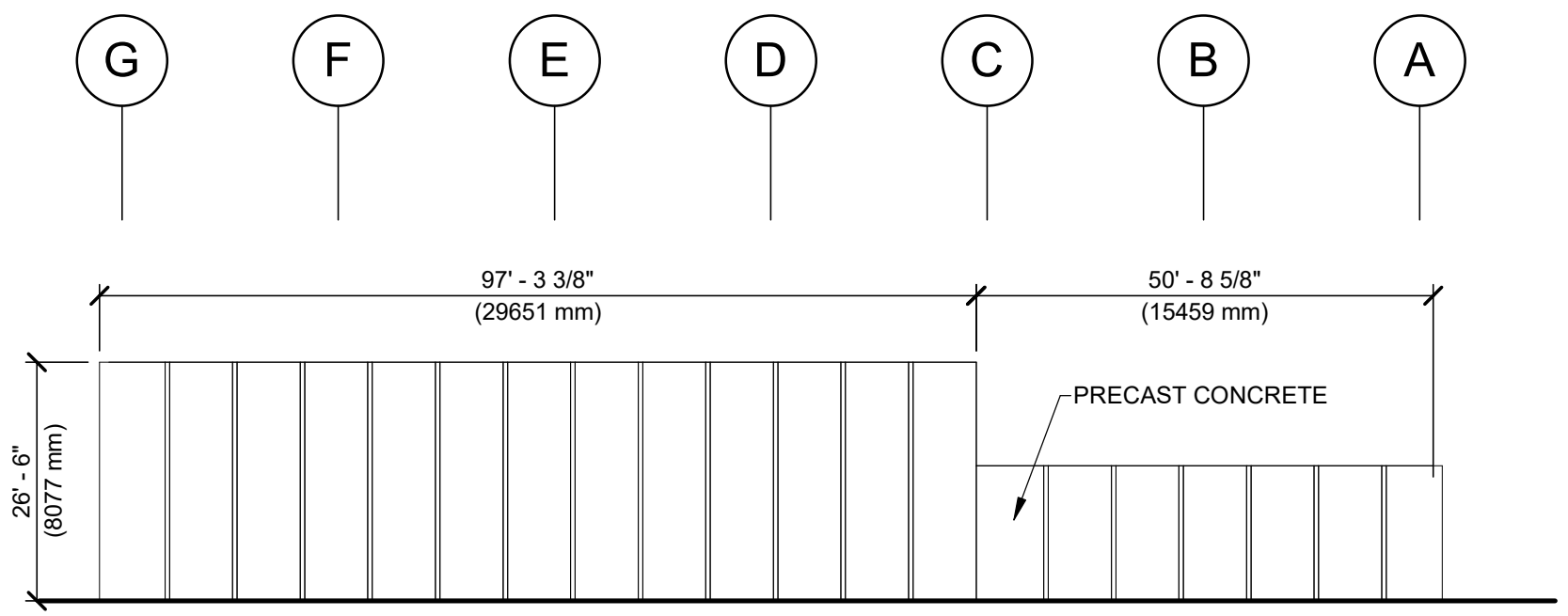
REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:
UA0-0006



1 01A - CUB - YARD
 1" = 20'-0"

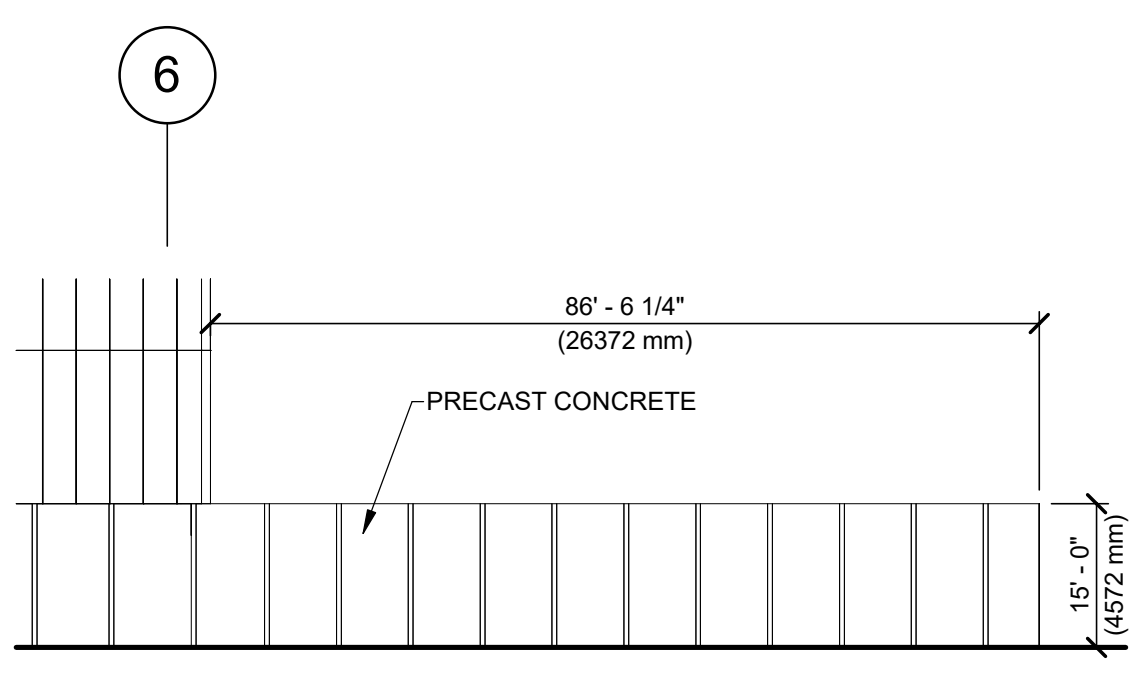
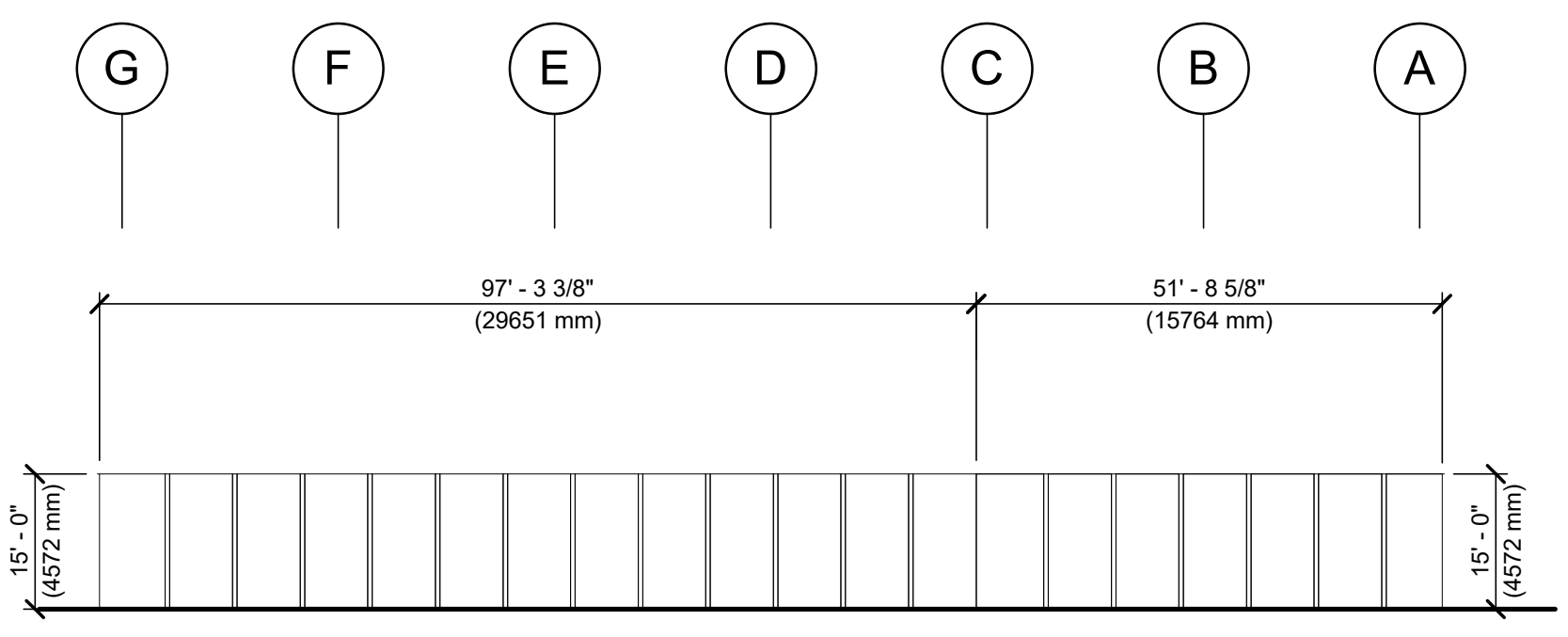
2 PERSPECTIVE - CUB YARD
 1" = 20'-0"



3 EXTERIOR ELEVATION - SOUTH - CUB YARD
 1" = 20'-0"

4 EXTERIOR ELEVATION - WEST - CUB YARD
 1" = 20'-0"

5 EXTERIOR ELEVATION - EAST - CUB YARD
 1" = 20'-0"



6 EXTERIOR ELEVATION - SOUTH - CUB YARD - ALT
 1" = 20'-0"

7 EXTERIOR ELEVATION - WEST - CUB YARD - ALT
 1" = 20'-0"

NO	REVISION OR ISSUE	DATE	BY

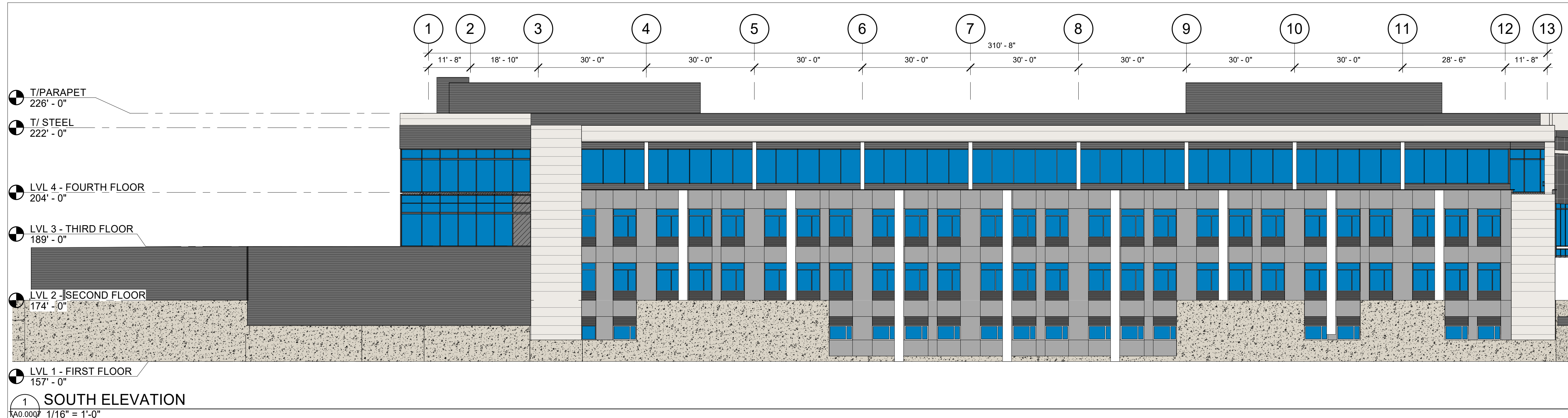
ARCHITECTURAL REVIEW
(NOT FOR CONSTRUCTION)

TITLE:
**EXTERIOR ELEVATIONS
BUILDING - T**

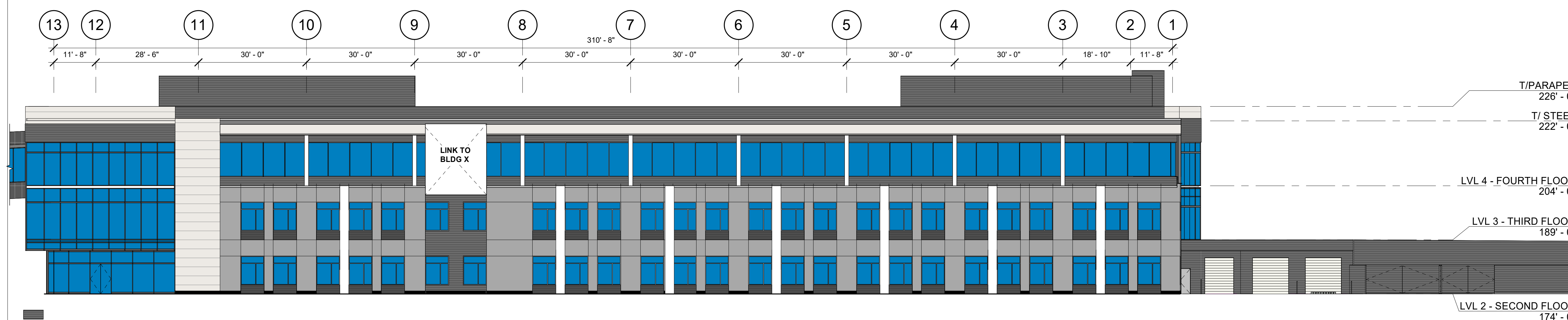
DATE ISSUED: DRAWING SCALE:
REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:

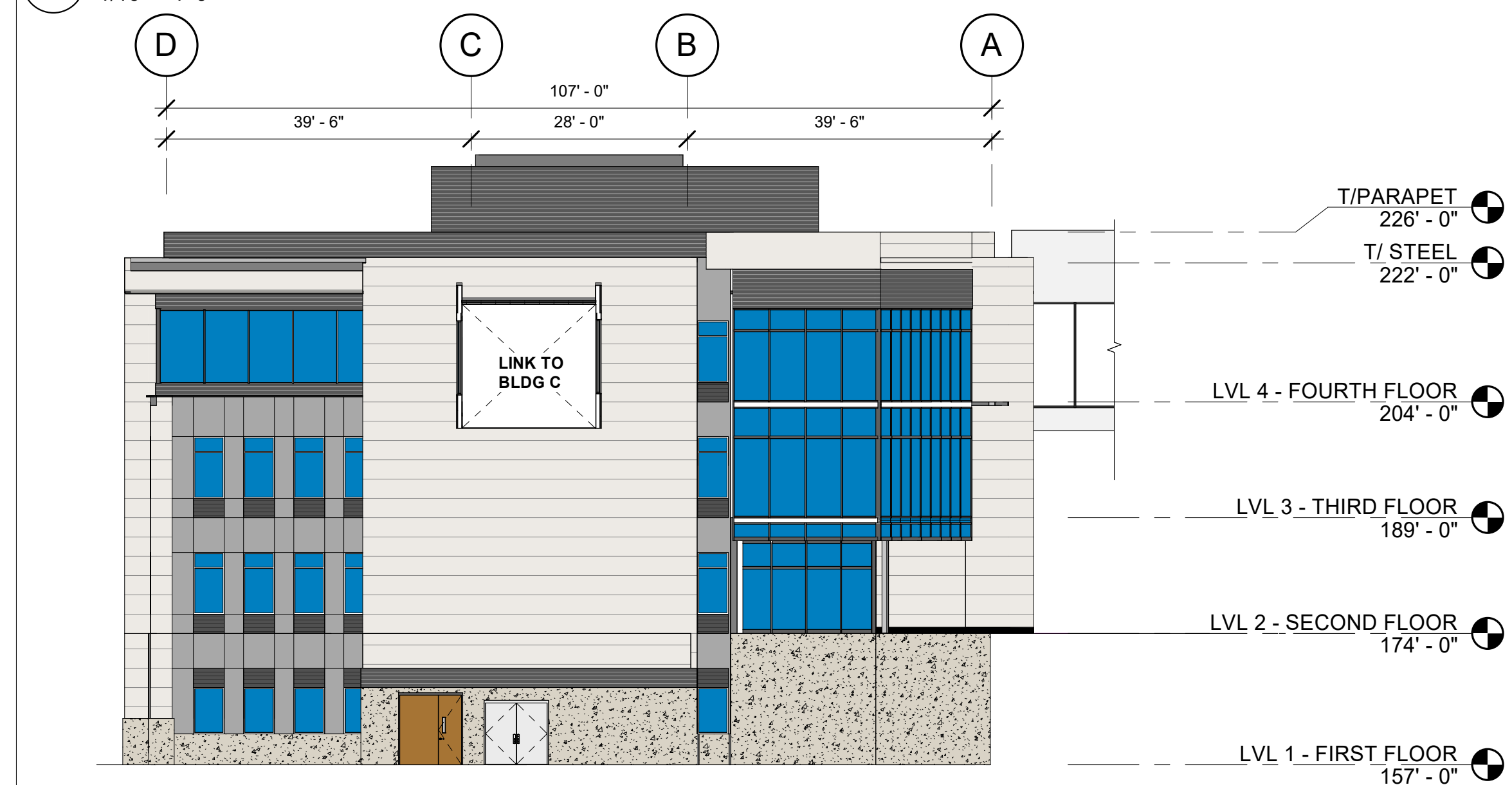
TA0.0007



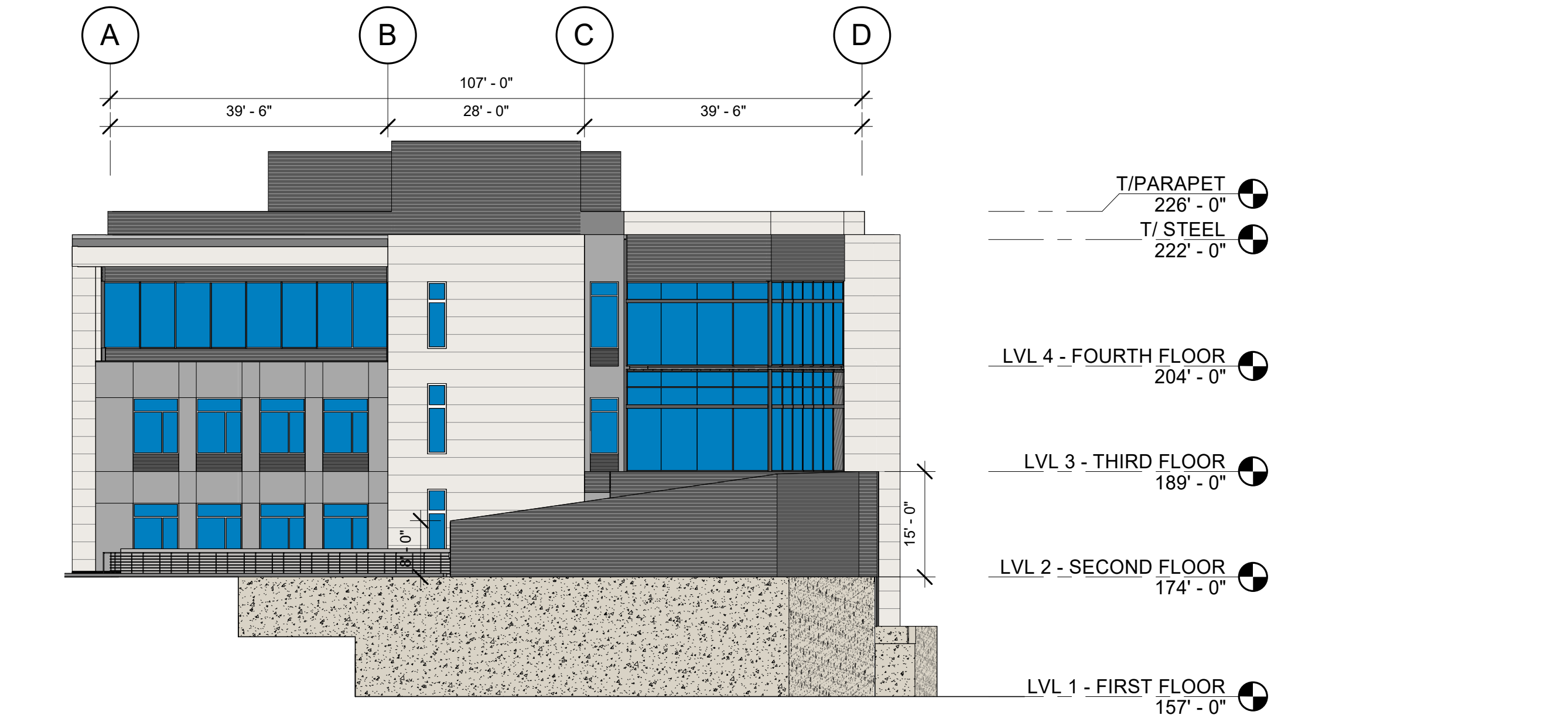
1 SOUTH ELEVATION
1/16" = 1'-0"



2 NORTH ELEVATION
1/16" = 1'-0"



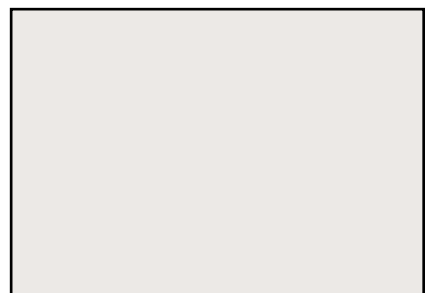
3 EAST ELEVATION
1/16" = 1'-0"



4 WEST ELEVATION
1/16" = 1'-0"



1 INSULATED METAL PANEL - SMOOTH
KINGSPAN OPTIMO
MATCH SHERWIN WILLIAMS - SNOWBOUND



2 PRESTRESS THIN CONCRETE PANEL
RAINSCREEN
ARCIS CREAM FOSSIL



3 INSULATED METAL PANEL - RIBBED
KINGSPAN MINI-WAVE
MATCH SHERWIN WILLIAMS - PEPPERCORN



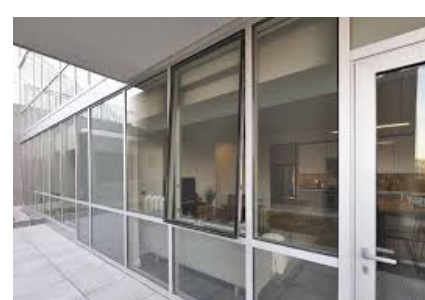
4 GLAZING INFILL PANEL
CITADEL GLAZEGUARD 1000 WR+ OR EQUAL
ZINC GRAY - KYNAR #432R1020
MATCH KINGSPAN IMP



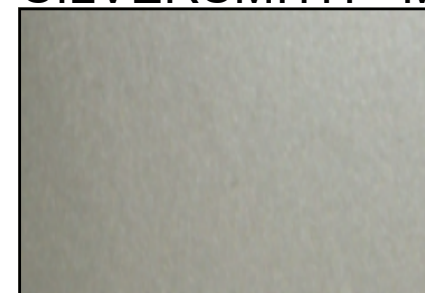
5 INSULATED METAL PANEL - SMOOTH
KINGSPAN OPTIMO
ZINC GRAY - KYNAR #432R1020



6 STOREFRONT - CLEAR ANODIZED



7 INSULATED METAL PANEL - SMOOTH
KINGSPAN OPTIMO
SILVERSMITH - MATCH COOL SILVERSMITH
FROM AEP SPAN, DURA TECH mx PVDF
PEARLESCENT PAINT SYSTEM



8 SCREEN WALL - METAL PANEL - RIBBED
KINGSPAN MINI-WAVE
MATCH SHERWIN WILLIAMS - PEPPERCORN



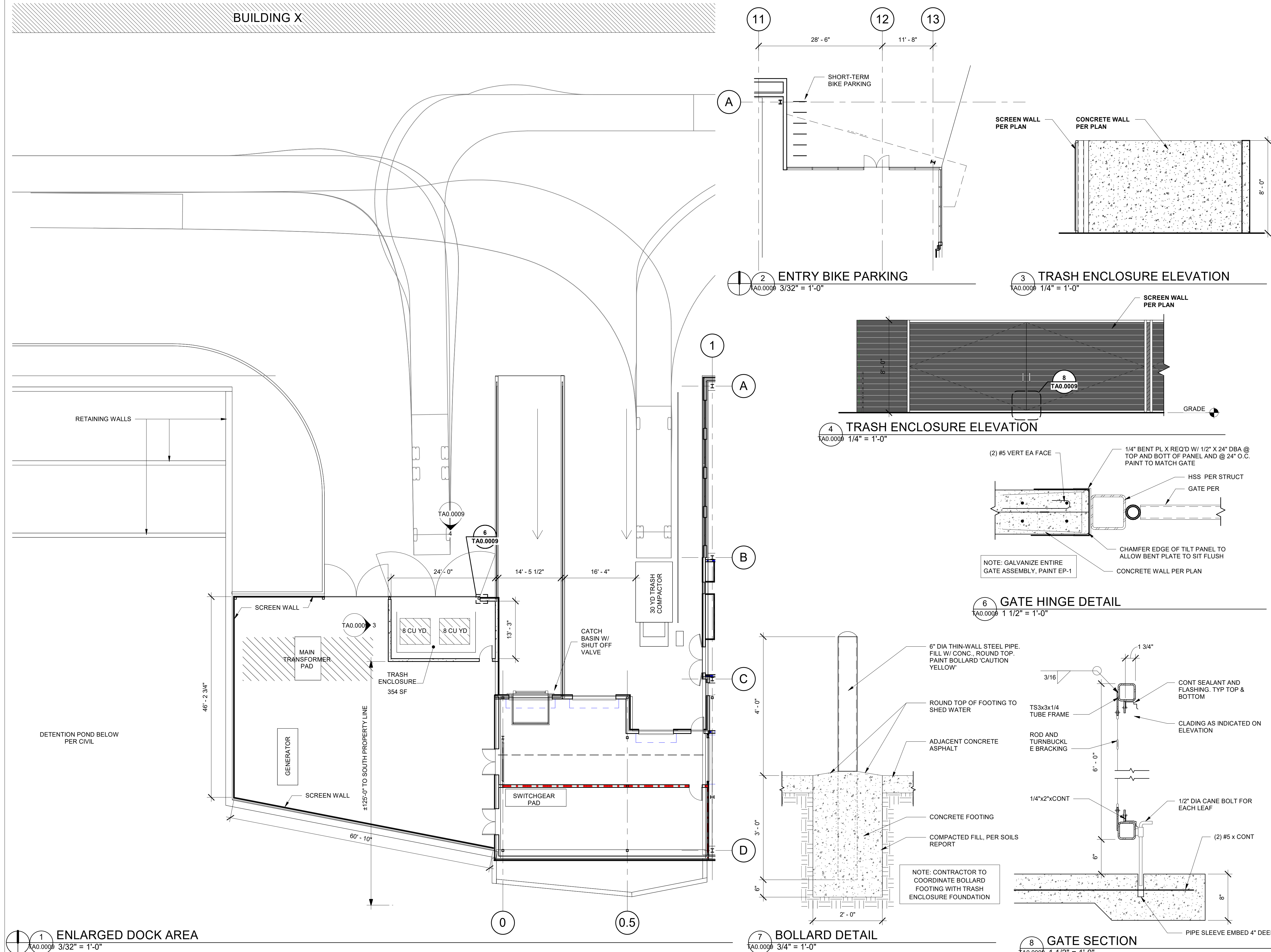
ARCHITECTURAL REVIEW
(NOT FOR CONSTRUCTION)



Lam Research Corporation
4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE:
**MATERIALITY
BUILDING - T**

BUILDING X



Portland, OR 503.224.9560
 Vancouver, WA 360.695.7879
 Seattle, WA 206.749.9993
 www.mackenzie.inc

MACKENZIE.

JACOBS PROJECT No.: D3822800 CLIENT PROJECT No.:
 DRAWN: REVIEWED:
 DESIGNED: APPROVED:
 NOTICE: STAMP:

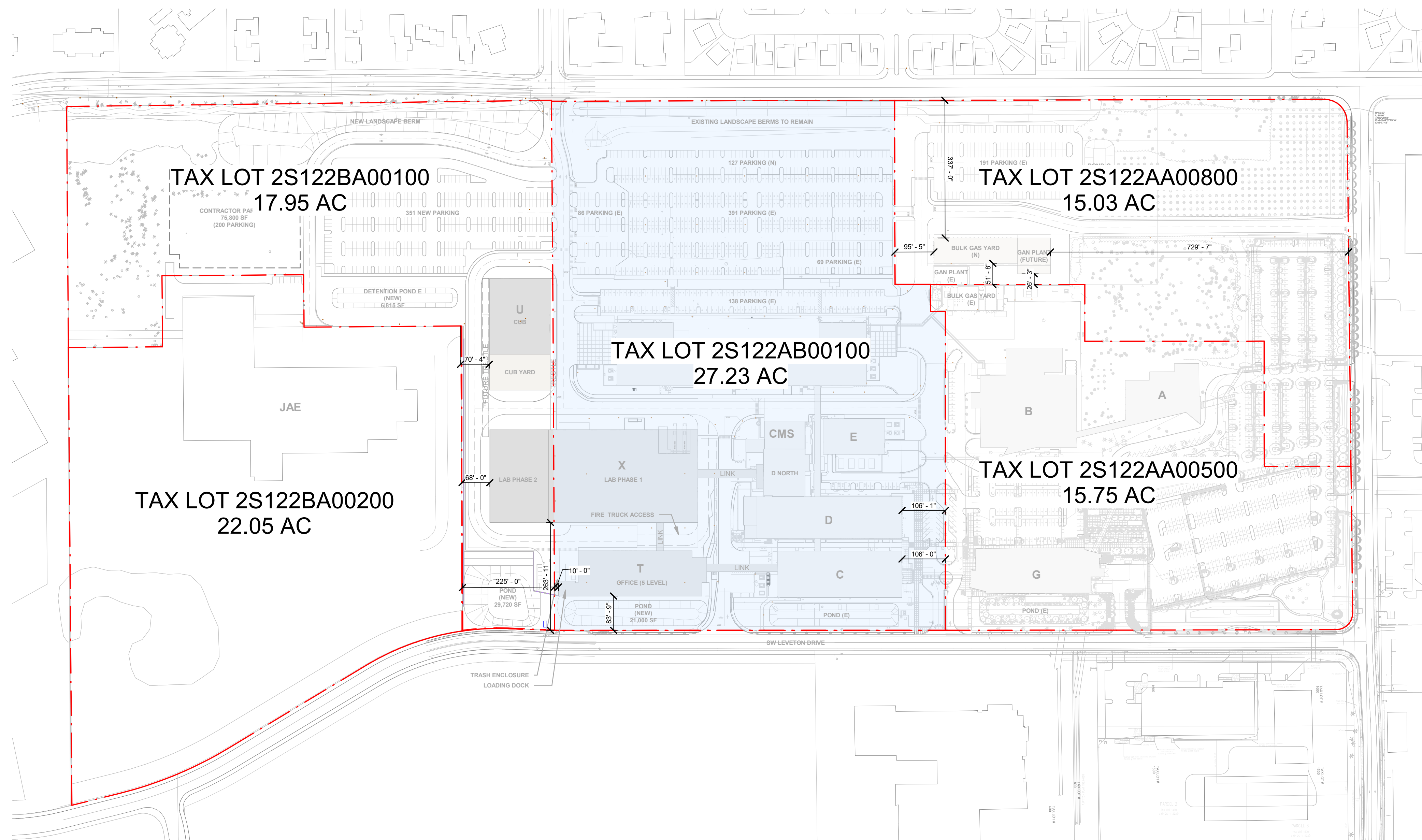
NO	REVISION OR ISSUE	DATE	BY

ARCHITECTURAL REVIEW
 (NOT FOR CONSTRUCTION)

TITLE:
**ENLARGED PLAN
 BUILDING - T**

DATE ISSUED: DRAWING SCALE:
 REVIT FILE: BUILDING DESIGNATOR:
 DRAWING NUMBER:
TA0.0009

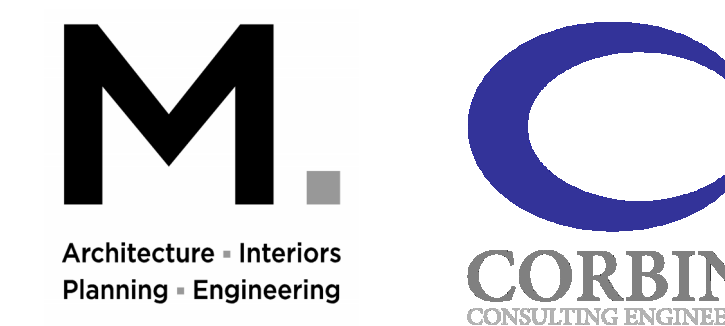
DATE: 09/20/24 1:25:39 PM
 PATH: \\s:\projects\240324\240324.dwg
 USER: JVA



LEGEND

--- EXISTING PROPERTY LINE
 TOTAL SITE AREA: 75.96 AC

Jacobs
 Portland Office
 2020 S.W. 4th Avenue, 3rd Floor
 Portland, Oregon 97201



Portland, OR 503.224.9560
 Vancouver, WA 360.695.7879
 Seattle, WA 206.748.9993

www.mackenzie.inc

MACKENZIE.

JACOBS PROJECT No: **D3822800** CLIENT PROJECT No:

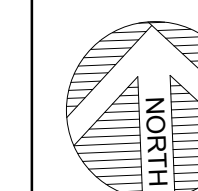
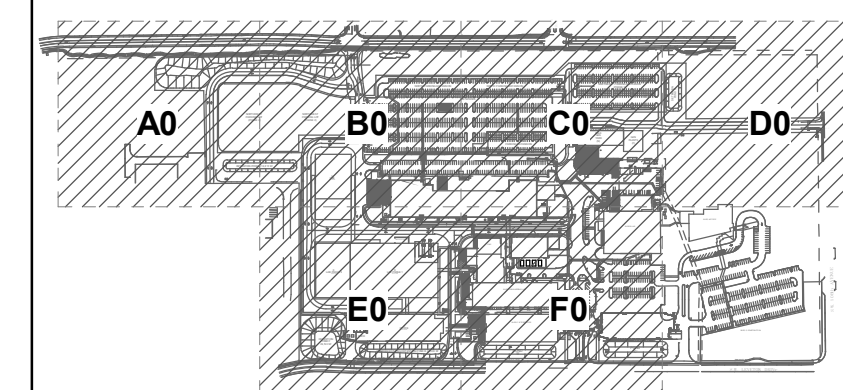
DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

ARCHITECTURAL REVIEW
9/16/2024
(NOT FOR CONSTRUCTION)

NO	REVISION OR ISSUE	DATE	BY
----	-------------------	------	----



SITE



Lam Research Corporation
 4400 CUSHING PARKWAY
 FREMONT, CA 94538

TITLE:
PROPERTY LINE EXHIBIT

DATE ISSUED: DRAWING SCALE: 1" = 160'-0"

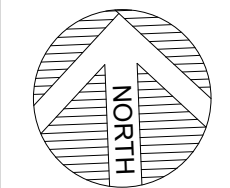
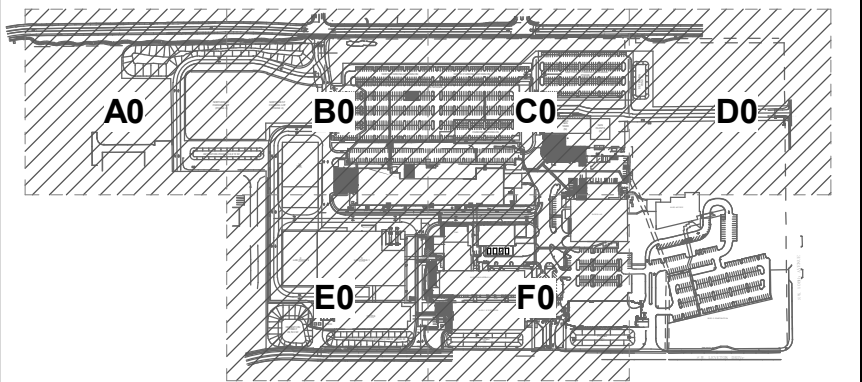
REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:

SA0-0010

**ARCHITECTURAL
REVIEW**
9/16/2024
(NOT FOR CONSTRUCTION)

NO	REVISION OR ISSUE	DATE	BY



SITE



Lam Research Corporation
4400 CUSHING PARKWAY
FREMONT, CA 94538

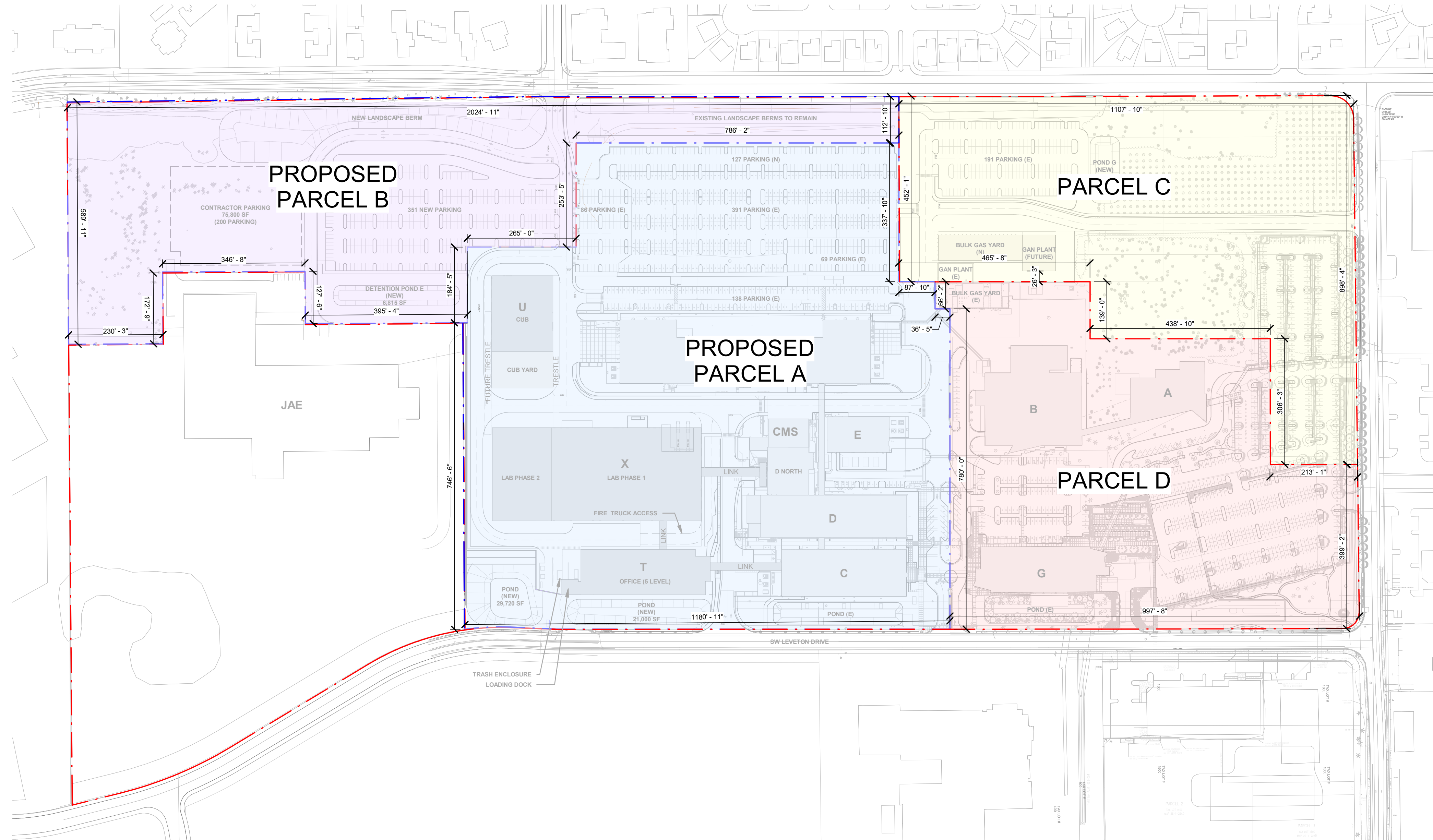
TITLE:
**PROPERTY LINE ADJUSTMENT
EXHIBIT**

DATE ISSUED: DRAWING SCALE: 1" = 160'-0"

REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:

SA0-0011



LEGEND

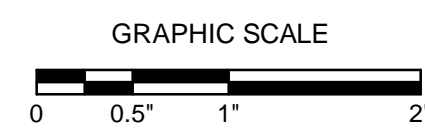
- · — · — EXISTING PROPERTY LINE
- · — · — PROPERTY LINE ADJUSTMENT
- ■ ■ ■ PROPOSED PARCEL A - 29.52 AC
- ■ ■ ■ PROPOSED PARCEL B - 15.66 AC
- ■ ■ ■ PARCEL C - 15.03 AC
- ■ ■ ■ PARCEL D - 15.75 AC

TOTAL SITE AREA: 75.96 AC

LEGEND

GENERAL

- EM BANKMENT SLOPE INDICATOR
LINE BREAK
SURVEY CONTROL POINT
WATER LEVEL (PROFILES)
NORTHING
EASTING
BENCHMARK
AUTOMOBILE
SHRUB
TREE
DUMPSTER
MARSH / WETLAND
RAILROAD CROSSING SIGN
FOUND MONUMENT
MARKER POST



- ROAD CENTERLINE
EASEMENT LINES
PROPERTY LINES
LIMITS OF WORK
RIGHT OF WAY

UTILITIES

PROPOSED DESCRIPTION

- CATCH BASIN
PIPE CAP/PLUG
DUCT BANK CAP/PLUG
PIPE REDUCER
BUTTERFLY VALVE
GATE VALVE
BALL VALVE
CHECK VALVE
POST INDICATOR VALVE
FIRE HYDRANT
AIR RELEASE VALVE
LUMINAIRE POLE MOUNTED
CLEANOUT
SANITARY SEWER MANHOLE
STORM DRAIN MANHOLE
STORM FLARED END SECTION
DRAINAGE SWALE W/FLOW DIRECTION
UTILITY POLE
TELECOMMUNICATIONS/LSS MANHOLE OR HANDHOLE
ELECTRICAL VAULT W/RIM
UNDERSLAB DRAINAGE LIFT STATION
BACKWATER VALVE MANHOLE
WATER METER

- CITY WATER (OFF SITE)
SUBDRAIN
DOMESTIC WATER
INDUSTRIAL WASTE WATER
INDUSTRIAL WATER
IRRIGATION WATER
FIRE PROTECTION WATER
SANITARY SEWER
STORM DRAIN
NATURAL GAS
ELECTRICAL DUCT BANK
TELECOMMUNICATIONS/LSS DUCT BANK

SITE IMPROVEMENTS

- STORM MANAGEMENT PONDS
EXISTING WETLAND BUFFER
LANDSCAPING
EXISTING WETLANDS
RIPRAP
ASPHALTIC CONCRETE ROAD PAVEMENT
ASPHALTIC CONCRETE PARKING LOT PAVEMENT
CONCRETE SIDEWALK
CONCRETE PAVEMENT
GRAVEL SURFACE
EARTH (SECTION VIEWS)
HEADER CURB
GUTTER
CURB AND GUTTER
SITE BOLLARD
CHAIN LINK FENCE
TEMPORARY FENCE
SILT FENCE
SIGN
HANDICAP RAMP
HANDICAP PARKING STALL

DEMOLITION

- REMOVE EXISTING FEATURE
SAWCUT LINE
DEMOLITION LIMITS
ABANDON EXISTING FEATURE

GRADING

- ROUGH/FINISH GRADE SPOT ELEVATION
SLOPE INDICATOR (DOWNHILL)
SLOPE INDICATOR (UPHILL)
EXISTING CONTOUR
NEW CONTOUR
DRAINAGE ARROW

ABBREVIATIONS

- AC ASPHALTIC CONCRETE
AD AREA DRAIN
AGGR AGGREGATE
AL ALUMINUM
ASPH ASPHALT
AVG AVERAGE
AWN ACID WASTE NEUTRALIZATION BOUNDARY
B/EXCV BOTTOM OF EXCAVATION
BFP BACKFLOW PREVENTER
BLDG BUILDING
BM BENCH MARK
BS BOTH SIDES
B/TRENCH BOTTOM OF TRENCH
BV BUTTERFLY VALVE
CAP CORRUGATED ALUMINUM PIPE
CB CATCH BASIN
CEM CEMENT
CFS CUBIC FEET PER SECOND
CI CAST IRON
CJ CONSTRUCTION JOINT
CKV CHECK VALVE
CL CENTER LINE, CLASS
CLR CLEAR
CMP CORRUGATED METAL PIPE
CMU CONCRETE MASONRY UNIT
CO CLEANOUT
COT CITY OF TUALATIN
COL COLUMN
CONC CONCRETE
COORD COORDINATE
CU CUBIC
DELTA DELTA
DIA DIAMETER
DIP DUCTILE IRON PIPE
DIST DISTANCE
DW DOMESTIC WATER
E EAST (EASTING)
E ELECTRICAL CONDUIT (UNDERGROUND)
EA EACH
EF EACH FACE
EFL EFFLUENT
EL ELEVATION
EQ EQUAL
EW EACH WAY
EX (E) EXISTING
FDN FOUNDATION
FF FINISH FLOOR
FG FINISH GRADE
FIN (F) FINISHED
FM FORCE MAIN
FOC FACE OF CURB
FPM FOOT (FEET) PER MINUTE
FPS FOOT (FEET) PER SECOND
FPW FIRE PROTECTION WATER
FT FOOT (FEET)
GA GAUGE
GALV GALVANIZED
GPH GALLON(S) PER HOUR
GPM GALLON(S) PER MINUTE
GPS GALLON(S) PER SECOND
GV GATE VALVE
HB HOSE BIB
HDPE HIGH DENSITY POLYETHYLENE
HDWR HARDWARE
HORIZ HORIZONTAL
HYD FIRE HYDRANT
ID INSIDE DIAMETER
IE INVERT ELEVATION
IN INCHES
INV INVERT
IP IRON PIPE
IWW INDUSTRIAL WASTE WATER
km KILOMETERS
km/h KILOMETERS PER HOUR
L LITERS
LBS POUNDS
LF LINEAR FEET
m METERS
mm MILLIMETERS
MATL MATERIAL
MAX MAXIMUM
MIN MINIMUM
MJ MECHANICAL JOINT
MON MONUMENT
m/s METERS/SECOND
mm/s MILLIMETERS/SECOND
MW MONITORING WELL
N NORTH (NORTHING)
NA NOT APPLICABLE (AVAILABLE)
NG NATURAL GAS
NIC NOT IN CONTRACT
NO. NUMBER
NTS NOT TO SCALE
OC ON CENTER
OD OUTSIDE DIAMETER
OHE OVERHEAD ELECTRICAL
PC POINT OF CURVATURE
PERF. PERFORATED
PH1, PH2 PHASE 1 WORK, PHASE 2 WORK
PI POINT OF INTERSECTION
PIV POST INDICATOR VALVE
PL PROPERTY LINE OR PLATE
PSF POUNDS PER SQUARE FOOT
PSI POUNDS PER SQUARE INCH
PT POINT OF TANGENCY
PVC POLYVINYL CHLORIDE
PW PROCESS WATER
R RADIUS
R/W RIGHT-OF-WAY
RCP REINFORCED CONCRETE PIPE
S SOUTH
SAN SANITARY SEWER
SANMH SANITARY SEWER MANHOLE
SCH SCHEDULE
SD STORM DRAIN
SDMH STORM DRAIN MANHOLE
SDR STANDARD DIMENSION RATIO
SF SQUARE FEET
SPEC(S) SPECIFICATION(S)
SQ SQUARE
SST STAINLESS STEEL
STA STATION
STD STANDARD
STL STEEL
SUB SUBDRAIN
SYS SYSTEM
T TELECOM CONDUIT (UNDERGROUND)
T&B TOP AND BOTTOM
TA TOP OF ASPHALT
TC TOP OF CURB
TOC TOP OF CONCRETE
TOF TOP OF FOOTING
TOG TOP OF GRATE
TOV TOP OF VAULT
TOW TOP OF WALL
TYP TYPICAL
UNO UNLESS NOTED OTHERWISE
VERT VERTICAL
VPC VERTICAL PC
VPI VERTICAL PI
VPT VERTICAL PT
W WEST
WITH WITH
WP WORKING POINT
WWF WELDED WIRE FABRIC

NOTES:

GENERAL:

- THIS SHEET CONTAINS STANDARD GENERAL NOTES AND SYMBOLS AND MAY CONTAIN ITEMS WHICH DO NOT APPLY TO THIS WORK PACKAGE.
CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM GOVERNING AGENCIES PRIOR TO START OF WORK.
CONTRACTOR SHALL MAINTAIN ADEQUATE FIRE LANE DURING CONSTRUCTION.
ELECTRIC AND TELEPHONE UTILITIES SHALL BE INSTALLED UNDERGROUND.
ALL REQUIRED IMPROVEMENTS SHALL COMPLY WITH CITY OF TUALATIN CONSTRUCTION AND MATERIALS SPECIFICATIONS (CMSC).
REFUSE COLLECTION SHALL BE PROVIDED BY PRIVATE SERVICE.
CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE APPROVED BY THE CITY OF TUALATIN PRIOR TO CONSTRUCTION OF ANY WATER OR SEWER MAINS. SITE PLAN APPROVAL FROM THE RESPECTIVE EASEMENT HOLDER SHALL BE CONSTRUED AS APPROVAL OF ALL NOTED ENCROACHMENTS, AS SHOWN ON SITE PLAN.
ALL PRODUCTS COMING IN CONTACT WITH POTABLE WATER SHALL MEET NATIONAL SANITATION FOUNDATION (NSF) STANDARD 60 (DRINKING WATER TREATMENT CHEMICALS) AND STANDARD 61 (DRINKING WATER SYSTEM COMPONENTS).
ALL POTABLE WATER AND SEWER PIPING SHALL COMPLY WITH CITY OF TUALATIN PUBLIC WORKS CONSTRUCTION CODE AND SPECIFICATIONS.
THESE DRAWINGS ARE BASED ON ALTA/NSPS LAND TITLE SURVEY. SEE "BASIS OF BEARINGS".

DEMOLITION:

- CONTRACTOR IS RESPONSIBLE FOR THE SEQUENCE OF DEMOLITION. DEMOLITION WITHIN WORK AREAS WILL BE SCHEDULED TO PARALLEL NEW CONSTRUCTION. THE PLANS DEPICT AN OVERALL DEMOLITION PLAN AND MAY NOT BE COMPLETE. AREAS AND ITEMS TO BE DEMOLISHED WHICH ARE NOT SHOWN ON THIS PLAN ARE THE RESPONSIBILITY OF THE CONTRACTOR. NOTIFY ENGINEER PRIOR TO ANY DEMOLITION NOT SHOWN.
NOTIFY UTILITY COMPANIES FOR UTILITY LOCATION INFORMATION PRIOR TO DEMOLITION.
CONTRACTOR SHALL COORDINATE REMOVAL OF UTILITIES WITH EACH RELATED SUBCONTRACTOR.
CONTRACTOR IS RESPONSIBLE FOR ALL UTILITIES TO REMAIN. REMOVAL OF SITE PIPING SCHEDULED FOR DEMOLITION WILL BE APPROACHED UPON THE BASIS OF MAINTAINING SITE OPERATIONS. ANY PORTION OF DEMOLITION DETERMINED BY CONTRACTOR TO BE A POTENTIAL SITE SHUTDOWN RISK SHALL BE REVIEWED BY OWNER AND ENGINEER PRIOR TO DEMOLITION OF THE FEATURE.
CAP AND DEMOLISH SITE ELECTRICAL IN WORK AREA. IF TELECOMMUNICATION LINES ARE PRESENT IN UNDERGROUND WORK AREA, CONTRACTOR SHALL COORDINATE THIS DEMOLITION WITH APPROPRIATE OWNER REPRESENTATIVE.

DEMOLITION CONT.:

- CONTRACTOR SHALL REMOVE UTILITY PIPING AS SHOWN. CONFLICTS WITH EXISTING UTILITIES MAY OVERRIDE REMOVAL CRITERIA. RECORD ALL REMOVALS AND ABANDONMENT OF EXISTING UTILITIES ON RECORD DRAWINGS.
EXISTING BUILDING PIPING (IE. DW, SAN, SD, NG (NATURAL GAS)) DESIGNATED FOR DEMOLITION SHALL BE REMOVED BACK TO THE MAIN RUN, OR TO THE FIRST VALVE ON THE LATERAL, AND PLUGGED.
CONTRACTOR IS RESPONSIBLE FOR PROTECTION AND/OR REPLACEMENT OF EXISTING BUILDINGS, SIDEWALKS, CURBS, AND PAVING NOT SCHEDULED FOR DEMOLITION WITHIN AREA OF WORK.
SEE LANDSCAPE DEMOLITION DRAWINGS FOR IRRIGATION LINE REMOVAL AND CAPPING.
IF REQUIRED, CONTRACTOR SHALL DECOMMISSION ANY MONITORING WELLS IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE LOCAL JURISDICTION. ALL WELL DECOMMISSIONING WILL BE PERFORMED BY CONTRACTORS LICENSED TO CONSTRUCT, ALTER, OR ABANDON WELLS, AND CERTIFIED BY A REGISTERED ENGINEER, GEOLOGIST, OR ENVIRONMENTAL SCIENTIST. FIELD VERIFY LOCATION OF EXISTING WELL.
AFTER REMOVAL OF UTILITIES, TRENCHES SHALL BE BACK FILLED AND COMPACTED ACCORDING TO THE REQUIRED SPECIFICATION.

EARTHWORK:

- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAKING ALL EXCAVATIONS IN A SAFE MANNER. PROVIDE APPROPRIATE MEASURES TO RETAIN EXCAVATION SIDESLOPES AND PREVENT ROCK FALLS. TO ENSURE THAT PERSONS WORKING IN OR NEAR THE EXCAVATION ARE PROTECTED.
JACOBS HAS NOT DESIGNED OR REVIEWED, IS NOT RESPONSIBLE FOR, AND DOES NOT CERTIFY ANY ASPECT OF ANY EXCAVATION SHORING SYSTEMS AND/OR SAFETY SYSTEMS FOR ANY EXCAVATION WHICH MAY BE DESCRIBED, SHOWN, OR DEPICTED, DIRECTLY OR INDIRECTLY, ON THESE DRAWINGS.
ELEVATION SLOPE INDICATORS SHOWN AT TOP AND BOTTOM OF OPEN CUTS AND FILLS ARE APPROXIMATE.
SEE STRUCTURAL DRAWINGS FOR LOCATION AND ELEVATION OF FOOTINGS AND LIMITS OF SLABS.
CONTRACTOR IS RESPONSIBLE FOR CONTROL OF DUST AND SEDIMENT CREATED BY CONSTRUCTION ON-SITE AND OFF-SITE. SEDIMENT TRANSPORTED BY TRUCK TIRE AND SPILLAGE FROM TRUCK LOADINGS SHALL BE KEPT TO A MINIMUM. AT THE END OF EACH WORKING DAY OR WHEN REQUIRED, ON-SITE AND OFF-SITE AC PAVEMENT AND CONCRETE SURFACES THAT BECOME SEDIMENT-COVERED SHALL BE WASHED FREE OF SEDIMENTS. CONTRACTOR SHALL MAINTAIN A WATER TRUCK ON SITE FOR THIS PURPOSE.

FINISH GRADING:

- ALL LANDSCAPE AREAS SHALL BE GRADED TO THE SIDEWALK FINISH GRADE AND TO THE TOP OF CURB UNLESS SHOWN OTHERWISE. SEE GRADING PLAN FOR ELEVATIONS.
CONTRACTOR SHALL ADJUST TOP OF MANHOLES AND GRATES TO FINISH GRADE AS REQUIRED.
FINISH GRADE PLANS REFLECT POSITIVE DRAINAGE TO CATCH BASINS, CURB CUTS, RAIN STRAINER TYPE MANHOLE LIDS, AREA DRAINS OR OTHER TYPES OF STORM WATER RECEIVING STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE IN PARKING LOTS, HARDSCAPE AREAS, AND LANDSCAPING. NOTIFY ENGINEER OF ANY DISCREPANCIES.
GRADES SHOWN ON UTILITY PLANS ARE FOR REFERENCE ONLY AND SHOULD NOT BE USED FOR FINAL CONSTRUCTION. FINISHED GRADING TO BE ISSUED AS PART OF FINAL SITE IMPROVEMENTS AND UTILITY STRUCTURES TO BE ADJUSTED TO FINISHED GRADE AT TIME OF COMPLETION OF FINAL SURFACES. CONTRACTOR TO ENSURE UNDERGROUND UTILITIES ARE ADEQUATELY PROTECTED FROM TRAFFIC LOADING UNTIL FULL DESIGN DEPTH OF BURIAL IS ACHIEVED.

UTILITIES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES WITHIN THE WORK AREA PRIOR TO CONSTRUCTION OF NEW UTILITIES. EXISTING UTILITIES SHOWN MAY NOT INCLUDE ALL UTILITIES TO BE ENCOUNTERED. UTILITY ROUTES WERE DETERMINED FROM EXISTING RECORD DRAWINGS AND/OR SURVEYS.
CONTRACTOR SHALL PROTECT AND MAINTAIN SERVICE OF EXISTING UTILITIES DURING CONSTRUCTION. INTERRUPTION OF UTILITY SERVICE SHALL BE COORDINATED WITH APPROPRIATE CLIENT REPRESENTATIVE.
RESPONSIBILITY FOR CONSTRUCTION OF SITE UTILITIES SHALL BEGIN AT FIVE (5) FEET OUTSIDE OF BUILDING SLAB UNLESS OTHERWISE NOTED.
CLEANOUTS ARE TO BE INSTALLED ON ALL STORM DRAIN LATERALS AND SANITARY SEWER LATERALS TO THE BUILDING, UNLESS OTHERWISE NOTED. FOR LOCATION OF BUILDING LATERALS, SEE PLANS FOR SPECIFIED BUILDING.
UTILITY CONTRACTOR SHALL COORDINATE CONSTRUCTION TO PREVENT ELEVATION CONFLICTS, INCLUDING UTILITY PLACEMENT WITH ELECTRICAL AND TELECOM UNDERGROUND WORK, AND PRECAST/CAST IN PLACE UTILITY TRENCHES.

UTILITIES:

- CONTRACTOR SHALL SCHEDULE GRAVITY PIPELINE WORK AHEAD OF OTHER UNDERGROUND UTILITY CONSTRUCTION.
ALL PIPE RUNS FROM CATCH BASINS SHALL BE EIGHT (8) INCH DIAMETER UNLESS SHOWN OTHERWISE.
ALL PUBLIC IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE APPROPRIATE GOVERNING AGENCY.
CONTRACTOR SHALL PROTECT EXISTING STRUCTURES DURING CONSTRUCTION OF UTILITIES. CONTRACTOR SHALL AVOID UNDERMINING OF EXISTING FOOTINGS, TANKS, OR PIER CAPS.
CONTRACTOR SHALL REPLACE, IN KIND, ALL AC PAVEMENT, CONCRETE, LANDSCAPING AND IRRIGATION WHICH IS REMOVED OR DISTURBED DURING INSTALLATION OF PIPING AND PLACEMENT OF MANHOLES.
CONTRACTOR SHALL FIELD VERIFY ALL MANHOLE RIM ELEVATIONS.
ABOVE GROUND UTILITIES (FIRE HYDRANTS, PIPS, ETC) MAY BE INSTALLED AT A LATER TIME FOR CONSTRUCTION AREA MANEUVERABILITY AND SAFETY. VERIFY WITH LOCAL AGENCIES AND CM.
NEW PRESSURE PIPES TO BE RESTRAINED BY MEANS OF THRUST BLOCKS AND/OR JOINT RESTRAINTS. SUBMIT ON TYPE OF JOINT RESTRAINT TO BE USED.

EROSION & SEDIMENT CONTROL/ SLOPE PROTECTION:

- CONTRACTOR IS RESPONSIBLE FOR INSTALLING EROSION CONTROL ITEMS AS SHOWN IN PLANS. CONTROLS SHALL BE INSTALLED PRIOR TO SOIL DISTURBANCE. THE EROSION CONTROL ITEMS SHOWN ON DRAWINGS ARE MINIMUM REQUIREMENTS, AND CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL MEASURES WHICH MAY BECOME NECESSARY FOR SLOPE PROTECTION OR TO CONTROL ANY TYPE OF SEDIMENT MIGRATION.
ALL SLOPES 3H:1V AND STEEPER SHALL BE COVERED WITH EROSION CONTROL BLANKET AFTER SEEDING. FIBER MAT SHALL BE INSTALLED ON AREAS SEEDED, AND WILL REMAIN UNTIL VEGETATION IS FIRMLY ESTABLISHED.
CONTRACTOR SHALL APPLY SEED OR HYDROSEED ALL EXPOSED SLOPES AND ROUGH GRADED AREAS IN ACCORDANCE WITH SSOE EROSION CONTROL DOCUMENTS.
CONTRACTOR IS RESPONSIBLE FOR CONTROL OF DUST AND SEDIMENT CREATED BY CONSTRUCTION ON-SITE AND OFF-SITE. SEDIMENT TRANSPORTED BY TRUCK TIRE AND SPILLAGE FROM TRUCK LOADINGS SHALL BE KEPT TO A MINIMUM.
APPROVAL OF THE EROSION CONTROL ELEMENT DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN.
DURING INACTIVE PERIODS ON THE SITE, THE CONTRACTOR MUST INSPECT AND MAINTAIN EROSION CONTROL FACILITIES ONCE A MONTH OR WITHIN THE 24 HOURS FOLLOWING A STORM EVENT.
HYDROSEED, MULCH AND FERTILIZE ALL DISTURBED GROUND NOT RECEIVING HARD SURFACE AT THE EARLIEST POSSIBLE TIME.

RECORD DRAWINGS:

- CONTRACTOR SHALL PROVIDE RECORD DRAWINGS OF ALL ABANDONED UTILITIES WITHIN THE WORK AREA INCLUDING UTILITY TYPE, SIZE OR DIAMETER, WITH SURVEYED NORTHING, EASTING AND ELEVATION.
CONTRACTOR SHALL BE RESPONSIBLE FOR RECORD DRAWING INFORMATION. PRIOR TO BACKFILLING ANY UNDERGROUND PIPING, TOP OF PIPE ELEVATIONS, NORTHINGS AND EASTINGS SHALL BE SURVEYED AT EACH HORIZONTAL AND VERTICAL BEND AND AT MINIMUM 200 FEET INTERVALS ALONG HORIZONTAL RUNS. THIS INFORMATION IS TO BE TRANSFERRED TO THE RECORD DRAWINGS, WHICH ARE "LIVING" DOCUMENTS DURING CONSTRUCTION.
CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL RECORD DRAWING INFORMATION WHICH MAY BE REQUIRED BY OWNER OR ENGINEER.
ALL SURVEYED LOCATIONS REQUIRED FOR RECORD DRAWINGS SHALL BE LOCATED BY A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF OHIO.
CONTRACTOR SHALL PROVIDE RECORD DRAWINGS OF ALL ABANDONED UTILITIES WITHIN THE WORK AREA INCLUDING UTILITY TYPE, SIZE, OR DIAMETER, WITH SURVEYED NORTHING, EASTING, AND ELEVATION.
RECORD AS-BUILT SURVEY FILE TO BE DELIVERED TO OWNER IN AUTOCAD CIVIL 3D FORMAT, WITH SURVEY POINTS OF UTILITIES SURVEYED INCLUDED FOR REFERENCE. AUTOCAD DRAWING SHALL MEET INTEL CAD STANDARD REQUIREMENTS.

SITE IMPROVEMENTS:

- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE SHOWN.
ALL CURB RADII ARE 5 FEET UNLESS OTHERWISE SHOWN.

JACOBS logo and contact information: Portland Office, 2020 S.W. 4th Avenue, 3rd Floor, Portland, Oregon 97201

M. Architecture + Interiors Planning + Engineering logo and contact information: 1905 NW 169TH PL, STE 121 BEAVERTON, OR 97006

MACKENZIE

JACOBS PROJECT NO.: D3822800 CLIENT PROJECT NO.:

DRAWN: REVIEWED: DESIGNED: APPROVED:

NOTICE: STAMP:

Table with 4 columns: NO., REVISION OR ISSUE, DATE, BY

Table with 4 columns: A, SP01 | ISSUE FOR REVIEW, 09/12/24, TC

ARCHITECTURAL REVIEW 9/16/2024 (NOT FOR CONSTRUCTION)

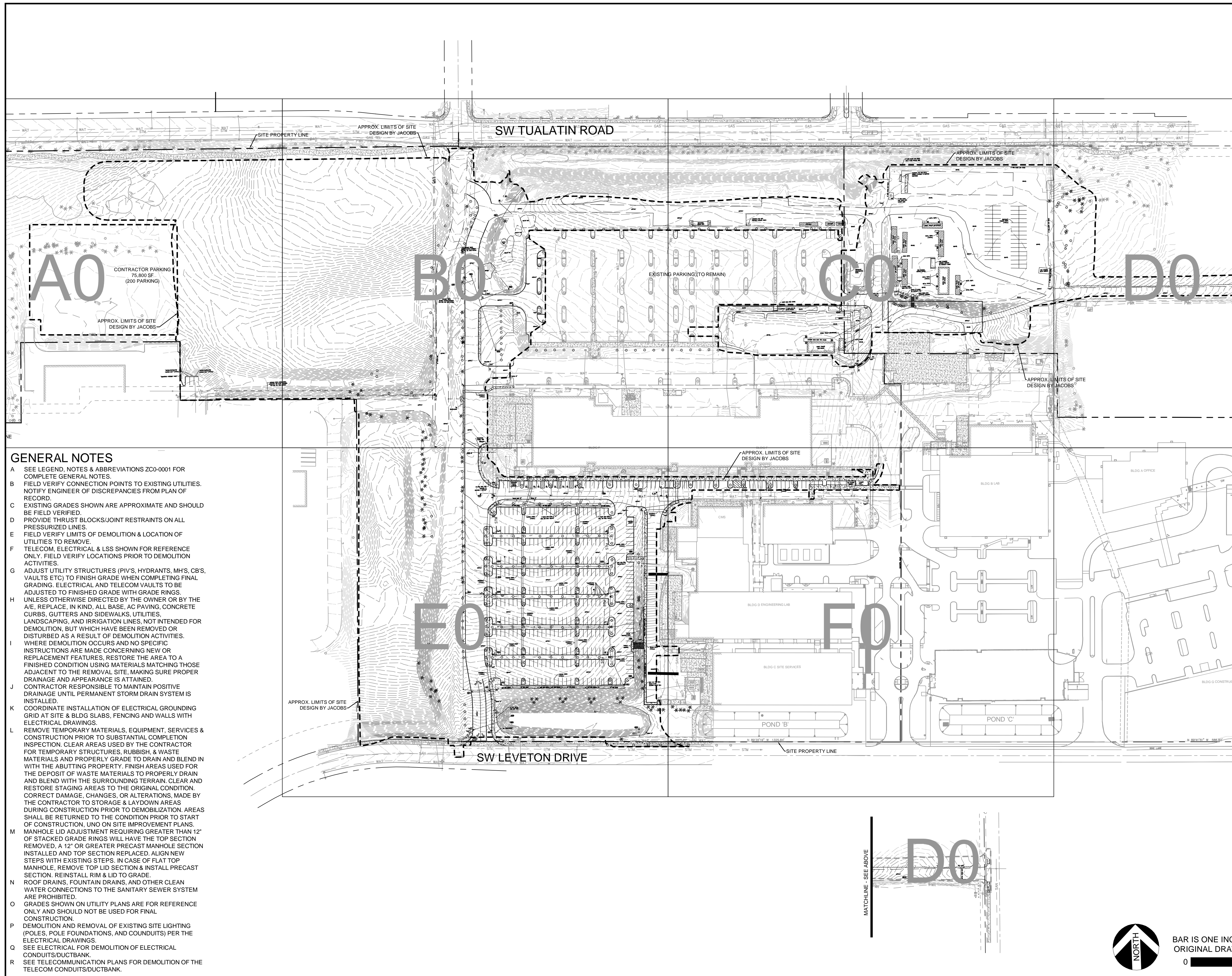


Lam Research Corporation 11155 SW LEVETON DR. TUALATIN, OR. 97062

TITLE: SITE-CIVIL CIVIL NOTES & LEGEND

DATE ISSUED: DRAWING SCALE: 1=1 ACAD FILE: BUILDING DESIGNATOR:

DRAWING NUMBER: ZCO-0001



GENERAL NOTES

- A SEE LEGEND, NOTES & ABBREVIATIONS ZC0-0001 FOR COMPLETE GENERAL NOTES.
- B FIELD VERIFY CONNECTION POINTS TO EXISTING UTILITIES. NOTIFY ENGINEER OF DISCREPANCIES FROM PLAN OF RECORD.
- C EXISTING GRADES SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED.
- D PROVIDE THRUST BLOCKS/JOINT RESTRAINTS ON ALL PRESSURIZED LINES.
- E FIELD VERIFY LIMITS OF DEMOLITION & LOCATION OF UTILITIES TO REMOVE.
- F TELECOM, ELECTRICAL & LSS SHOWN FOR REFERENCE ONLY. FIELD VERIFY LOCATIONS PRIOR TO DEMOLITION ACTIVITIES.
- G ADJUST UTILITY STRUCTURES (PIV'S, HYDRANTS, M.H.S, C.B.S, VAULTS ETC) TO FINISH GRADE WHEN COMPLETING FINAL GRADING. ELECTRICAL AND TELECOM VAULTS TO BE ADJUSTED TO FINISHED GRADE WITH GRADE RINGS.
- H UNLESS OTHERWISE DIRECTED BY THE OWNER OR BY THE A/E, REPLACE, IN KIND, ALL BASE, AC PAVING, CONCRETE CURBS, GUTTERS AND SIDEWALKS, UTILITIES, LANDSCAPING, AND IRRIGATION LINES, NOT INTENDED FOR DEMOLITION, BUT WHICH HAVE BEEN REMOVED OR DISTURBED AS A RESULT OF DEMOLITION ACTIVITIES.
- I WHERE DEMOLITION OCCURS AND NO SPECIFIC INSTRUCTIONS ARE MADE CONCERNING NEW OR REPLACEMENT FEATURES, RESTORE THE AREA TO A FINISHED CONDITION USING MATERIALS MATCHING THOSE ADJACENT TO THE REMOVAL SITE, MAKING SURE PROPER DRAINAGE AND APPEARANCE IS ATTAINED.
- J CONTRACTOR RESPONSIBLE TO MAINTAIN POSITIVE DRAINAGE UNTIL PERMANENT STORM DRAIN SYSTEM IS INSTALLED.
- K COORDINATE INSTALLATION OF ELECTRICAL GROUNDING GRID AT SITE & BLDG SLABS, FENCING AND WALLS WITH ELECTRICAL DRAWINGS.
- L REMOVE TEMPORARY MATERIALS, EQUIPMENT, SERVICES & CONSTRUCTION PRIOR TO SUBSTANTIAL COMPLETION INSPECTION. CLEAR AREAS USED BY THE CONTRACTOR FOR TEMPORARY STRUCTURES, RUBBISH, & WASTE MATERIALS AND PROPERLY GRADE TO DRAIN AND BLEND IN WITH THE ADJUTING PROPERTY. FINISH AREAS USED FOR THE DEPOSIT OF WASTE MATERIALS TO PROPERLY DRAIN AND BLEND WITH THE SURROUNDING TERRAIN. CLEAR AND RESTORE STAGING AREAS TO THE ORIGINAL CONDITION. CORRECT DAMAGE, CHANGES, OR ALTERATIONS, MADE BY THE CONTRACTOR TO STORAGE & LAYDOWN AREAS DURING CONSTRUCTION PRIOR TO DEMOBILIZATION. AREAS SHALL BE RETURNED TO THE CONDITION PRIOR TO START OF CONSTRUCTION. UNO ON SITE IMPROVEMENT PLANS.
- M MANHOLE LID ADJUSTMENT REQUIRING GREATER THAN 12" OF STACKED GRADE RINGS WILL HAVE THE TOP SECTION REMOVED, A 12" OR GREATER PRECAST MANHOLE SECTION INSTALLED AND TOP SECTION REPLACED. ALIGN NEW STEPS WITH EXISTING STEPS. IN CASE OF FLAT TOP MANHOLE, REMOVE TOP LID SECTION & INSTALL PRECAST SECTION. REINSTALL RIM & LID TO GRADE.
- N ROOF DRAINS, FOUNTAIN DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- O GRADES SHOWN ON UTILITY PLANS ARE FOR REFERENCE ONLY AND SHOULD NOT BE USED FOR FINAL CONSTRUCTION.
- P DEMOLITION AND REMOVAL OF EXISTING SITE LIGHTING (POLES, POLE FOUNDATIONS, AND COUNDITS) PER THE ELECTRICAL DRAWINGS.
- Q SEE ELECTRICAL FOR DEMOLITION OF ELECTRICAL CONDUITS/DUCTBANK
- R SEE TELECOMMUNICATION PLANS FOR DEMOLITION OF THE TELECOM CONDUITS/DUCTBANK.

Jacobs
 Portland Office
 2020 S.W. 4th Avenue, 3rd Floor
 Portland, Oregon 97201

M. C.
 Architecture • Interiors
 Planning • Engineering

CORBIN
 CONSULTING ENGINEERS
 1905 NW 169TH PL, STE 121
 BEAVERTON, OR 97006

Portland, OR 503.224.9560
 Vancouver, WA 360.695.7879
 Seattle, WA 206.749.9993
 www.mackenzie.inc

MACKENZIE

JACOBS PROJECT NO.: D3822800 CLIENT PROJECT NO.:
 DRAWN: REVIEWED:
 DESIGNED: APPROVED:
 NOTICE: STAMP:

NO.	REVISION OR ISSUE	DATE	BY
A	SP01 ISSUE FOR REVIEW	09/12/24	TC

ARCHITECTURAL REVIEW
 9/16/2024
 (NOT FOR CONSTRUCTION)

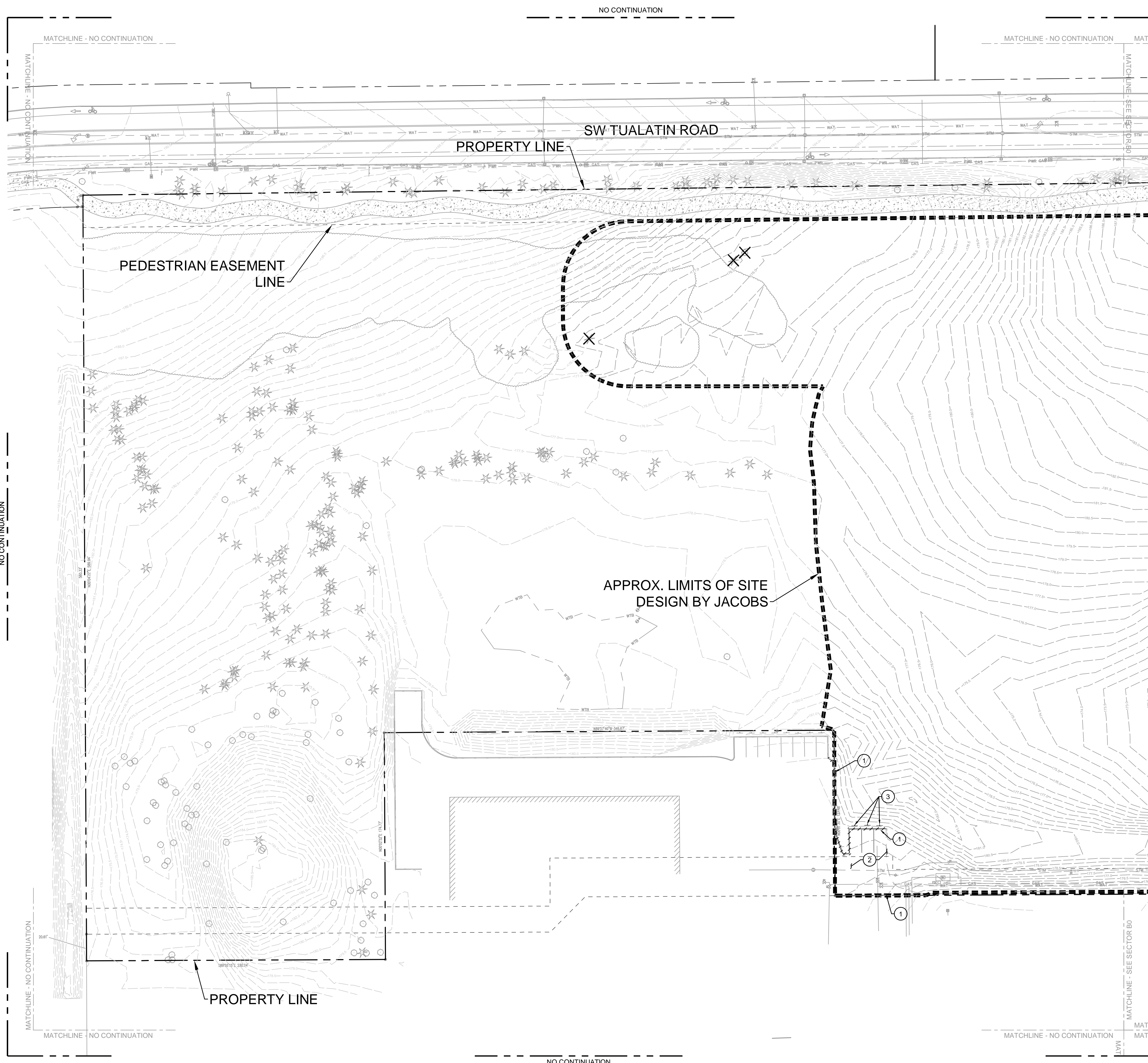
Lam RESEARCH
 Lam Research Corporation
 11155 SW LEVETON DR.
 TUALATIN, OR. 97062

TITLE: SITE-CIVIL DEMOLITION OVERALL PLAN

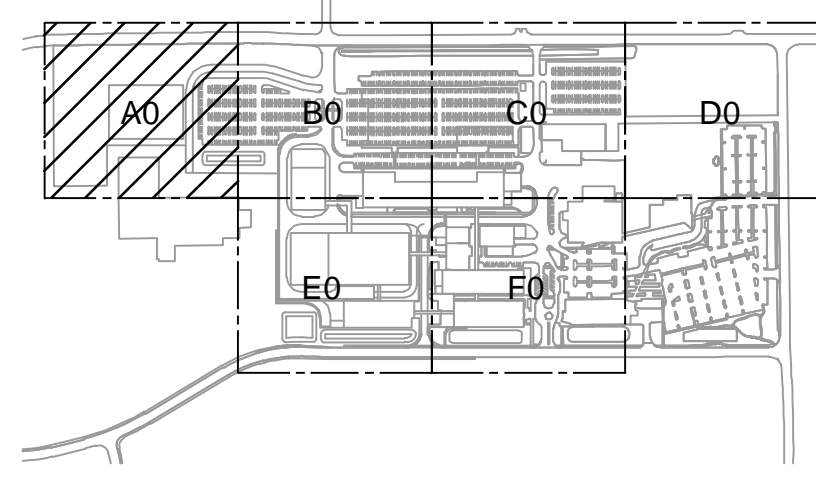
DATE ISSUED: DRAWING SCALE: 1=100
 ACAD FILE: BUILDING DESIGNATOR:
 DRAWING NUMBER: ZC0-0600



Name: ZC0-0600.dwg User: BOWLESD Date: 18/Sep/24 - 10:19 AM



KEY PLAN



GENERAL NOTES

- A SEE ZC0-0600 FOR DEMOLITION GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

KEYED NOTES

- 1 SAWCUT AND REMOVE CONCRETE CURB.
- 2 SAWCUT AND REMOVE ASPHALT PAVEMENT.
- 3 REMOVE EXISTING SIGN, POST AND FOOTING

Jacobs

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M.
Architecture • Interiors
Planning • Engineering

C
CORBIN
CONSULTING ENGINEERS

1905 NW 169TH PL, STE 121
BEAVERTON, OR 97006

Portland, OR
503.224.9560
Vancouver, WA
360.695.7879
Seattle, WA
206.749.9993

www.mackenzie.inc

MACKENZIE

JACOBS PROJECT NO.:
D3822800

CLIENT PROJECT NO.:

DRAWN:

REVIEWED:

DESIGNED:

APPROVED:

NOTICE:

STAMP:

A		SP01 ISSUE FOR REVIEW	09/12/24	TC
NO.	REVISION OR ISSUE	DATE	BY	

**ARCHITECTURAL
REVIEW**
9/16/2024
(NOT FOR CONSTRUCTION)

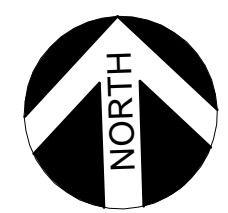


Lam Research Corporation
11155 SW LEVETON DR.
TUALATIN, OR. 97062

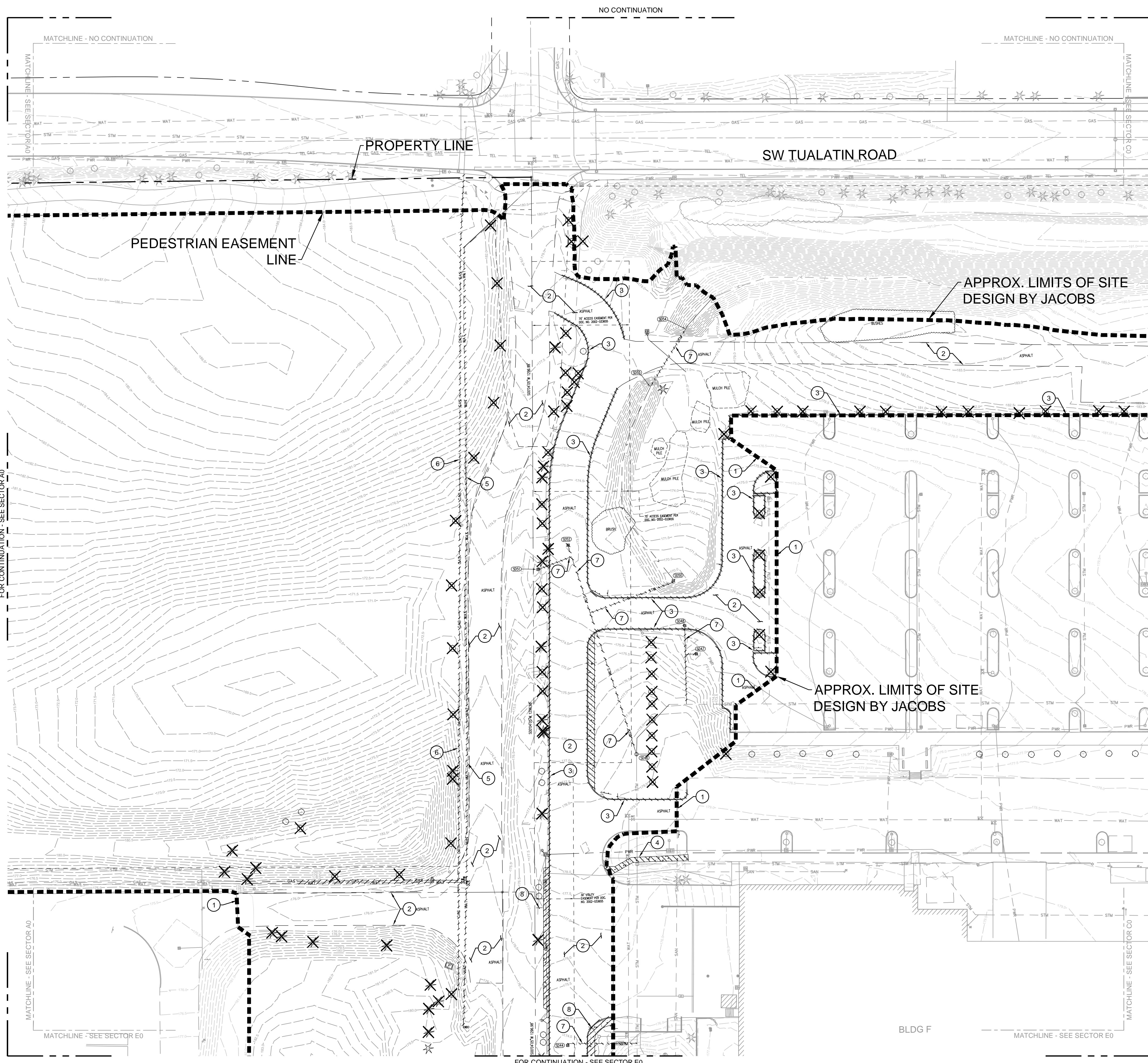
TITLE:
**SITE-CIVIL
DEMOLITION
SECTOR A0
PLAN**

DATE ISSUED: DRAWING SCALE: 1=40
ACAD FILE: BUILDING DESIGNATOR:

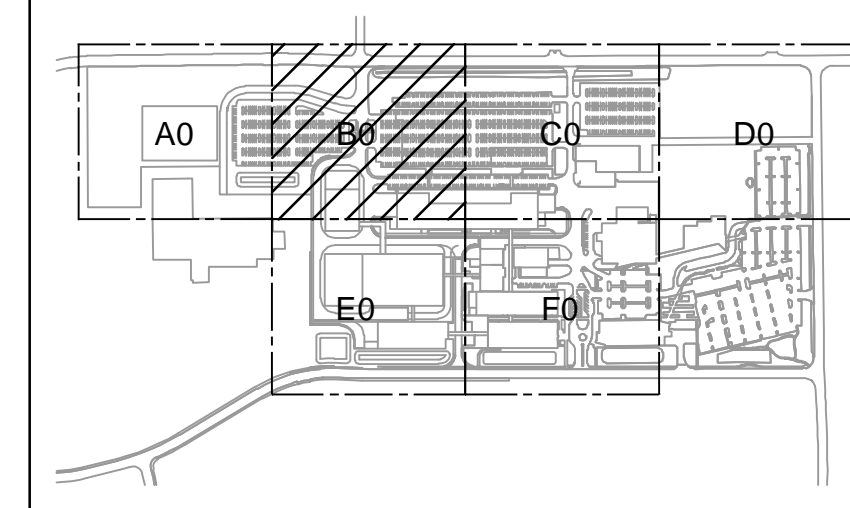
DRAWING NUMBER:
ZC0-06A0



BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"



KEY PLAN



GENERAL NOTES

- A SEE ZC0-0600 FOR DEMOLITION GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

KEYED NOTES

- 1 SAWCUT EXISTING PAVEMENT.
- 2 DEMOLISH AND REMOVE EXISTING ASPHALT PAVEMENT
- 3 DEMOLISH AND REMOVE EXISTING CONCRETE CURB AND GUTTER.
- 4 DEMOLISH AND REMOVE EXISTING CONCRETE SIDEWALK.
- 5 DEMOLISH AND REMOVE PORTION OF EXISTING FIRE MAIN. COORDINATE LIMITS OF REMOVAL WITH PROPOSED FIRE MAIN.
- 6 DEMOLISH AND REMOVE EXISTING GAS MAIN. COORDINATE LIMITS OF REMOVAL WITH PROPOSED GAS MAIN.
- 7 DEMOLISH AND REMOVE EXISTING STORM MAIN. COORDINATE LIMITS OF REMOVAL WITH PROPOSED STORM MAIN.
- 8 REMOVE EXISTING SIGN, POST AND FOOTING.

Jacobs.
 Portland Office
 2020 S.W. 4th Avenue, 3rd Floor
 Portland, Oregon 97201

M. C.
 Architecture • Interiors
 Planning • Engineering
CORBIN
 CONSULTING ENGINEERS
 1905 NW 169TH PL, STE 121
 BEAVERTON, OR 97006

Portland, OR
 503.224.9560
 Vancouver, WA
 360.695.7879
 Seattle, WA
 206.749.9993

www.mackenzie.inc

MACKENZIE

JACOBS PROJECT NO.: **D3822800** CLIENT PROJECT NO.:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO.	REVISION OR ISSUE	DATE	BY
A	SP01 ISSUE FOR REVIEW	09/12/24	TC

ARCHITECTURAL REVIEW
 9/16/2024
 (NOT FOR CONSTRUCTION)



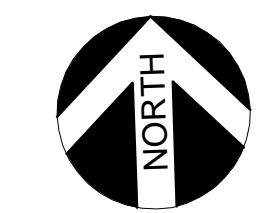
Lam Research Corporation
 11155 SW LEVETON DR.
 TUALATIN, OR. 97062

TITLE:
 SITE-CIVIL
 DEMOLITION
 SECTOR B0
 PLAN

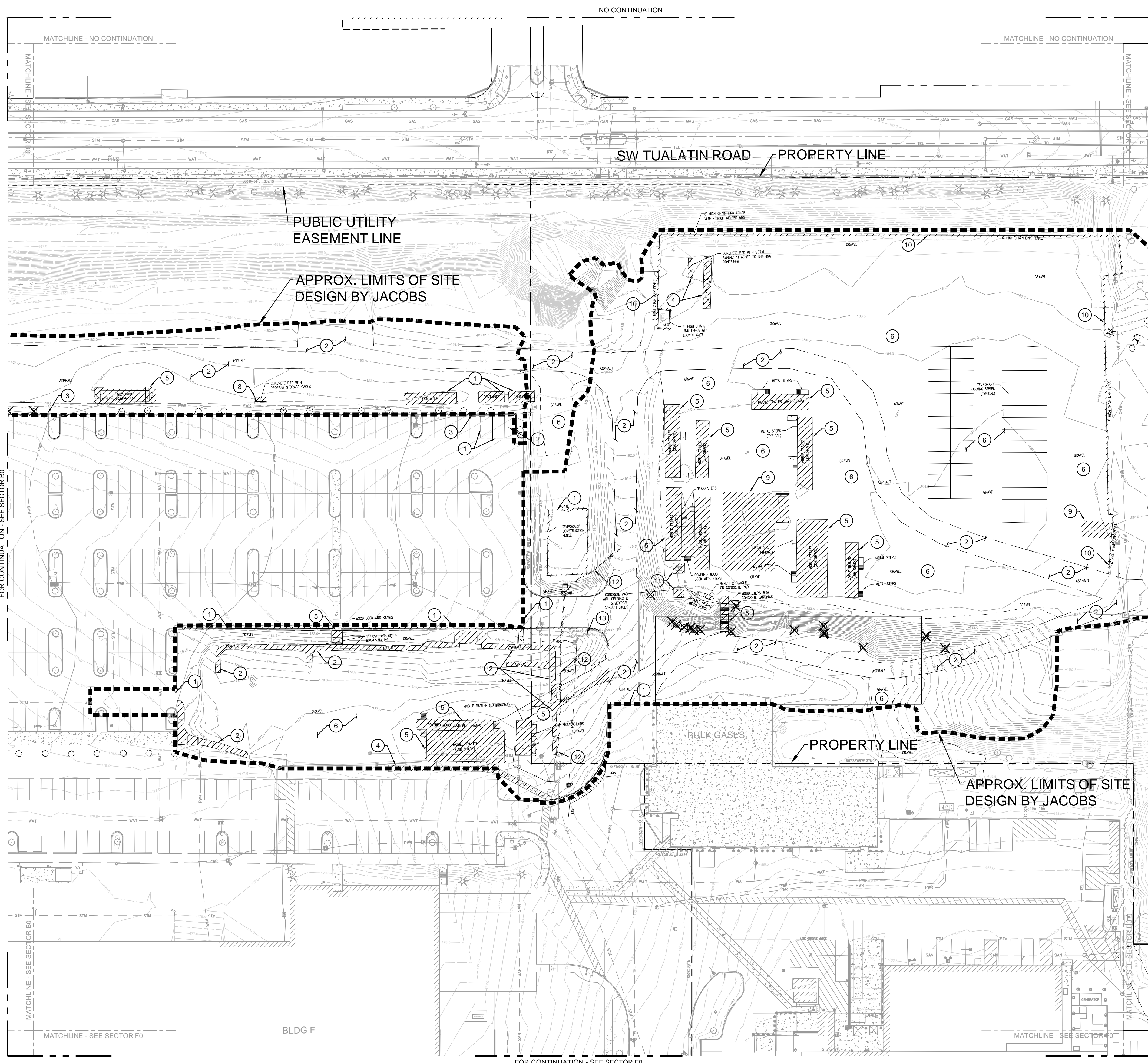
DATE ISSUED: DRAWING SCALE: 1=40
 ACAD FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:

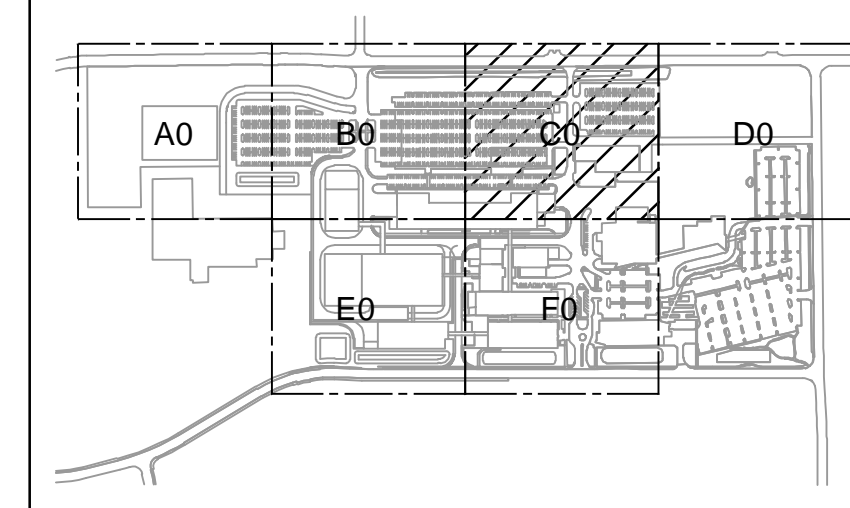
ZC0-06B0



BAR IS ONE INCH ON ORIGINAL DRAWING
 0 1"



KEY PLAN



GENERAL NOTES

- A SEE ZC0-0600 FOR DEMOLITION GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

KEYED NOTES

- 1 SAWCUT EXISTING PAVEMENT.
- 2 DEMOLISH AND REMOVE ASPHALT PAVEMENT.
- 3 DEMOLISH AND REMOVE EXISTING CONCRETE CURB.
- 4 DEMOLISH AND REMOVE EXISTING CONCRETE SIDEWALK.
- 5 RELOCATE EXISTING MOBILE TRAILER. DEMOLISH STAIRS, FOUNDATION SUPPORTS, AND UTILITY CONNECTIONS.
- 6 DEMOLISH AND REMOVE GRAVEL SURFACE.
- 7 DEMOLISH AND REMOVE CONCRETE SLAB AND AWNING.
- 8 DEMOLISH AND REMOVE CONCRETE PAD.
- 9 DEMOLISH AND REMOVE COVERED CARPORT STRUCTURE.
- 10 DEMOLISH AND REMOVE CHAIN LINK FENCING.
- 11 COORDINATE REMOVAL AND DEMOLITION OF ELECTRICAL EQUIPMENT AND CONDUITS WITH ELECTRICAL PLANS.
- 12 CAP AND DEMOLISH EXISTING DOMESTIC WATER SERVICE.
- 13 REMOVE EXISTING SIGN, POST AND FOOTING.

JACOBS

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M. C.
Architecture • Interiors
Planning • Engineering

CORBIN
CONSULTING ENGINEERS

1905 NW 169TH PL, STE 121
BEAVERTON, OR 97006

Portland, OR
503.224.9560
Vancouver, WA
360.695.7879
Seattle, WA
206.749.9993

www.mackenzie.inc

MACKENZIE

JACOBS PROJECT NO.: **D3822800** CLIENT PROJECT NO.:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO.	REVISION OR ISSUE	DATE	BY
A	SP01 ISSUE FOR REVIEW	09/12/24	TC

ARCHITECTURAL REVIEW
9/16/2024
(NOT FOR CONSTRUCTION)



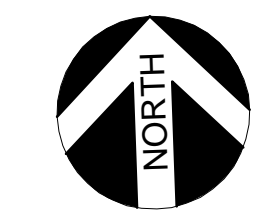
Lam Research Corporation
11155 SW LEVETON DR.
TUALATIN, OR. 97062

TITLE:
SITE-CIVIL DEMOLITION SECTOR C0 PLAN

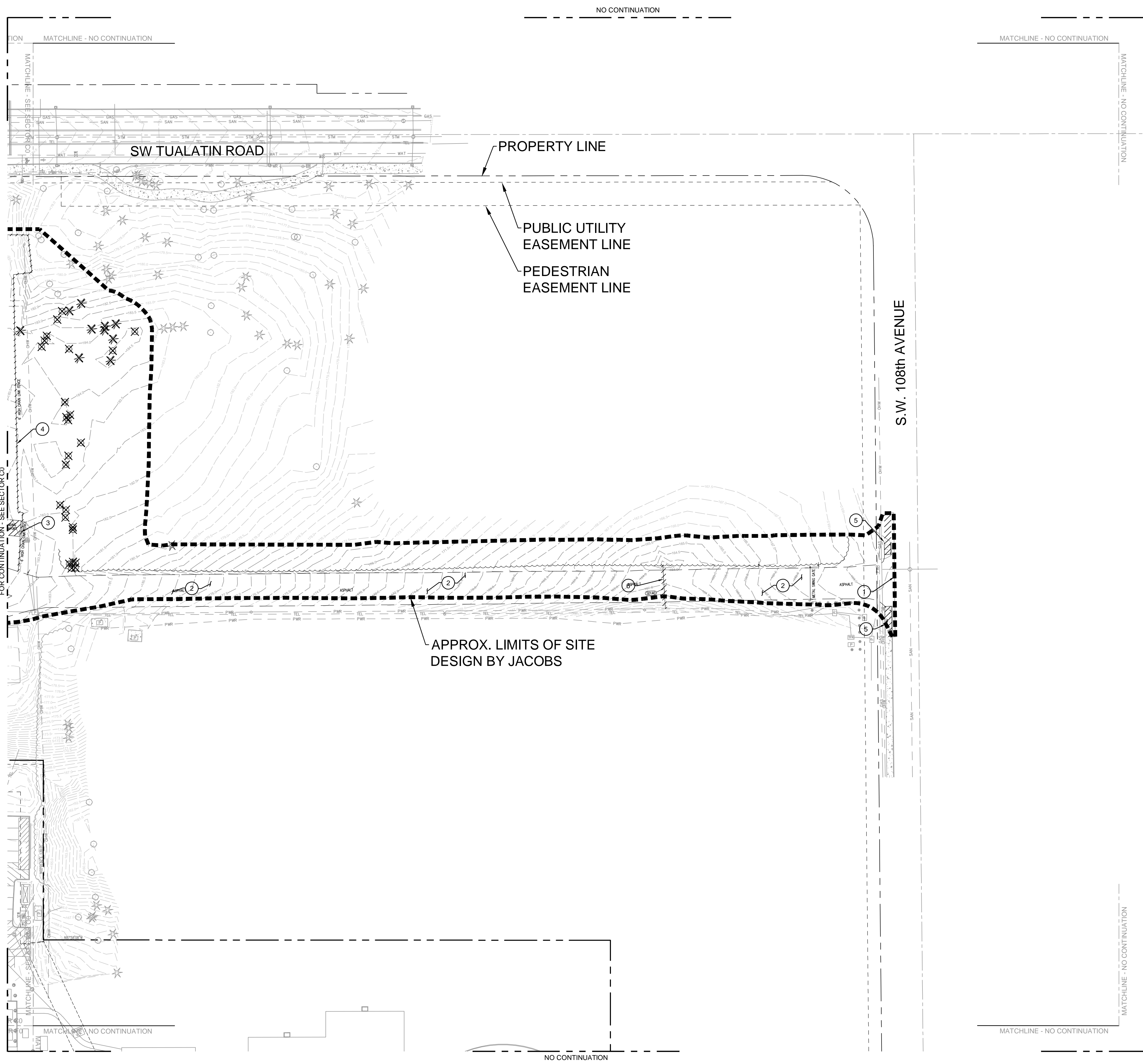
DATE ISSUED: DRAWING SCALE: 1"=40'
ACAD FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:

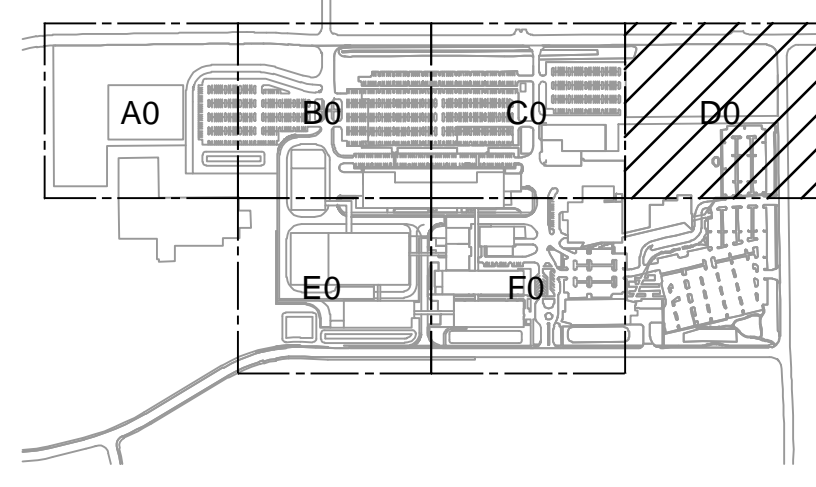
ZC0-06C0



BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"



KEY PLAN



GENERAL NOTES

- A SEE ZC0-0600 FOR DEMOLITION GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

KEYED NOTES

- 1 SAWCUT EXISTING PAVEMENT.
- 2 DEMOLISH AND REMOVE ASPHALT PAVEMENT.
- 3 DEMOLISH AND REMOVE COVERED CARPORT STRUCTURE.
- 4 DEMOLISH AND REMOVE CHAIN LINK FENCING.
- 5 SAWCUT AND REMOVE EXISTING SIDEWALK.
- 6 DEMOLISH AND REMOVE EXIST 6" CULVERT PIPE.

JACOBS

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M.

Architecture • Interiors
Planning • Engineering

C

CORBIN
CONSULTING ENGINEERS

1905 NW 169TH PL., STE 121
BEAVERTON, OR 97006

Portland, OR
503.224.9560
Vancouver, WA
360.695.7879
Seattle, WA
206.749.9993

www.mackenzieinc.com

MACKENZIE

JACOBS PROJECT NO.: **D3822800** CLIENT PROJECT NO.:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO.	REVISION OR ISSUE	DATE	BY
A	SP01 ISSUE FOR REVIEW	09/12/24	TC

ARCHITECTURAL REVIEW
9/16/2024
(NOT FOR CONSTRUCTION)



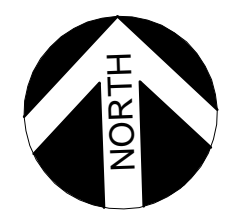
Lam Research Corporation
11155 SW LEVETON DR.
TUALATIN, OR. 97062

TITLE:
SITE-CIVIL DEMOLITION SECTOR D0 PLAN

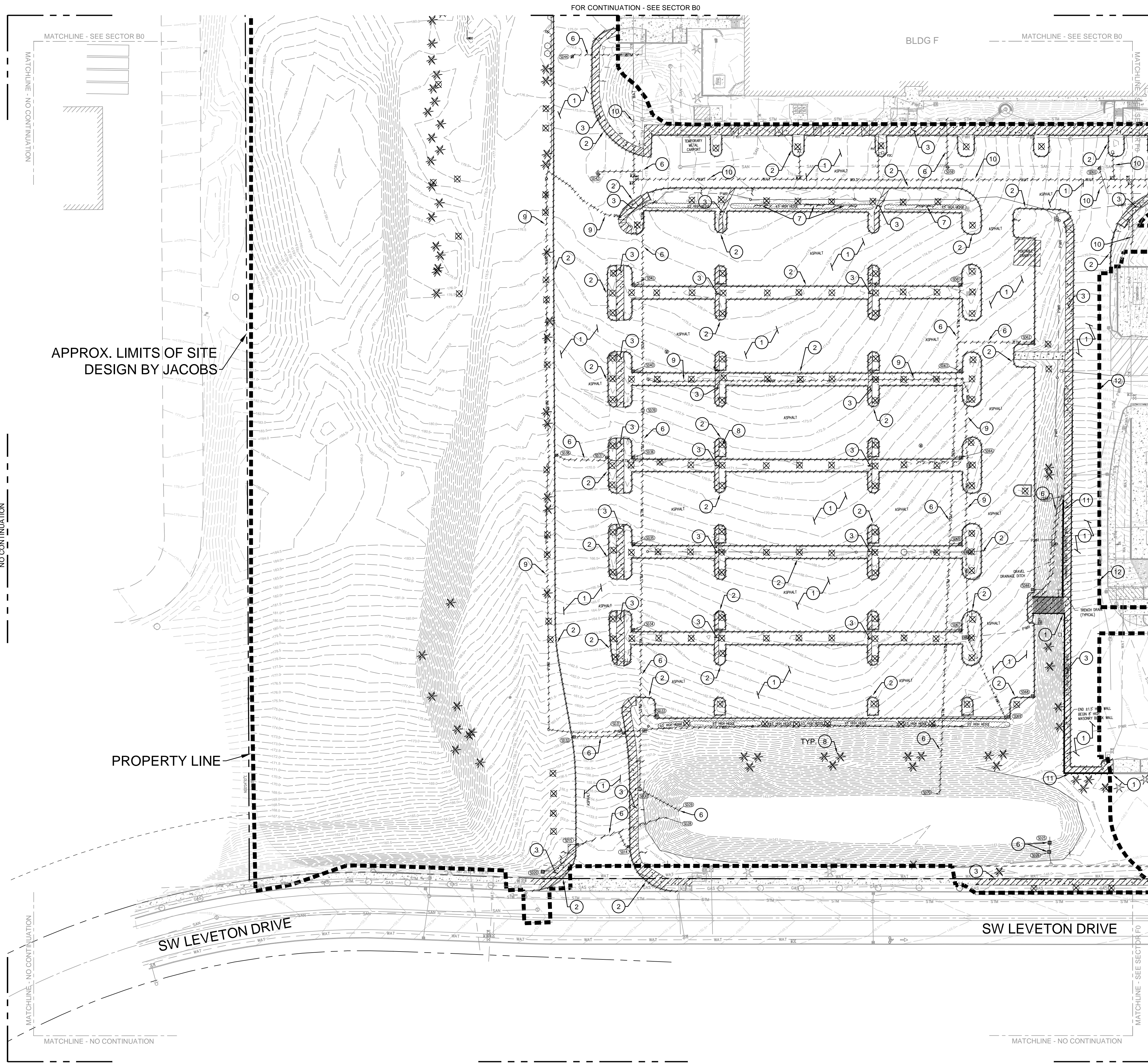
DATE ISSUED: DRAWING SCALE: 1"=40'
ACAD FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:

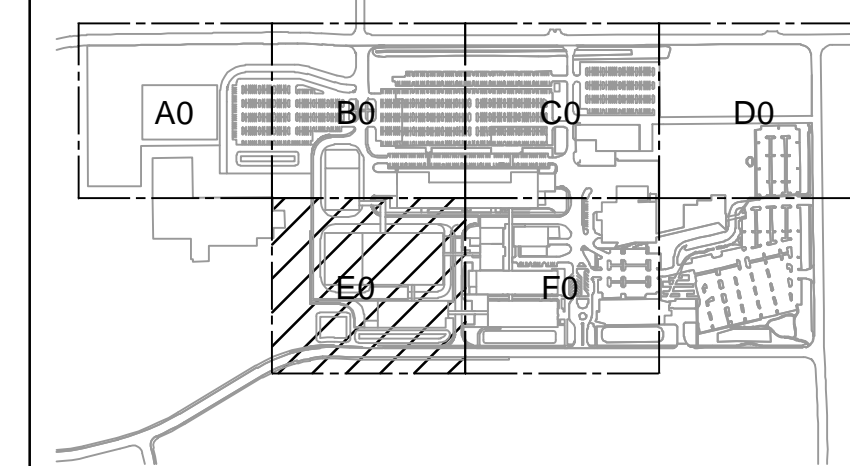
ZC0-06D0



BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"



KEY PLAN



GENERAL NOTES

- A SEE ZCO-0600 FOR DEMOLITION GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

KEYED NOTES

- 1 DEMOLISH AND REMOVE EXISTING ASPHALT PAVEMENT
- 2 DEMOLISH AND REMOVE EXISTING CONCRETE CURB AND GUTTER
- 3 DEMOLISH AND REMOVE EXISTING CONCRETE SIDEWALK
- 4 DEMOLISH AND REMOVE PORTION OF EXISTING FIRE MAIN. COORDINATE LIMITS OF REMOVAL WITH PROPOSED FIRE MAIN.
- 5 DEMOLISH AND REMOVE PORTION OF EXISTING GAS MAIN. COORDINATE LIMITS OF REMOVAL WITH PROPOSED GAS MAIN.
- 6 DEMOLISH AND REMOVE EXISTING STORM DRAIN MAIN. COORDINATE LIMITS OF REMOVAL WITH PROPOSED STORM MAIN.
- 7 REMOVE EXISTING SIGN, POST AND FOOTING.
- 8 REMOVE EXISTING TREES, BUSHES AND SHRUBS.
- 9 REMOVE AND DEMOLISH EXISTING POWER LINE. REFER TO THE ELECTRICAL PLANS.
- 10 REMOVE AND DEMOLISH EXISTING WATER LINE
- 11 SAWCUT AND REMOVE EXISTING RETAINING WALL AND FOOTING.
- 12 SAWCUT EXISTING PAVEMENT.

JACOBS
 Portland Office
 2020 S.W. 4th Avenue, 3rd Floor
 Portland, Oregon 97201

M. CORBIN
 Architecture • Interiors
 Planning • Engineering
 CONSULTING ENGINEERS
 1905 NW 169TH PL, STE 121
 BEAVERTON, OR 97006

Portland, OR 503.224.9560
 Vancouver, WA 360.695.7879
 Seattle, WA 206.749.9993
 www.mackenzie.inc

MACKENZIE

JACOBS PROJECT NO.: **D3822800** CLIENT PROJECT NO.:

DRAWN:	REVIEWED:
DESIGNED:	APPROVED:
NOTICE:	STAMP:

NO.	REVISION OR ISSUE	DATE	BY

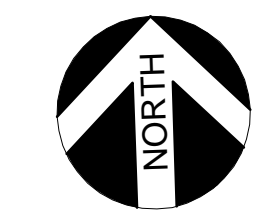
ARCHITECTURAL REVIEW
 9/16/2024
 (NOT FOR CONSTRUCTION)

Lam RESEARCH
 Lam Research Corporation
 11155 SW LEVETON DR.
 TUALATIN, OR. 97062

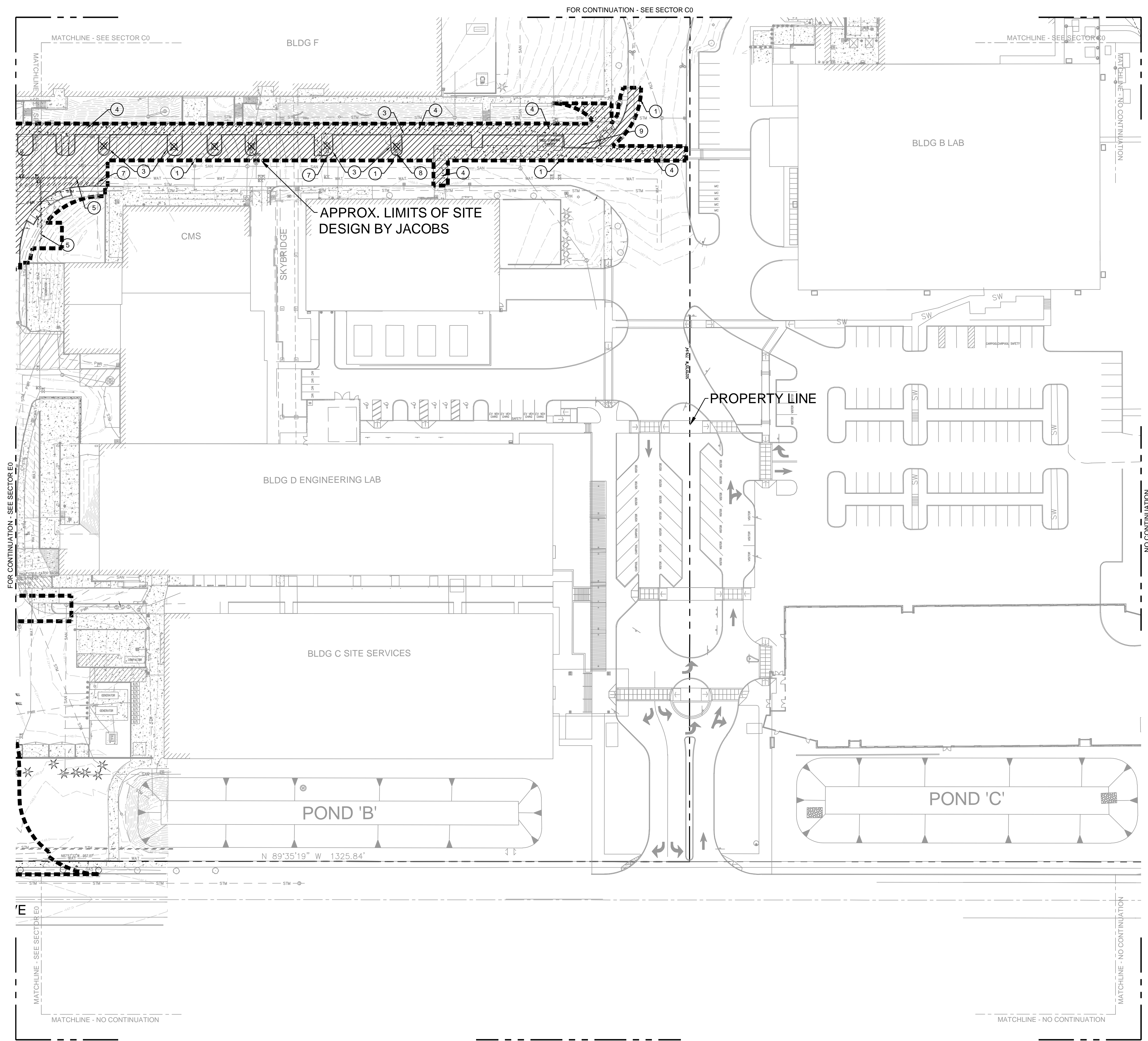
TITLE:
SITE-CIVIL DEMOLITION SECTOR E0 PLAN

DATE ISSUED: DRAWING SCALE: 1=40
 ACAD FILE: BUILDING DESIGNATOR:

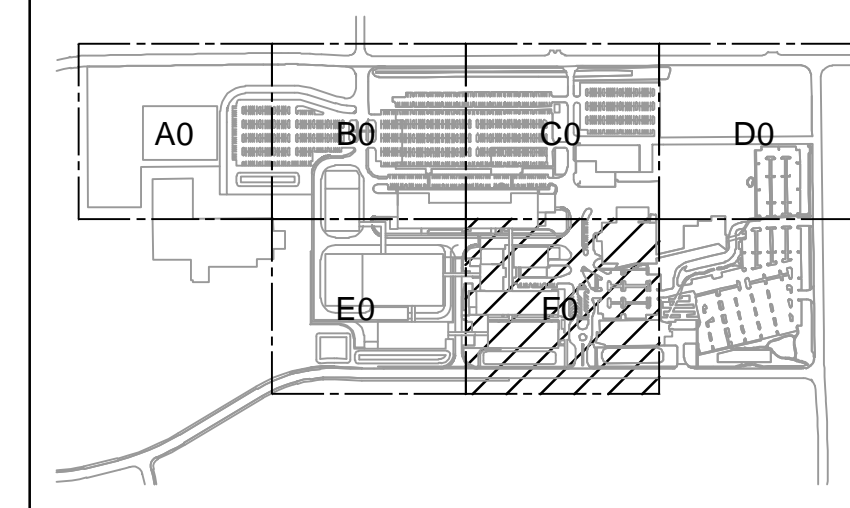
DRAWING NUMBER:
ZCO-06E0



BAR IS ONE INCH ON ORIGINAL DRAWING
 0 1"



KEY PLAN



GENERAL NOTES

- A SEE ZC0-0600 FOR DEMOLITION GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

KEYED NOTES

- 1 SAWCUT EXISTING PAVEMENT.
- 2 DEMOLISH AND REMOVE ASPHALT PAVEMENT.
- 3 DEMOLISH AND REMOVE CONCRETE CURB.
- 4 DEMOLISH AND REMOVE CONCRETE SIDEWALK.
- 5 DEMOLISH AND REMOVE PORTION OF EXISTING FIRE MAIN. COORDINATE LIMITS OF REMOVAL WITH PROPOSED FIRE MAIN.
- 6 DEMOLISH AND REMOVE EXISTING STORM DRAIN MAIN. COORDINATE LIMITS OF REMOVAL WITH PROPOSED STORM MAIN.
- 7 REMOVE FIRE HYDRANT ASSEMBLY. COORDINATE RELOCATION OF FH WITH UTILITY PLANS.
- 8 REMOVE EXISTING FDC. COORDINATE WITH UTILITY PLANS FOR PROPOSED FDC RELOCATION.
- 9 REMOVE EXISTING SIGN, POST AND FOOTING.

JACOBS

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M. C.
Architecture • Interiors
Planning • Engineering

CORBIN
CONSULTING ENGINEERS

1905 NW 169TH PL, STE 121
BEAVERTON, OR 97006

Portland, OR
503.224.9500
Vancouver, WA
360.695.7879
Seattle, WA
206.749.9993

www.mackenzie.inc

MACKENZIE

JACOBS PROJECT NO.: **D3822800** CLIENT PROJECT NO.:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO.	REVISION OR ISSUE	DATE	BY
A	SP01 ISSUE FOR REVIEW	09/12/24	TC

**ARCHITECTURAL
REVIEW**
9/16/2024
(NOT FOR CONSTRUCTION)



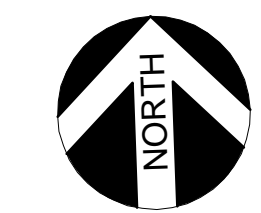
Lam Research Corporation
11155 SW LEVETON DR.
TUALATIN, OR. 97062

TITLE:
**SITE-CIVIL
DEMOLITION
SECTOR F0
PLAN**

DATE ISSUED: DRAWING SCALE: 1=40
ACAD FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:

ZC0-06F0



BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"

NO.	REVISION OR ISSUE	DATE	BY
A	SP01 ISSUE FOR REVIEW	09/12/24	TC

ARCHITECTURAL REVIEW

9/16/2024
(NOT FOR CONSTRUCTION)



Lam Research Corporation
11155 SW LEVETON DR.
TUALATIN, OR. 97062

TITLE:

SITE-CIVIL
UNDERGROUND UTILITIES
OVERALL
PLAN

DATE ISSUED:

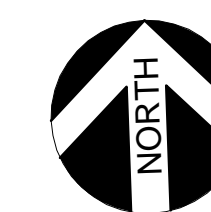
DRAWING SCALE: 1=100

ACAD FILE:

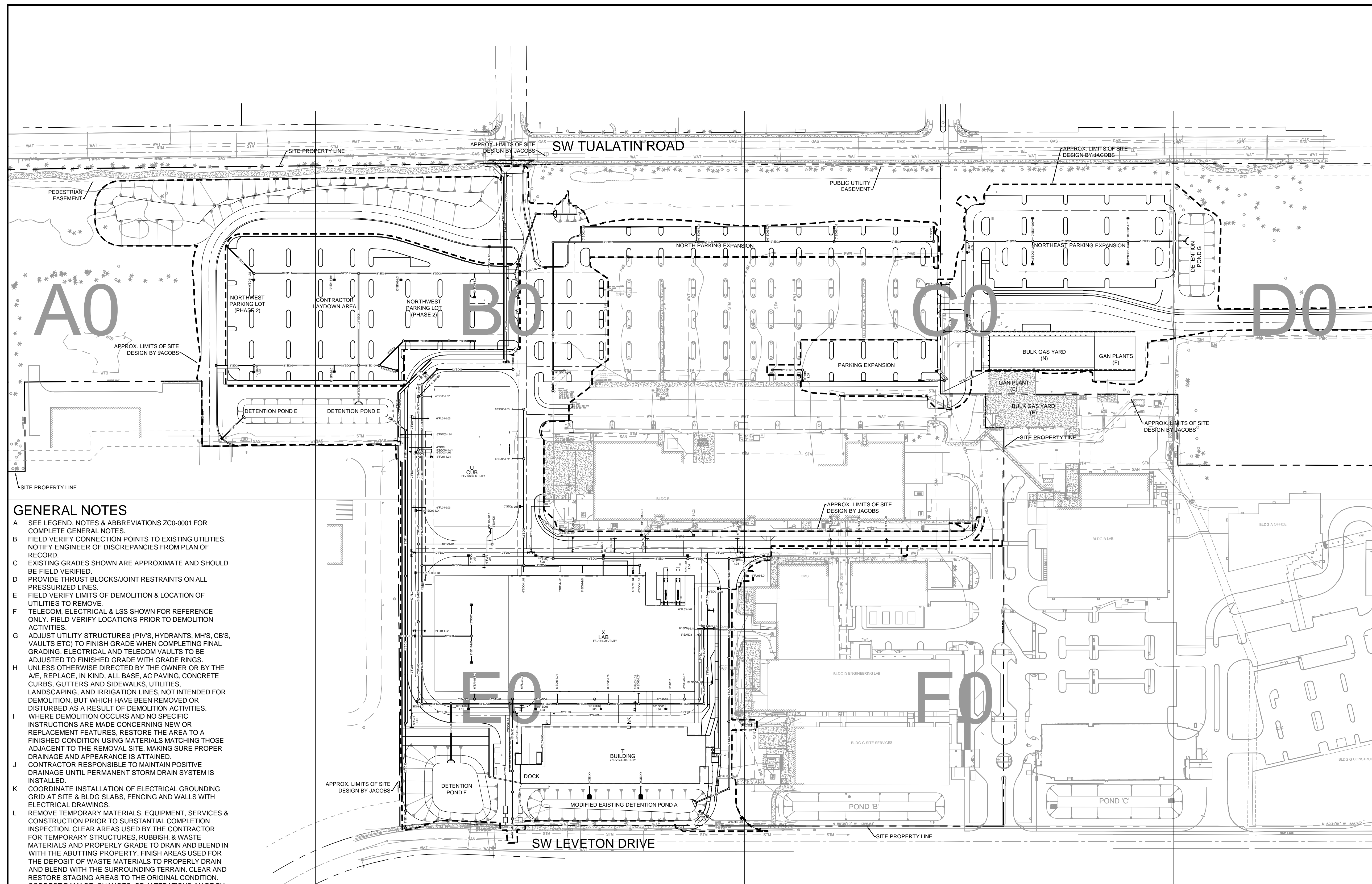
BUILDING DESIGNATOR:

DRAWING NUMBER:

ZCO-0800

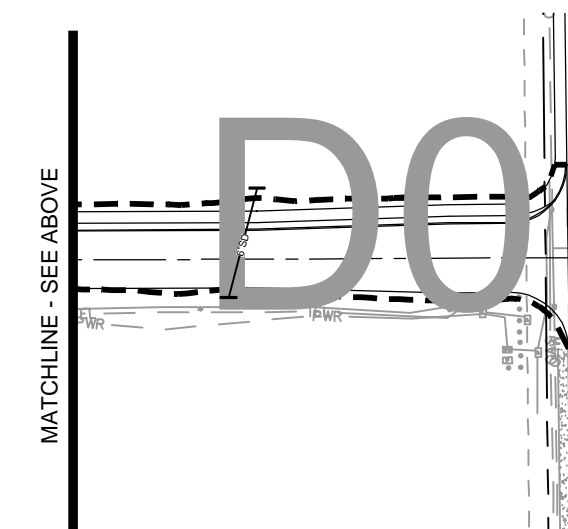


BAR IS ONE INCH ON
ORIGINAL DRAWING
0 1"

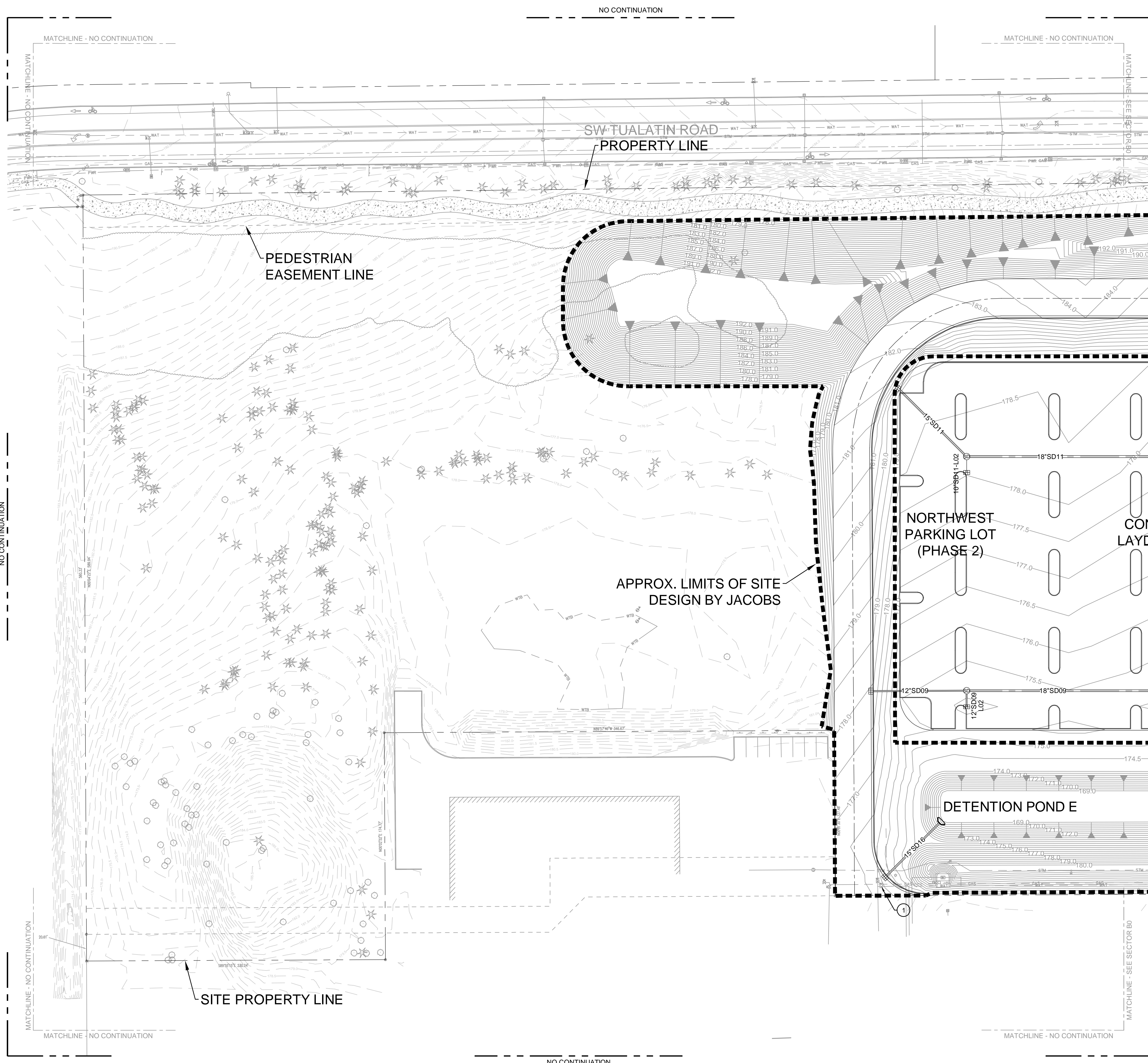


GENERAL NOTES

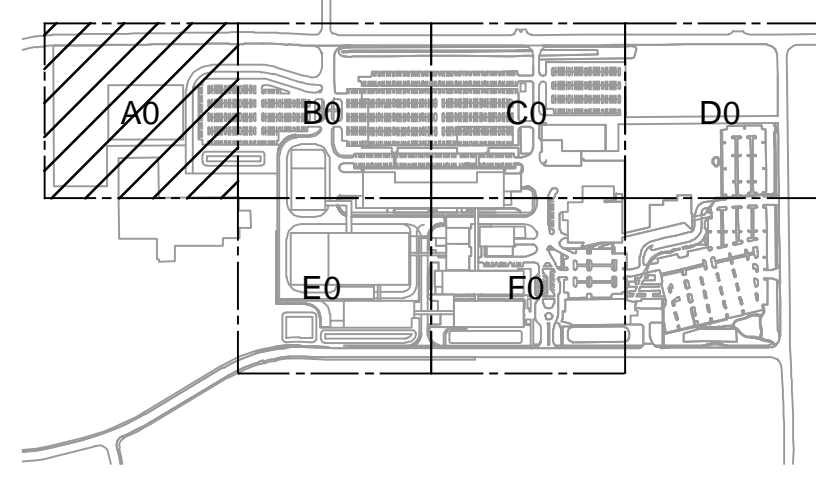
- A SEE LEGEND, NOTES & ABBREVIATIONS ZCO-0001 FOR COMPLETE GENERAL NOTES.
- B FIELD VERIFY CONNECTION POINTS TO EXISTING UTILITIES. NOTIFY ENGINEER OF DISCREPANCIES FROM PLAN OF RECORD.
- C EXISTING GRADES SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED.
- D PROVIDE THRUST BLOCKS/JOINT RESTRAINTS ON ALL PRESSURIZED LINES.
- E FIELD VERIFY LIMITS OF DEMOLITION & LOCATION OF UTILITIES TO REMOVE.
- F TELECOM, ELECTRICAL & LSS SHOWN FOR REFERENCE ONLY. FIELD VERIFY LOCATIONS PRIOR TO DEMOLITION ACTIVITIES.
- G ADJUST UTILITY STRUCTURES (PIV'S, HYDRANTS, M.H.S, C.B'S, VAULTS ETC) TO FINISH GRADE WHEN COMPLETING FINAL GRADING. ELECTRICAL AND TELECOM VAULTS TO BE ADJUSTED TO FINISHED GRADE WITH GRADE RINGS.
- H UNLESS OTHERWISE DIRECTED BY THE OWNER OR BY THE A/E, REPLACE, IN KIND, ALL BASE, AC PAVING, CONCRETE CURBS, GUTTERS AND SIDEWALKS, UTILITIES, LANDSCAPING, AND IRRIGATION LINES, NOT INTENDED FOR DEMOLITION, BUT WHICH HAVE BEEN REMOVED OR DISTURBED AS A RESULT OF DEMOLITION ACTIVITIES.
- I WHERE DEMOLITION OCCURS AND NO SPECIFIC INSTRUCTIONS ARE MADE CONCERNING NEW OR REPLACEMENT FEATURES, RESTORE THE AREA TO A FINISHED CONDITION USING MATERIALS MATCHING THOSE ADJACENT TO THE REMOVAL SITE, MAKING SURE PROPER DRAINAGE AND APPEARANCE IS ATTAINED.
- J CONTRACTOR RESPONSIBLE TO MAINTAIN POSITIVE DRAINAGE UNTIL PERMANENT STORM DRAIN SYSTEM IS INSTALLED.
- K COORDINATE INSTALLATION OF ELECTRICAL GROUNDING GRID AT SITE & BLDG SLABS, FENCING AND WALLS WITH ELECTRICAL DRAWINGS.
- L REMOVE TEMPORARY MATERIALS, EQUIPMENT, SERVICES & CONSTRUCTION PRIOR TO SUBSTANTIAL COMPLETION INSPECTION. CLEAR AREAS USED BY THE CONTRACTOR FOR TEMPORARY STRUCTURES, RUBBISH, & WASTE MATERIALS AND PROPERLY GRADE TO DRAIN AND BLEND IN WITH THE ADJUTING PROPERTY. FINISH AREAS USED FOR THE DEPOSIT OF WASTE MATERIALS TO PROPERLY DRAIN AND BLEND WITH THE SURROUNDING TERRAIN. CLEAR AND RESTORE STAGING AREAS TO THE ORIGINAL CONDITION. CORRECT DAMAGE, CHANGES, OR ALTERATIONS, MADE BY THE CONTRACTOR TO STORAGE & LAYDOWN AREAS DURING CONSTRUCTION PRIOR TO DEMOBILIZATION. AREAS SHALL BE RETURNED TO THE CONDITION PRIOR TO START OF CONSTRUCTION. UNO ON SITE IMPROVEMENT PLANS.
- M MANHOLE LID ADJUSTMENT REQUIRING GREATER THAN 12" OF STACKED GRADE RINGS WILL HAVE THE TOP SECTION REMOVED, A 12" OR GREATER PRECAST MANHOLE SECTION INSTALLED AND TOP SECTION REPLACED. ALIGN NEW STEPS WITH EXISTING STEPS. IN CASE OF FLAT TOP MANHOLE, REMOVE TOP LID SECTION & INSTALL PRECAST SECTION. REINSTALL RIM & LID TO GRADE.
- N ROOF DRAINS, FOUNTAIN DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- O GRADES SHOWN ON UTILITY PLANS ARE FOR REFERENCE ONLY AND SHOULD NOT BE USED FOR FINAL CONSTRUCTION.
- P DEMOLITION AND REMOVAL OF EXISTING SITE LIGHTING (POLES, POLE FOUNDATIONS, AND COUNDITS) PER THE ELECTRICAL DRAWINGS.
- Q SEE ELECTRICAL FOR DEMOLITION OF ELECTRICAL CONDUITS/DUCTBANK.
- R SEE TELECOMMUNICATION PLANS FOR DEMOLITION OF THE TELECOM CONDUITS/DUCTBANK.



Name: ZCO-0800.dwg User: BOWLESD Date: 18/Sep/24 - 2:15 PM



KEY PLAN



GENERAL NOTES

- A SEE ZC0-0800 FOR COMPLETE GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

KEYED NOTES

- 1 PROTECT AND ADJUST GV TOP TO PROPOSED GRADE.

Jacobs
 Portland Office
 2020 S.W. 4th Avenue, 3rd Floor
 Portland, Oregon 97201

M. CORBIN
 Architecture • Interiors
 Planning • Engineering
 CONSULTING ENGINEERS
 1905 NW 169TH PL, STE 121
 BEAVERTON, OR 97006

Portland, OR
 503.224.9560
 Vancouver, WA
 360.695.7879
 Seattle, WA
 206.749.9993

www.mackenzie.inc

MACKENZIE

JACOBS PROJECT NO.: D3822800 CLIENT PROJECT NO.:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO.	REVISION OR ISSUE	DATE	BY
A	SP01 ISSUE FOR REVIEW	09/12/24	TC

ARCHITECTURAL REVIEW
 9/16/2024
 (NOT FOR CONSTRUCTION)

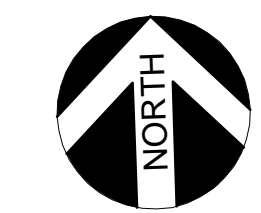
Lam RESEARCH
 Lam Research Corporation
 11155 SW LEVETON DR.
 TUALATIN, OR. 97062

TITLE:
 SITE-CIVIL
 UNDERGROUND UTILITIES
 SECTOR A0
 PLAN

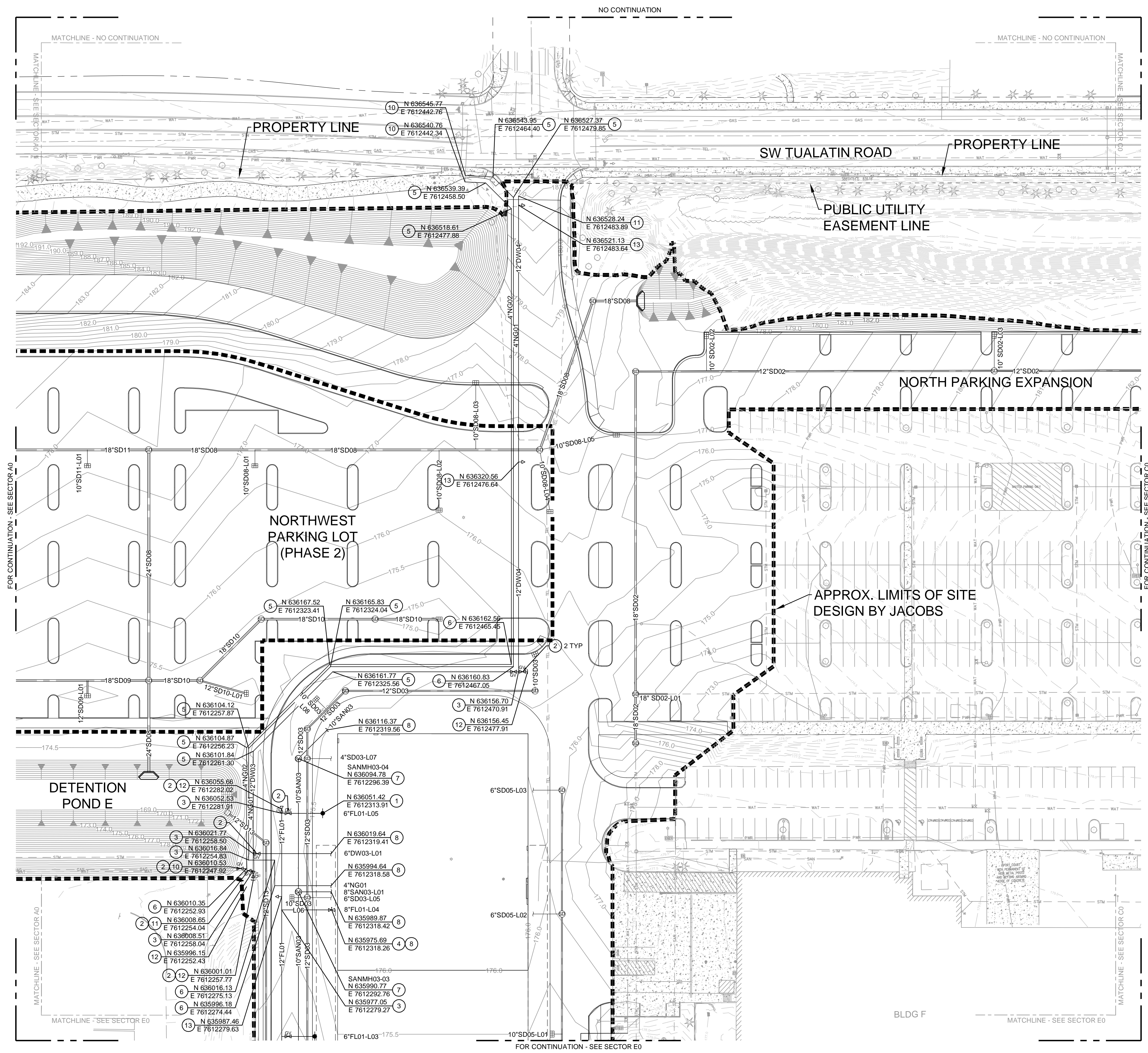
DATE ISSUED: DRAWING SCALE: 1"=40'
 ACAA FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:

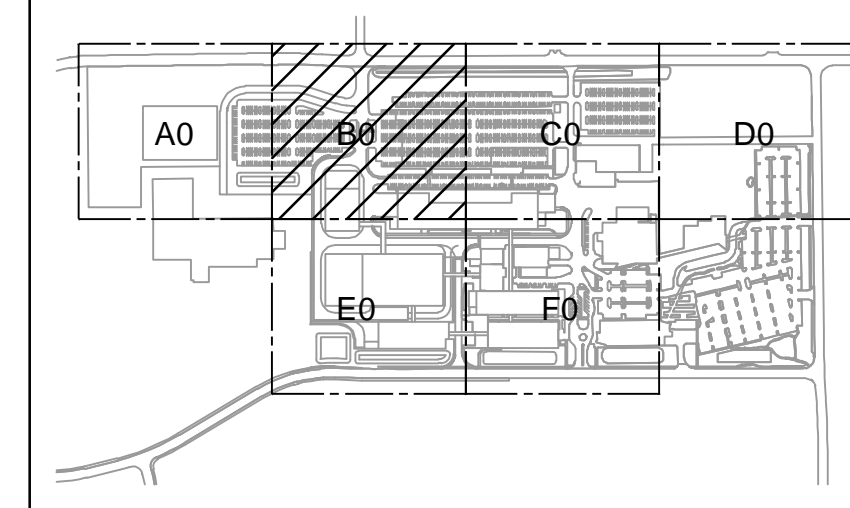
ZC0-08A0



BAR IS ONE INCH ON ORIGINAL DRAWING
 0 1"



KEY PLAN



GENERAL NOTES

- A SEE ZC0-0900 FOR COMPLETE GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

KEYED NOTES

- 1 INSTALL FIRE HYDRANT PER DETAIL COT DETAIL 610.
- 2 INSTALL GATE VALVE, BOX AND COVER PER DETAIL COT DETAIL 600.
- 3 INSTALL TEE, SEE PLAN FOR ASSOCIATED PIPE SIZE.
- 4 INSTALL POST INDICATOR ON VALVE, SEE DET 1/ZCO-7601.
- 5 INSTALL 45-DEG BEND, SEE PLAN FOR ASSOCIATED PIPE SIZE.
- 6 INSTALL 90-DEG BEND, SEE PLAN FOR ASSOCIATED PIPE SIZE.
- 7 CONSTRUCT SANITARY SEWER MANHOLE PER COT DETAIL 010 OR 011.
- 8 UTILITY BUILDING CONNECTION PER DET 4/ZCO-7601. SEE PLUMBING DRAWINGS FOR CONTINUATION.
- 9 CONNECT TO EXISTING FIRE LINE.
- 10 CONNECT TO EXISTING NATURAL GAS LINE.
- 11 CONNECT TO EXISTING DOMESTIC WATER LINE.
- 12 INSTALL CAP FOR FUTURE CONNECTION.
- 13 INSTALL AIR RELEASE VALVE PER COT DETAIL 602.

Jacobs

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M. CORBIN
Architecture • Interiors
Planning • Engineering
CONSULTING ENGINEERS

1905 NW 169TH PL, STE 121
BEAVERTON, OR 97006

Portland, OR
503.224.9560
Vancouver, WA
360.695.7879
Seattle, WA
206.749.9993

www.mackenzie-inc

MACKENZIE

JACOBS PROJECT NO.: **D3822800** CLIENT PROJECT NO.:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO. REVISION OR ISSUE DATE BY

A SP01 | ISSUE FOR REVIEW 09/12/24 TC

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

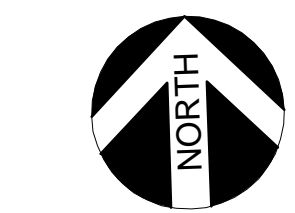
NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY

NO. REVISION OR ISSUE DATE BY



BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"

ARCHITECTURAL REVIEW
9/16/2024
(NOT FOR CONSTRUCTION)



Lam Research Corporation
11155 SW LEVETON DR.
TUALATIN, OR. 97062

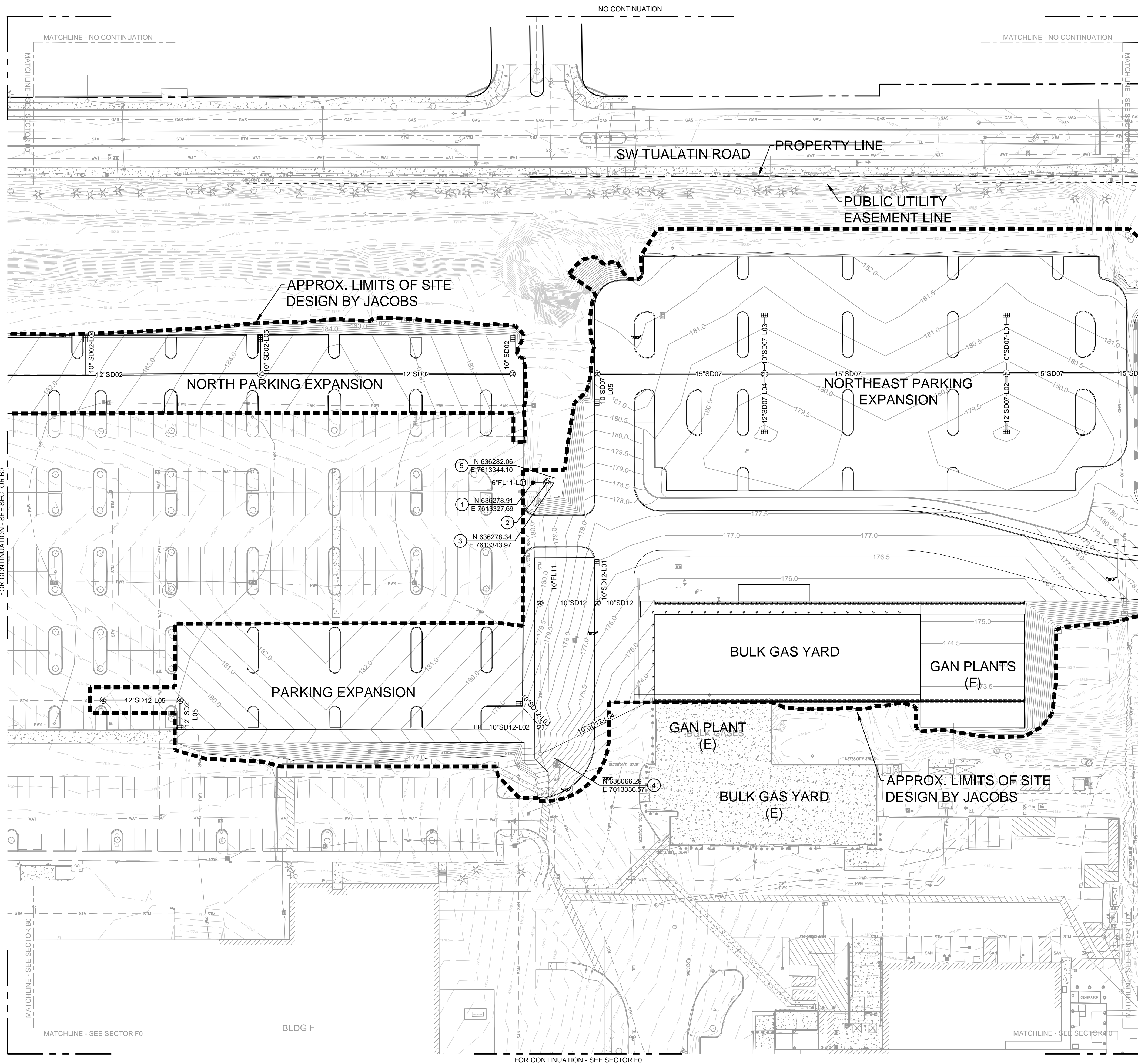
TITLE:
SITE-CIVIL
UNDERGROUND UTILITIES
SECTOR B0
PLAN

DATE ISSUED: DRAWING SCALE: 1=40
ACAD FILE: BUILDING DESIGNATOR:

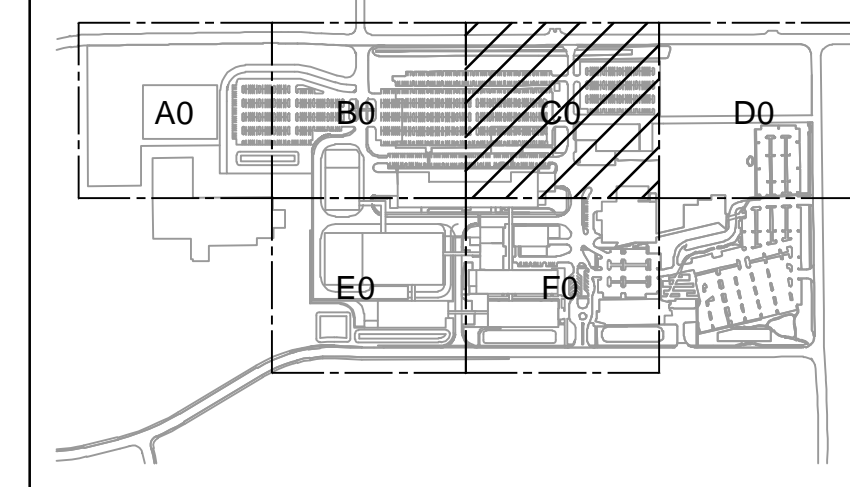
DRAWING NUMBER:

ZCO-08B0

Name: ZCO-08B0.dwg User: BOWLESD Date: 18/Sep/24 - 2:48 PM



KEY PLAN



GENERAL NOTES

- A SEE ZC0-0900 FOR COMPLETE GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

KEYED NOTES

- 1 INSTALL FIRE HYDRANT PER DETAIL COT DETAIL 610.
- 2 INSTALL GATE VALVE, BOX AND COVER PER DETAIL COT DETAIL 600.
- 3 INSTALL TEE, SEE PLAN FOR ASSOCIATED PIPE SIZE.
- 4 CONNECT TO EXISTING FIRE LINE.
- 5 INSTALL CAP FOR FUTURE CONNECTION.

JACOBS

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M. CORBIN
Architecture • Interiors
Planning • Engineering
CONSULTING ENGINEERS

1905 NW 169TH PL, STE 121
BEAVERTON, OR 97006

Portland, OR
503.224.9560
Vancouver, WA
360.695.7879
Seattle, WA
206.749.9993

www.mackenzie.inc

MACKENZIE

JACOBS PROJECT NO.: **D3822800** CLIENT PROJECT NO.:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO.	REVISION OR ISSUE	DATE	BY
A	SP01 ISSUE FOR REVIEW	09/12/24	TC

ARCHITECTURAL REVIEW
9/16/2024
(NOT FOR CONSTRUCTION)



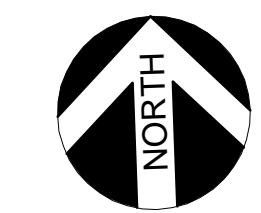
Lam Research Corporation
11155 SW LEVETON DR.
TUALATIN, OR. 97062

TITLE:
SITE-CIVIL
UNDERGROUND UTILITIES
SECTOR C0
PLAN

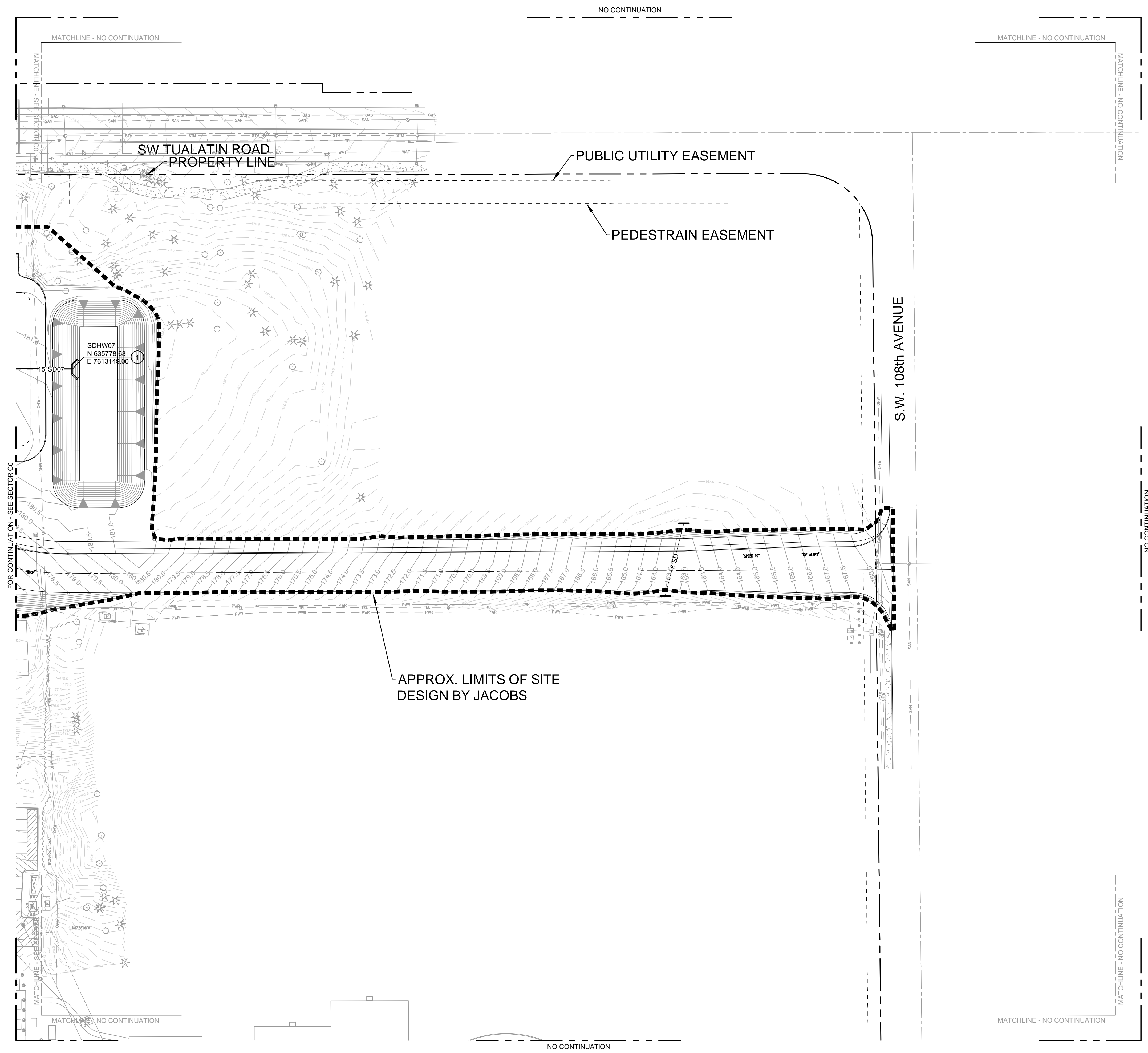
DATE ISSUED: DRAWING SCALE: 1=40
ACAD FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:

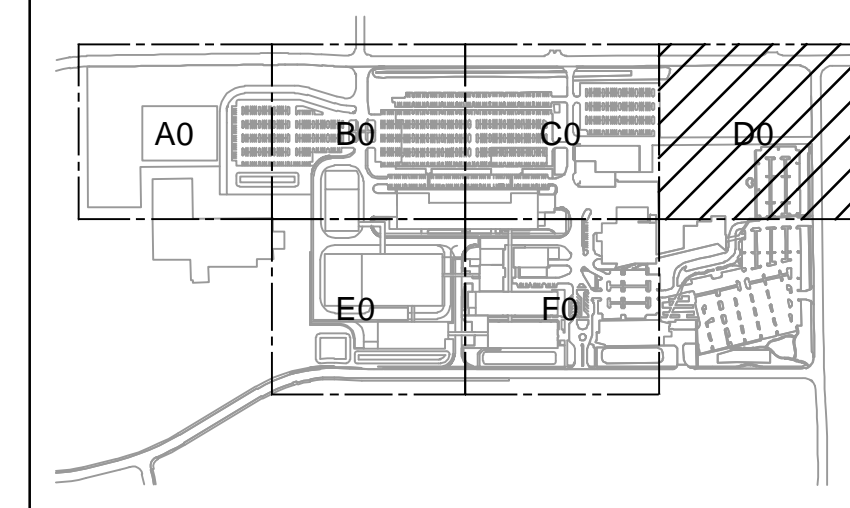
ZC0-08C0



BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"



KEY PLAN



GENERAL NOTES

- A SEE ZCO-0900 FOR COMPLETE GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

KEYED NOTES

- 1 CONSTRUCT CULVERT HEADWALL, PER DETAIL XX/ZCO-7600.

Jacobs

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M.

Architecture • Interiors
Planning • Engineering

C

CORBIN
CONSULTING ENGINEERS

1905 NW 169TH PL, STE 121
BEAVERTON, OR 97006

Portland, OR
503.224.9560
Vancouver, WA
360.695.7879
Seattle, WA
206.749.9993

www.mackenzie.inc

MACKENZIE

JACOBS PROJECT NO.:
D3822800

CLIENT PROJECT NO.:

DRAWN:

REVIEWED:

DESIGNED:

APPROVED:

NOTICE:

STAMP:

NO.	REVISION OR ISSUE	DATE	BY
A	SP01 ISSUE FOR REVIEW	09/12/24	TC

NO.	REVISION OR ISSUE	DATE	BY
-----	-------------------	------	----

**ARCHITECTURAL
REVIEW**
9/16/2024
(NOT FOR CONSTRUCTION)



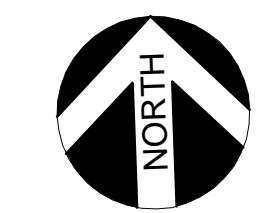
Lam Research Corporation
11155 SW LEVETON DR.
TUALATIN, OR. 97062

TITLE:
**SITE-CIVIL
UNDERGROUND UTILITIES
SECTOR D0
PLAN**

DATE ISSUED: DRAWING SCALE: 1"=40'
ACAD FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:

ZCO-08D0



BAR IS ONE INCH ON
ORIGINAL DRAWING
0 1"

ARCHITECTURAL REVIEW

9/16/2024
(NOT FOR CONSTRUCTION)



Lam Research Corporation
11155 SW LEVETON DR.
TUALATIN, OR. 97062

TITLE:

SITE - CIVIL
STORM DRAINAGE
OVERALL
PLAN

DATE ISSUED:

DRAWING SCALE: 1=100

ACAD FILE:

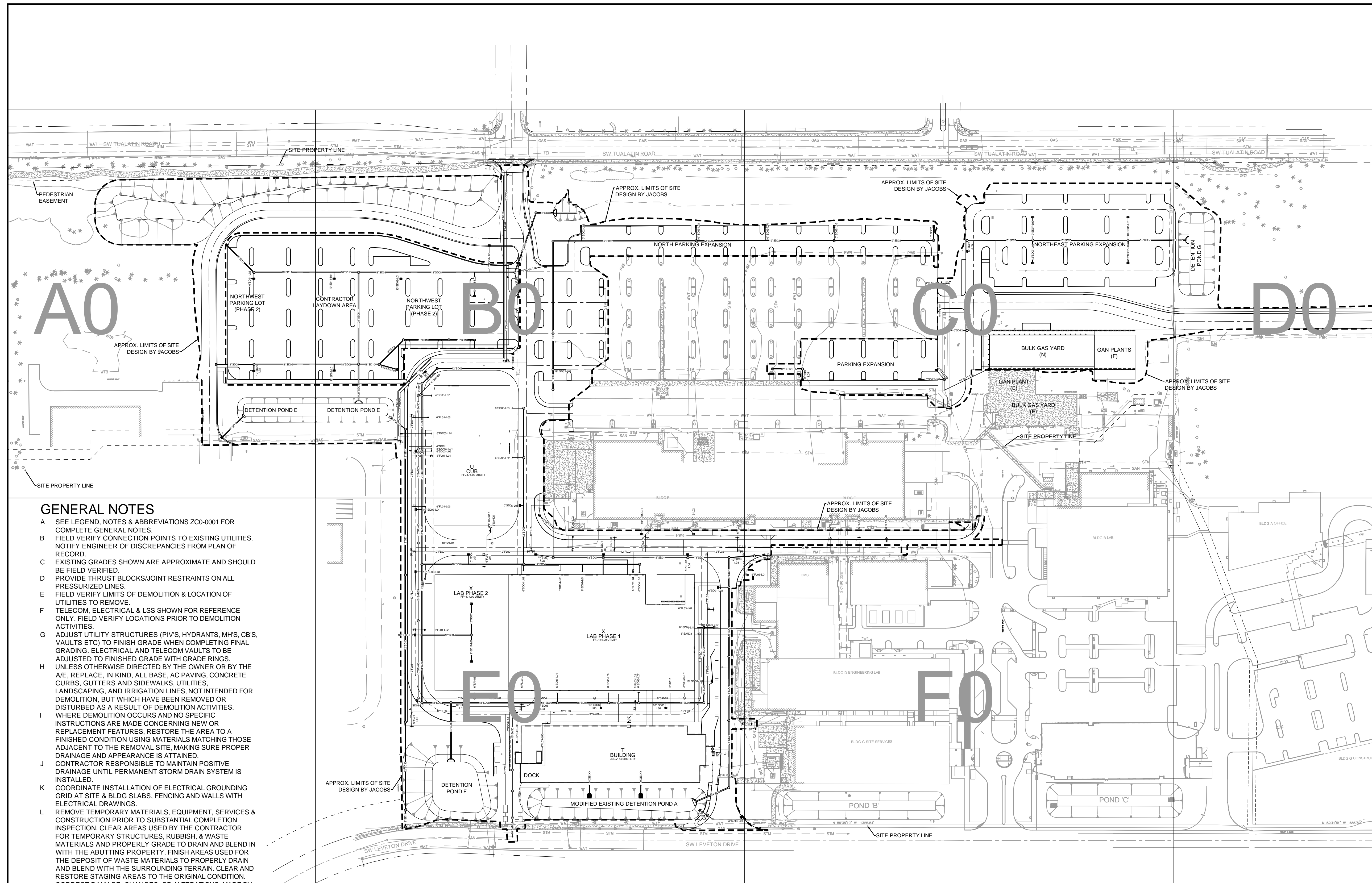
BUILDING DESIGNATOR:

DRAWING NUMBER:

ZC0-0900

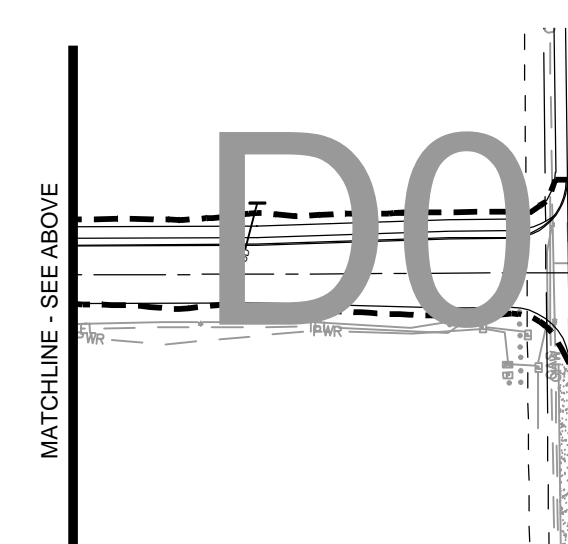


BAR IS ONE INCH ON
ORIGINAL DRAWING
0 1"

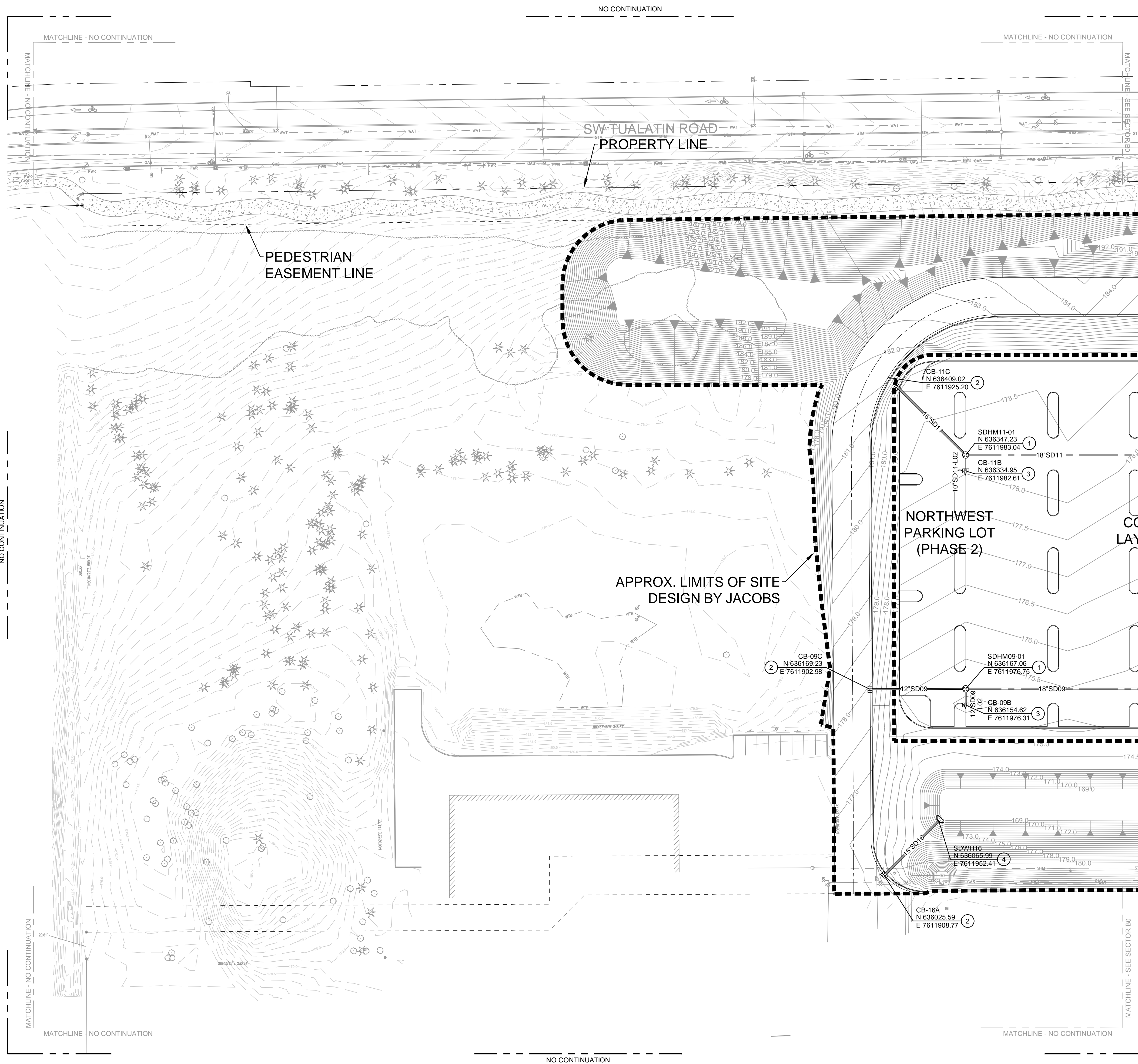


GENERAL NOTES

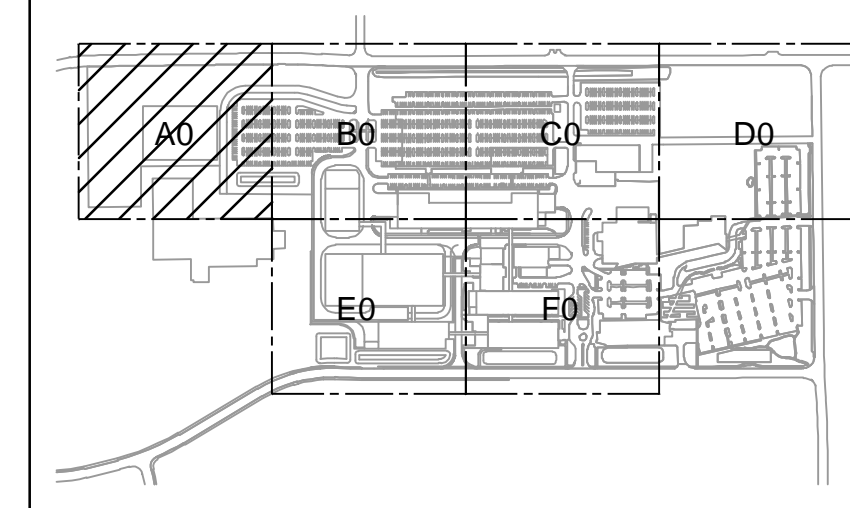
- A SEE LEGEND, NOTES & ABBREVIATIONS ZC0-0001 FOR COMPLETE GENERAL NOTES.
- B FIELD VERIFY CONNECTION POINTS TO EXISTING UTILITIES. NOTIFY ENGINEER OF DISCREPANCIES FROM PLAN OF RECORD.
- C EXISTING GRADES SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED.
- D PROVIDE THRUST BLOCKS/JOINT RESTRAINTS ON ALL PRESSURIZED LINES.
- E FIELD VERIFY LIMITS OF DEMOLITION & LOCATION OF UTILITIES TO REMOVE.
- F TELECOM, ELECTRICAL & LSS SHOWN FOR REFERENCE ONLY. FIELD VERIFY LOCATIONS PRIOR TO DEMOLITION ACTIVITIES.
- G ADJUST UTILITY STRUCTURES (PIV'S, HYDRANTS, MHS, CBS, VAULTS ETC) TO FINISH GRADE WHEN COMPLETING FINAL GRADING. ELECTRICAL AND TELECOM VAULTS TO BE ADJUSTED TO FINISHED GRADE WITH GRADE RINGS.
- H UNLESS OTHERWISE DIRECTED BY THE OWNER OR BY THE A/E, REPLACE, IN KIND, ALL BASE, AC PAVING, CONCRETE CURBS, GUTTERS AND SIDEWALKS, UTILITIES, LANDSCAPING, AND IRRIGATION LINES, NOT INTENDED FOR DEMOLITION, BUT WHICH HAVE BEEN REMOVED OR DISTURBED AS A RESULT OF DEMOLITION ACTIVITIES.
- I WHERE DEMOLITION OCCURS AND NO SPECIFIC INSTRUCTIONS ARE MADE CONCERNING NEW OR REPLACEMENT FEATURES, RESTORE THE AREA TO A FINISHED CONDITION USING MATERIALS MATCHING THOSE ADJACENT TO THE REMOVAL SITE, MAKING SURE PROPER DRAINAGE AND APPEARANCE IS ATTAINED.
- J CONTRACTOR RESPONSIBLE TO MAINTAIN POSITIVE DRAINAGE UNTIL PERMANENT STORM DRAIN SYSTEM IS INSTALLED.
- K COORDINATE INSTALLATION OF ELECTRICAL GROUNDING GRID AT SITE & BLDG SLABS, FENCING AND WALLS WITH ELECTRICAL DRAWINGS.
- L REMOVE TEMPORARY MATERIALS, EQUIPMENT, SERVICES & CONSTRUCTION PRIOR TO SUBSTANTIAL COMPLETION INSPECTION. CLEAR AREAS USED BY THE CONTRACTOR FOR TEMPORARY STRUCTURES, RUBBISH, & WASTE MATERIALS AND PROPERLY GRADE TO DRAIN AND BLEND IN WITH THE ABUTTING PROPERTY. FINISH AREAS USED FOR THE DEPOSIT OF WASTE MATERIALS TO PROPERLY DRAIN AND BLEND WITH THE SURROUNDING TERRAIN. CLEAR AND RESTORE STAGING AREAS TO THE ORIGINAL CONDITION CORRECT DAMAGE, CHANGES, OR ALTERATIONS, MADE BY THE CONTRACTOR TO STORAGE & LAYDOWN AREAS DURING CONSTRUCTION PRIOR TO DEMOBILIZATION. AREAS SHALL BE RETURNED TO THE CONDITION PRIOR TO START OF CONSTRUCTION, UNO ON SITE IMPROVEMENT PLANS.
- M MANHOLE LID ADJUSTMENT REQUIRING GREATER THAN 12" OF STACKED GRADE RINGS WILL HAVE THE TOP SECTION REMOVED, A 12" OR GREATER PRECAST MANHOLE SECTION INSTALLED AND TOP SECTION REPLACED. ALIGN NEW STEPS WITH EXISTING STEPS. IN CASE OF FLAT TOP MANHOLE, REMOVE TOP LID SECTION & INSTALL PRECAST SECTION. REINSTALL RIM & LID TO GRADE.
- N ROOF DRAINS, FOUNTAIN DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- O GRADES SHOWN ON UTILITY PLANS ARE FOR REFERENCE ONLY AND SHOULD NOT BE USED FOR FINAL CONSTRUCTION.
- P DEMOLITION AND REMOVAL OF EXISTING SITE LIGHTING (POLES, POLE FOUNDATIONS, AND CONDUITS) PER THE ELECTRICAL DRAWINGS.
- Q SEE ELECTRICAL FOR DEMOLITION OF ELECTRICAL CONDUITS/DUCTBANK.
- R SEE TELECOMMUNICATION PLANS FOR DEMOLITION OF THE TELECOM CONDUITS/DUCTBANK.



Name: ZC0-0900.dwg User: BOWLESD Date: 18/Sep/24 - 2:17 PM



KEY PLAN

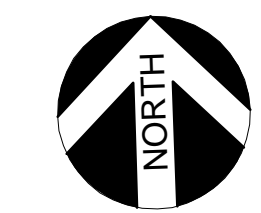


GENERAL NOTES

- A SEE ZC0-0900 FOR COMPLETE GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

KEYED NOTES

- 1 CONSTRUCT STORM MANHOLE, PER COT DETAIL NO. 010.
- 2 CONSTRUCT GUTTER CATCH BASIN, PER COT DETAIL NO. 040.
- 3 CONSTRUCT TYPE II AREA DRAIN, PER CWS DETAIL NO. 380.
- 4 CONSTRUCT CULVERT HEADWALL, PER DETAIL 12/ZC0-7600.



BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"

JACOBS

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M. CORBIN
Architecture • Interiors
Planning • Engineering
CONSULTING ENGINEERS

1905 NW 169TH PL, STE 121
BEAVERTON, OR 97006

Portland, OR
503.224.9560
Vancouver, WA
360.695.7879
Seattle, WA
206.749.9993

www.mackenzie.inc

MACKENZIE

JACOBS PROJECT NO:
D3822800

CLIENT PROJECT NO:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO.	REVISION OR ISSUE	DATE	BY
A	SP01 ISSUE FOR REVIEW	09/12/24	TC

ARCHITECTURAL REVIEW
9/16/2024
(NOT FOR CONSTRUCTION)

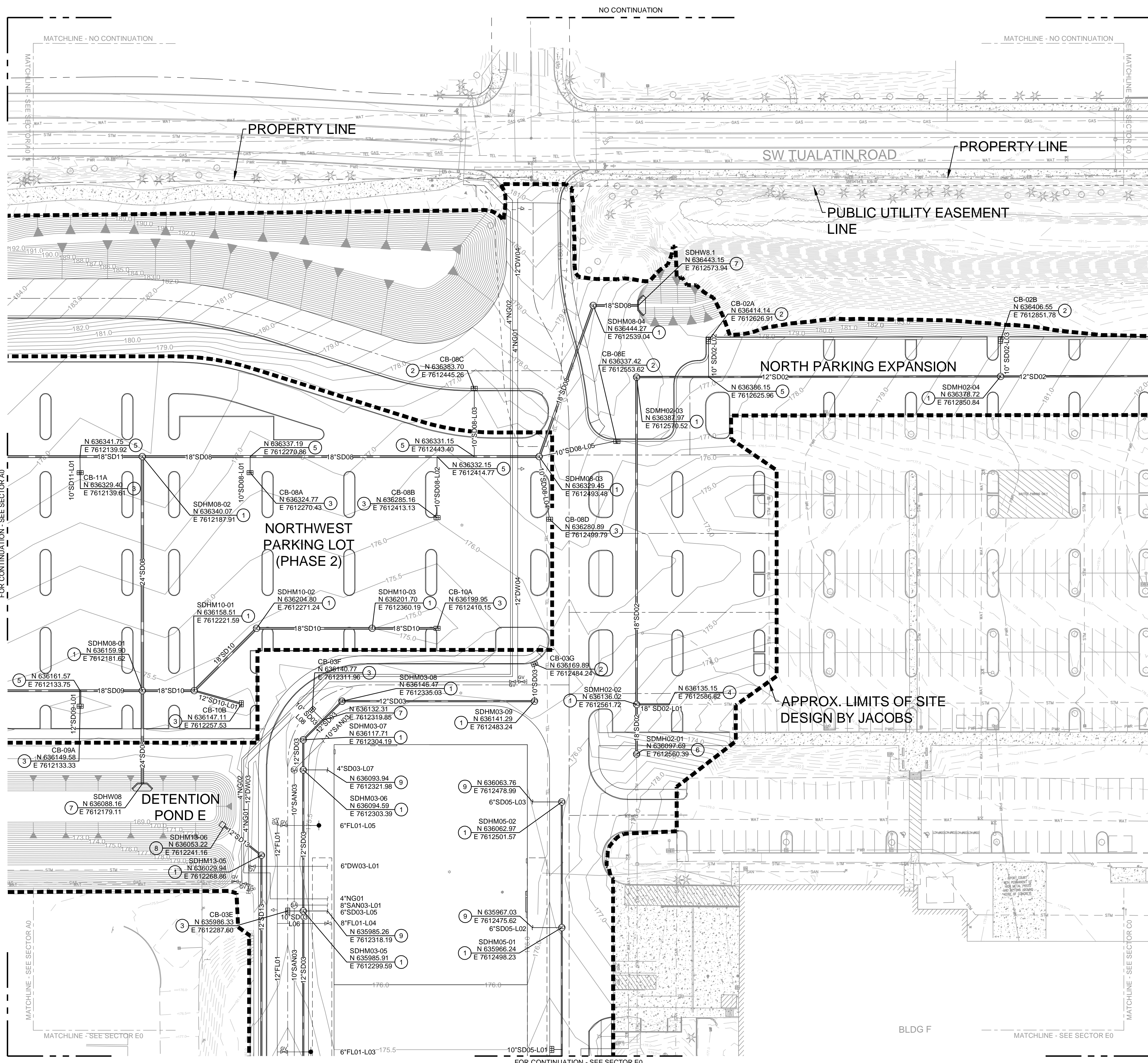


Lam Research Corporation
11155 SW LEVETON DR.
TUALATIN, OR. 97062

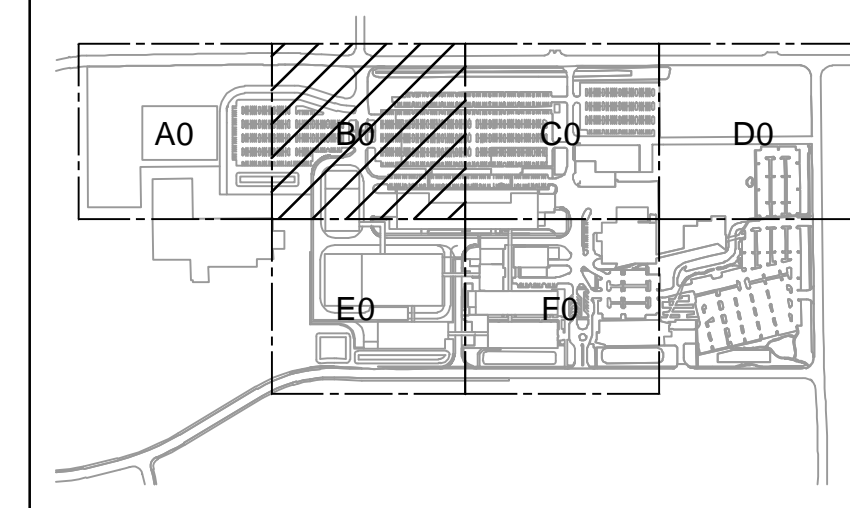
TITLE:
SITE - CIVIL STORM DRAINAGE SECTOR A0 PLAN

DATE ISSUED: DRAWING SCALE: 1"=40'
ACAD FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:
ZC0-09A0



KEY PLAN



GENERAL NOTES

- A SEE ZCO-0900 FOR COMPLETE GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

KEYED NOTES

- 1 CONSTRUCT STORM MANHOLE, PER COT DETAIL NO. 010.
- 2 CONSTRUCT GUTTER CATCH BASIN, PER COT DETAIL NO. 040.
- 3 CONSTRUCT TYPE II AREA DRAIN, PER CWS DETAIL NO. 380.
- 4 CONNECT NEW PIPE TO EXISTING STORM DRAIN.
- 5 STORM DRAIN LATERAL CONNECTION, PER DETAIL 1/ZCO-7600.
- 6 CONSTRUCT DOGHOUSE MANHOLE ON TOP OF EXISTING STORM DRAIN, PER DETAIL 8/ZCO-7600.
- 7 CONSTRUCT CULVERT HEADWALL, PER DETAIL 12/ZCO-7600.
- 8 STORMWATER CONTROL STRUCTURE, PER CWS DETAIL NO. 710.
- 9 DOWNSPOUT CONNECTION, PER DETAIL 5/ZCO-7600.

Jacobs
 Portland Office
 2020 S.W. 4th Avenue, 3rd Floor
 Portland, Oregon 97201

M. CORBIN
 Architecture • Interiors
 Planning • Engineering
 CONSULTING ENGINEERS
 1905 NW 169TH PL, STE 121
 BEAVERTON, OR 97006

Portland, OR
 503.224.9560
 Vancouver, WA
 360.695.7879
 Seattle, WA
 206.749.9993

www.mackenzie.inc

MACKENZIE

JACOBS PROJECT NO: **D3822800** CLIENT PROJECT NO:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO.	REVISION OR ISSUE	DATE	BY
A	SP01 ISSUE FOR REVIEW	09/12/24	TC

ARCHITECTURAL REVIEW
 9/16/2024
 (NOT FOR CONSTRUCTION)



Lam Research Corporation
 11155 SW LEVETON DR.
 TUALATIN, OR. 97062

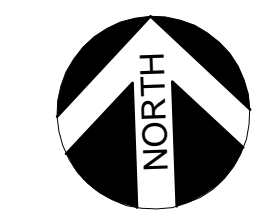
TITLE:
**SITE - CIVIL
 STORM DRAINAGE
 SECTOR B0
 PLAN**

DATE ISSUED: DRAWING SCALE: 1=40

ACAD FILE: BUILDING DESIGNATOR:

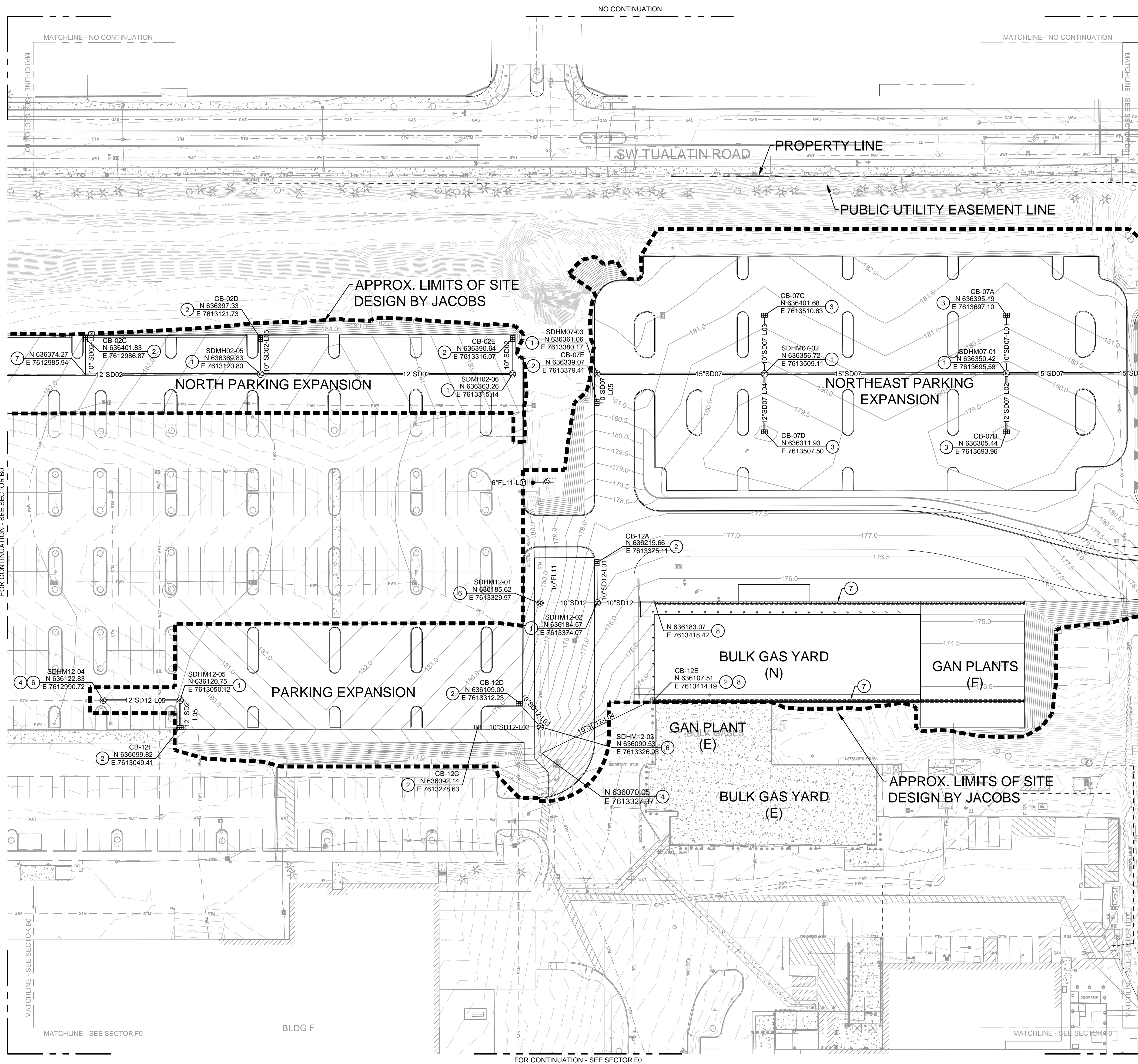
DRAWING NUMBER:

ZCO-09B0

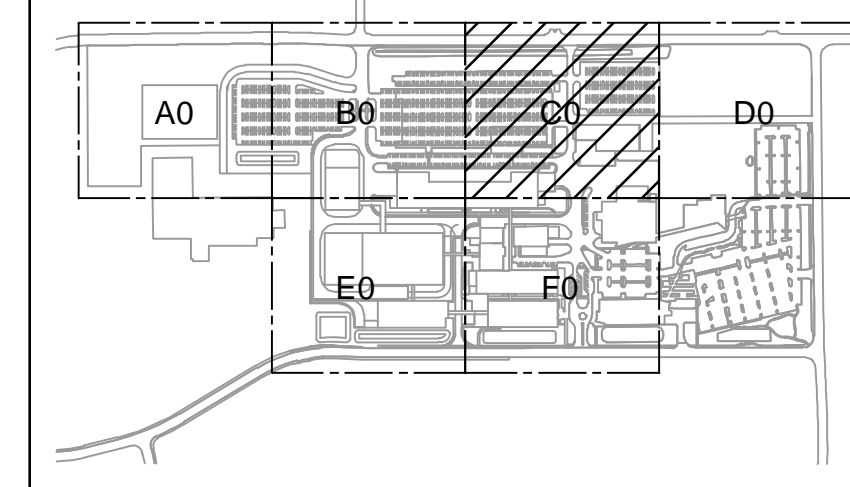


BAR IS ONE INCH ON ORIGINAL DRAWING
 0 1"

Name: ZCO-09B0.dwg User: BOWLESD Date: 18/Sep/24 - 2:52 PM



KEY PLAN



GENERAL NOTES

- A SEE ZC0-0900 FOR COMPLETE GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

KEYED NOTES

- 1 CONSTRUCT STORM MANHOLE, PER COT DETAIL NO. 010.
- 2 CONSTRUCT GUTTER CATCH BASIN, PER COT DETAIL NO. 040.
- 3 CONSTRUCT TYPE II AREA DRAIN, PER CWS DETAIL NO. 380.
- 4 CONSTRUCT NEW PIPE TO EXISTING STORM MANHOLE.
- 5 STORM DRAIN LATERAL CONNECTION, PER DETAIL 1/ZC0-7600.
- 6 CONSTRUCT DOGHOUSE MANHOLE ON TOP OF EXISTING STORM DRAIN, PER DETAIL 8/ZC0-7600.
- 7 CONSTRUCT TRENCH DRAIN, PER DETAIL 9/ZC0-7600.
- 8 CONNECT TO TRENCH DRAIN.

Jacobs

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M. C.
Architecture • Interiors
Planning • Engineering

CORBIN
CONSULTING ENGINEERS

1905 NW 169TH PL, STE 121
BEAVERTON, OR 97006

Portland, OR
503.224.9560
Vancouver, WA
360.695.7879
Seattle, WA
206.749.9993

www.mackenzie.inc

MACKENZIE

JACOBS PROJECT NO.: **D3822800** CLIENT PROJECT NO.:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO.	REVISION OR ISSUE	DATE	BY
A	SP01 ISSUE FOR REVIEW	09/12/24	TC

ARCHITECTURAL REVIEW
9/16/2024
(NOT FOR CONSTRUCTION)



Lam Research Corporation
11155 SW LEVETON DR.
TUALATIN, OR. 97062

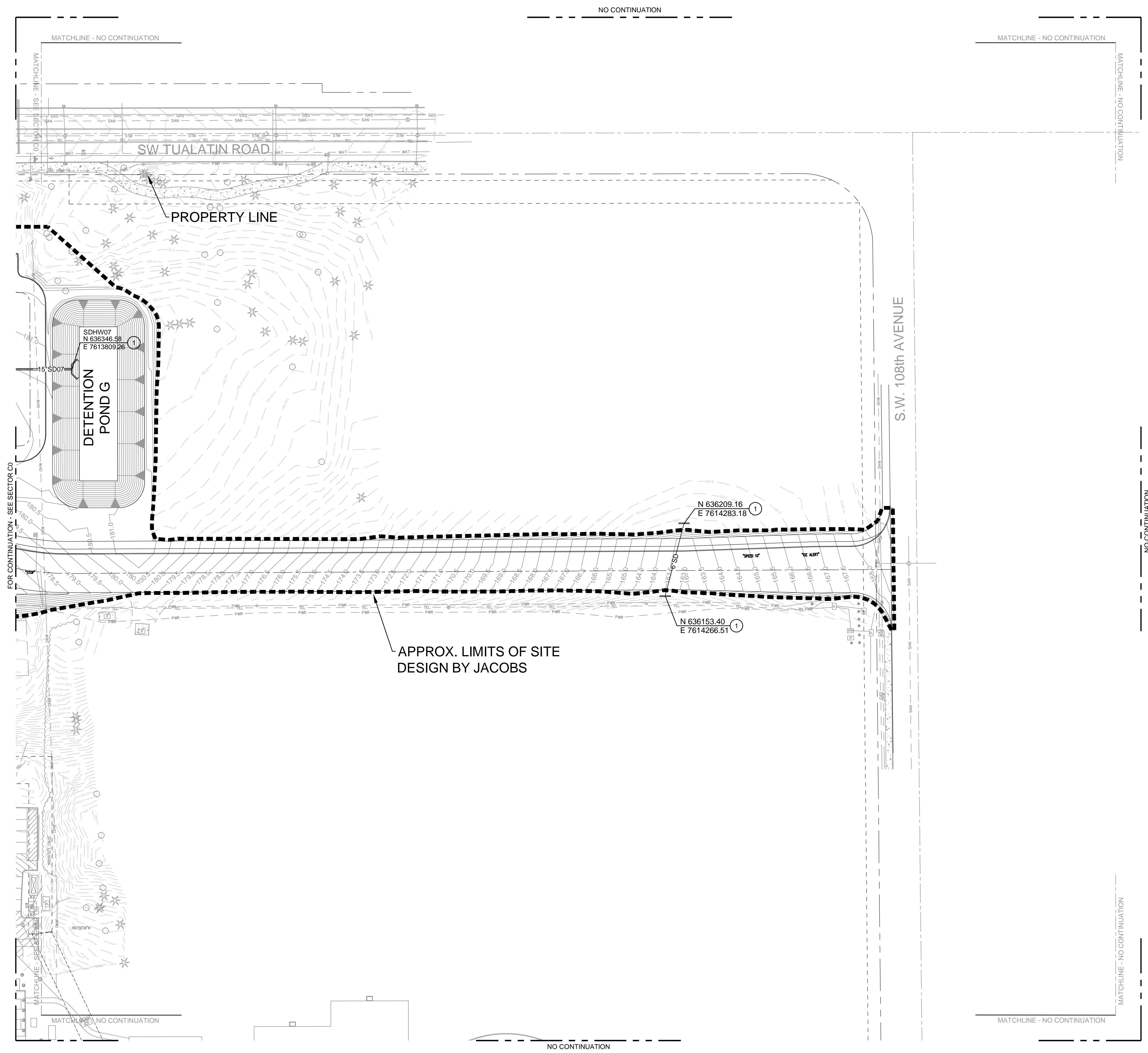
TITLE:
SITE - CIVIL STORM DRAINAGE SECTOR C0 PLAN

DATE ISSUED: DRAWING SCALE: 1=40
ACAD FILE: BUILDING DESIGNATOR:

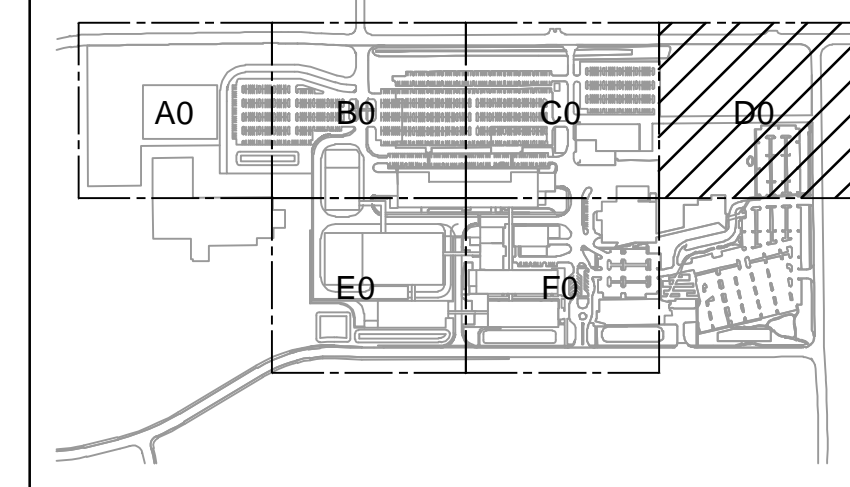
DRAWING NUMBER:
ZC0-09C0



Name: ZC0-09C0.dwg User: BOWLESD Date: 18/Sep/24 - 11:32 AM



KEY PLAN



GENERAL NOTES

- A SEE ZC0-0900 FOR COMPLETE GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

KEYED NOTES

- 1 CONSTRUCT CULVERT HEADWALL. SEE DETAIL 12ZC0-7600.

JACOBS
Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M. C.
Architecture • Interiors
Planning • Engineering

CORBIN
CONSULTING ENGINEERS
1905 NW 169TH PL, STE 121
BEAVERTON, OR 97006

Portland, OR
503.224.9560
Vancouver, WA
360.695.7879
Seattle, WA
206.749.9993

www.mackenzieinc.com

MACKENZIE

JACOBS PROJECT NO.: D3822800	CLIENT PROJECT NO.:
DRAWN:	REVIEWED:
DESIGNED:	APPROVED:
NOTICE:	STAMP:

A	SP01 ISSUE FOR REVIEW	09/12/24	TC
---	-------------------------	----------	----

NO.	REVISION OR ISSUE	DATE	BY
-----	-------------------	------	----

ARCHITECTURAL REVIEW
9/16/2024
(NOT FOR CONSTRUCTION)

Lam RESEARCH
Lam Research Corporation
11155 SW LEVETON DR.
TUALATIN, OR. 97062

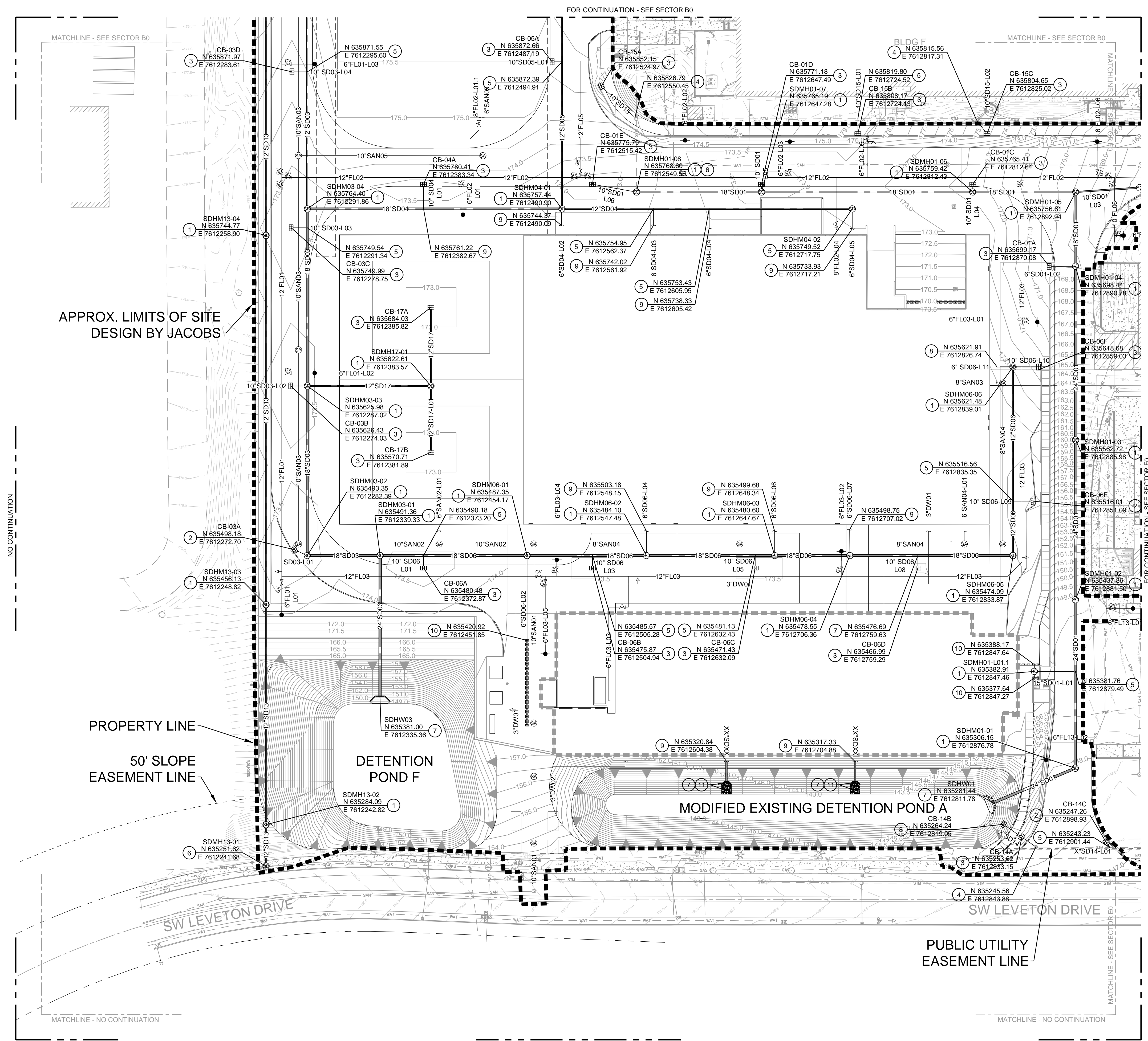
TITLE:
SITE - CIVIL STORM DRAINAGE SECTOR D0 PLAN

DATE ISSUED: DRAWING SCALE: 1=40
ACAD FILE: BUILDING DESIGNATOR:

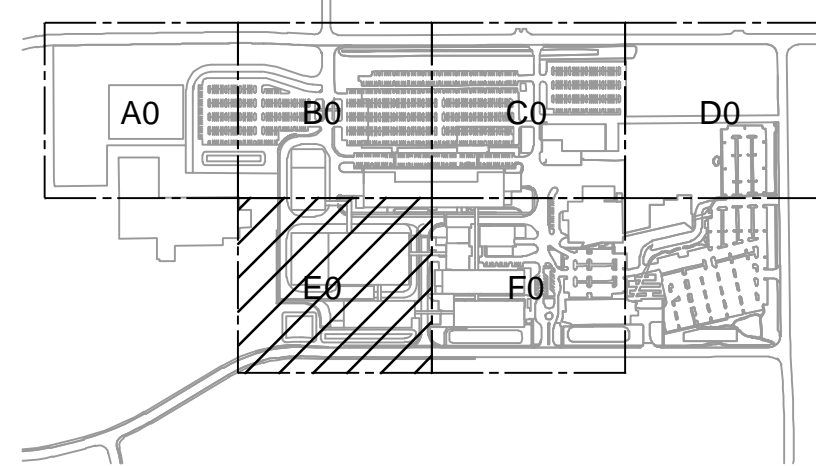
DRAWING NUMBER:
ZC0-09D0

NORTH

BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"



KEY PLAN



GENERAL NOTES

- A SEE ZC0-0900 FOR COMPLETE GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

KEYED NOTES

- 1 CONSTRUCT STORM MANHOLE, PER COT DETAIL NO. 010.
- 2 CONSTRUCT GUTTER CATCH BASIN, PER COT DETAIL NO. 040.
- 3 CONSTRUCT TYPE II AREA DRAIN, PER CWS DETAIL NO. 380.
- 4 CONSTRUCT NEW PIPE TO EXISTING STORM MANHOLE.
- 5 STORM DRAIN LATERAL CONNECTION, PER DETAIL 1/ZC0-7600.
- 6 CONSTRUCT DOGHOUSE MANHOLE ON TOP OF EXISTING STORM DRAIN, PER DETAIL 8/ZC0-7600.
- 7 CONSTRUCT CULVERT HEADWALL, PER DETAIL 12/ZC0-7600.
- 8 STORMWATER CONTROL STRUCTURE, PER CWS DETAIL NO. 710.
- 9 DOWNSPOUT CONNECTION, PER DETAIL 5/ZC0-7600.
- 10 CONNECT TO TRENCH DRAIN.
- 11 RIP RAP OUTLET PROTECTION, PER DETAIL 14/ZC0-7600.

JACOBS
 Portland Office
 2020 S.W. 4th Avenue, 3rd Floor
 Portland, Oregon 97201

M. CORBIN
 CONSULTING ENGINEERS
 1905 NW 169TH PL, STE 121
 BEAVERTON, OR 97006

Portland, OR 503.224.9560
 Vancouver, WA 360.695.7879
 Seattle, WA 206.749.9993
 www.mackenzie-inc.com

MACKENZIE

JACOBS PROJECT NO: D3822800	CLIENT PROJECT NO:
DRAWN:	REVIEWED:
DESIGNED:	APPROVED:
NOTICE:	STAMP:

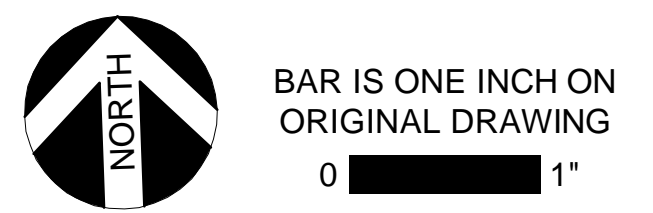
NO.	REVISION OR ISSUE	DATE	BY

ARCHITECTURAL REVIEW
 9/16/2024
 (NOT FOR CONSTRUCTION)

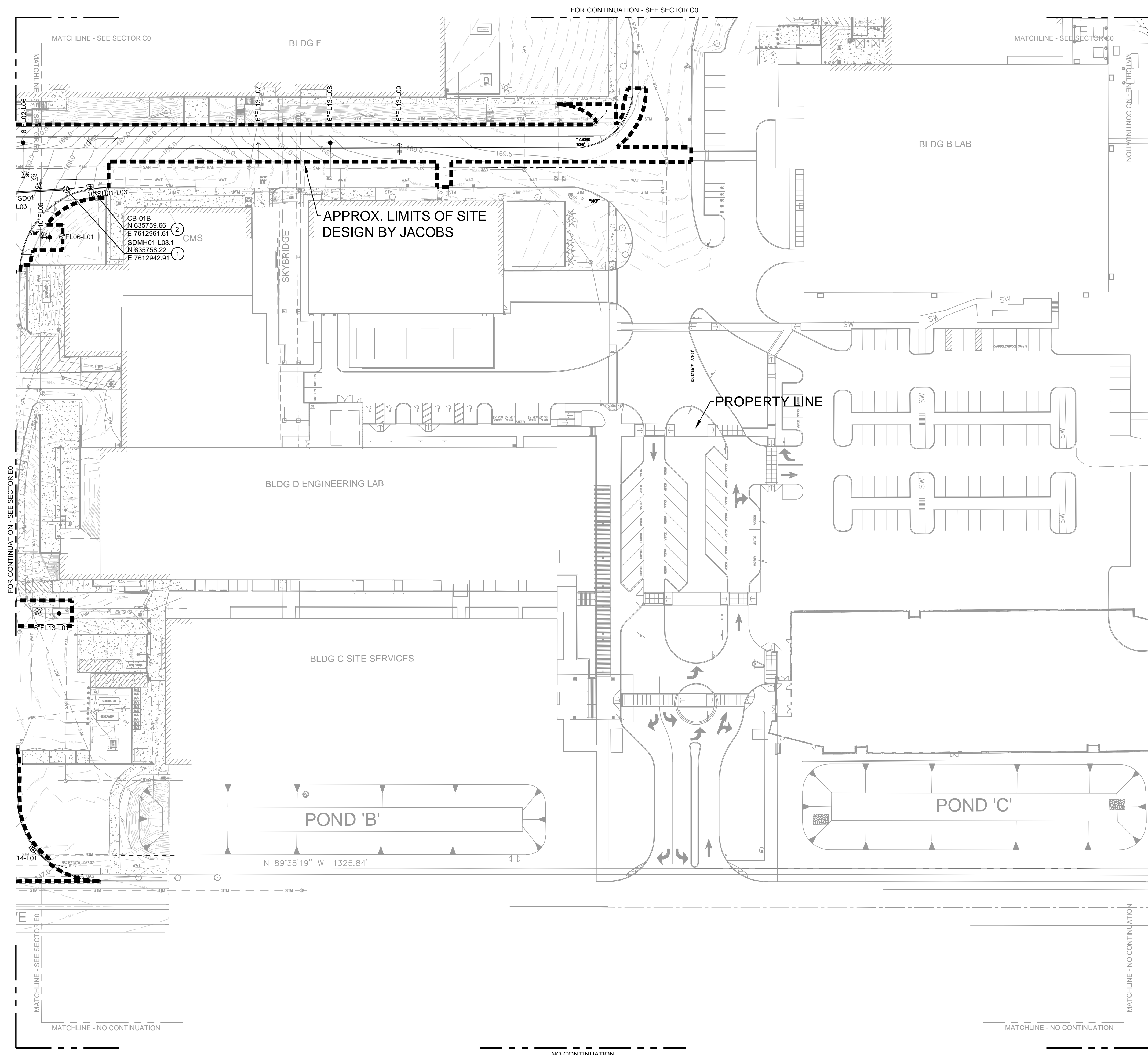
Lam RESEARCH
 Lam Research Corporation
 11155 SW LEVETON DR.
 TUALATIN, OR. 97062

TITLE:
SITE - CIVIL STORM DRAINAGE SECTOR E0 PLAN

DATE ISSUED: DRAWING SCALE: 1"=40'
 ACAD FILE: BUILDING DESIGNATOR:
 DRAWING NUMBER:
ZC0-09E0



Name: ZC0-09E0.dwg User: BOWLESD Date: 18/Sep/24 - 2:36 PM

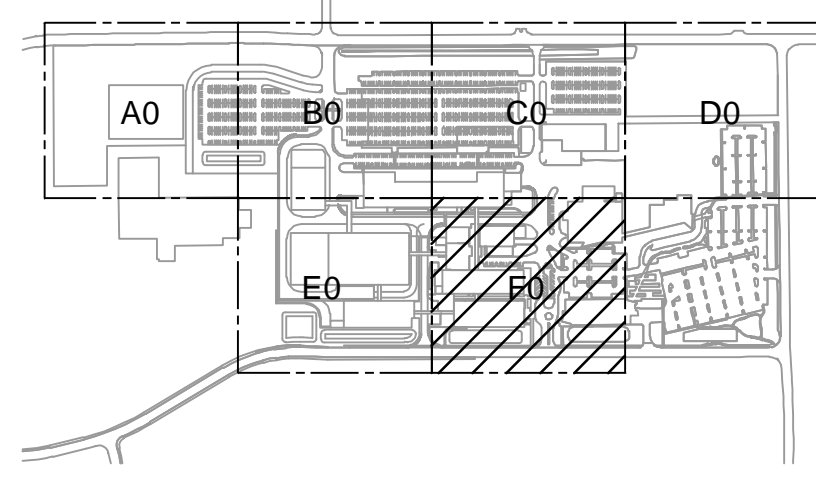


CB-01B
 N 635759.66
 E 7612961.61
 SD#1401-L03.1
 N 635758.22
 E 7612942.91

APPROX. LIMITS OF SITE DESIGN BY JACOBS

PROPERTY LINE

KEY PLAN



GENERAL NOTES

- A SEE ZC0-0900 FOR COMPLETE GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

KEYED NOTES

- 1 CONSTRUCT STORM MANHOLE PER COT DETAIL NO. 010.
- 2 CONSTRUCT GUTTER CATCH BASIN PER COT DETAIL NO. 040.

Jacobs

Portland Office
 2020 S.W. 4th Avenue, 3rd Floor
 Portland, Oregon 97201

M. C.
 Architecture • Interiors
 Planning • Engineering

CORBIN
 CONSULTING ENGINEERS
 1905 NW 169TH PL, STE 121
 BEAVERTON, OR 97006

Portland, OR
 503.224.9560
 Vancouver, WA
 360.695.7879
 Seattle, WA
 206.749.9993

www.mackenzie.inc

MACKENZIE

JACOBS PROJECT NO.: D3822800 CLIENT PROJECT NO.:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO.	REVISION OR ISSUE	DATE	BY
A	SP01 ISSUE FOR REVIEW	09/12/24	TC

ARCHITECTURAL REVIEW
 9/16/2024
 (NOT FOR CONSTRUCTION)



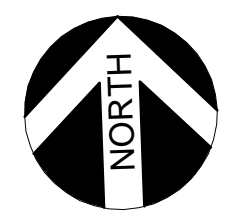
Lam Research Corporation
 11155 SW LEVETON DR.
 TUALATIN, OR. 97062

TITLE:
 SITE - CIVIL
 STORM DRAINAGE
 SECTOR F0
 PLAN

DATE ISSUED: DRAWING SCALE: 1=40
 ACAD FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:

ZC0-09F0



BAR IS ONE INCH ON ORIGINAL DRAWING
 0 1"

NO.	REVISION OR ISSUE	DATE	BY
A	SP01 ISSUE FOR REVIEW	09/12/24	TC

ARCHITECTURAL REVIEW 9/16/2024 (NOT FOR CONSTRUCTION)



Lam Research Corporation
11155 SW LEVETON DR.
TUALATIN, OR. 97062

TITLE:

SITE - CIVIL
GRADING
OVERALL
PLAN

DATE ISSUED:

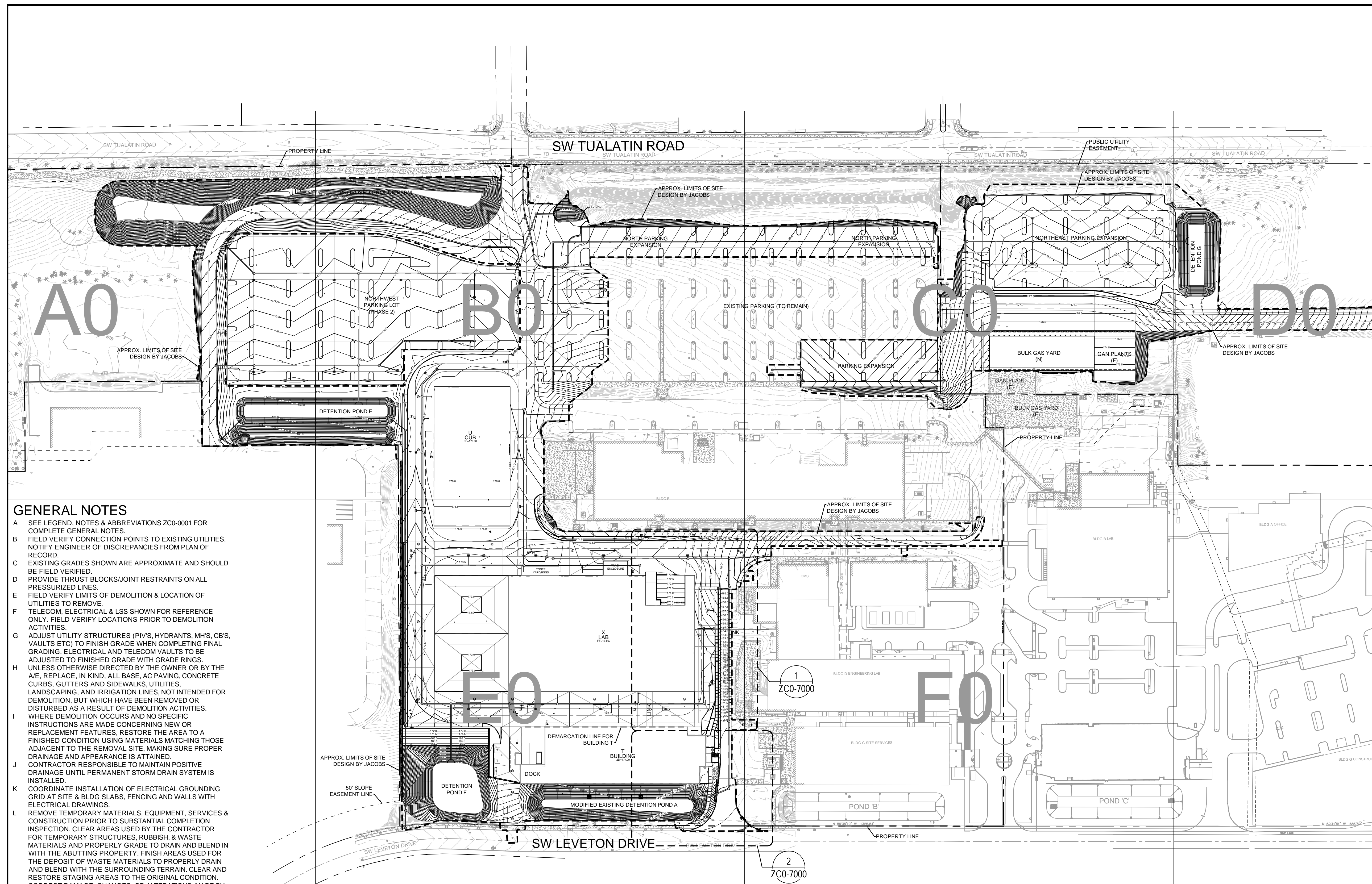
DRAWING SCALE: 1=100

ACAD FILE:

BUILDING DESIGNATOR:

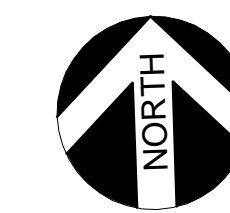
DRAWING NUMBER:

ZCO-1000



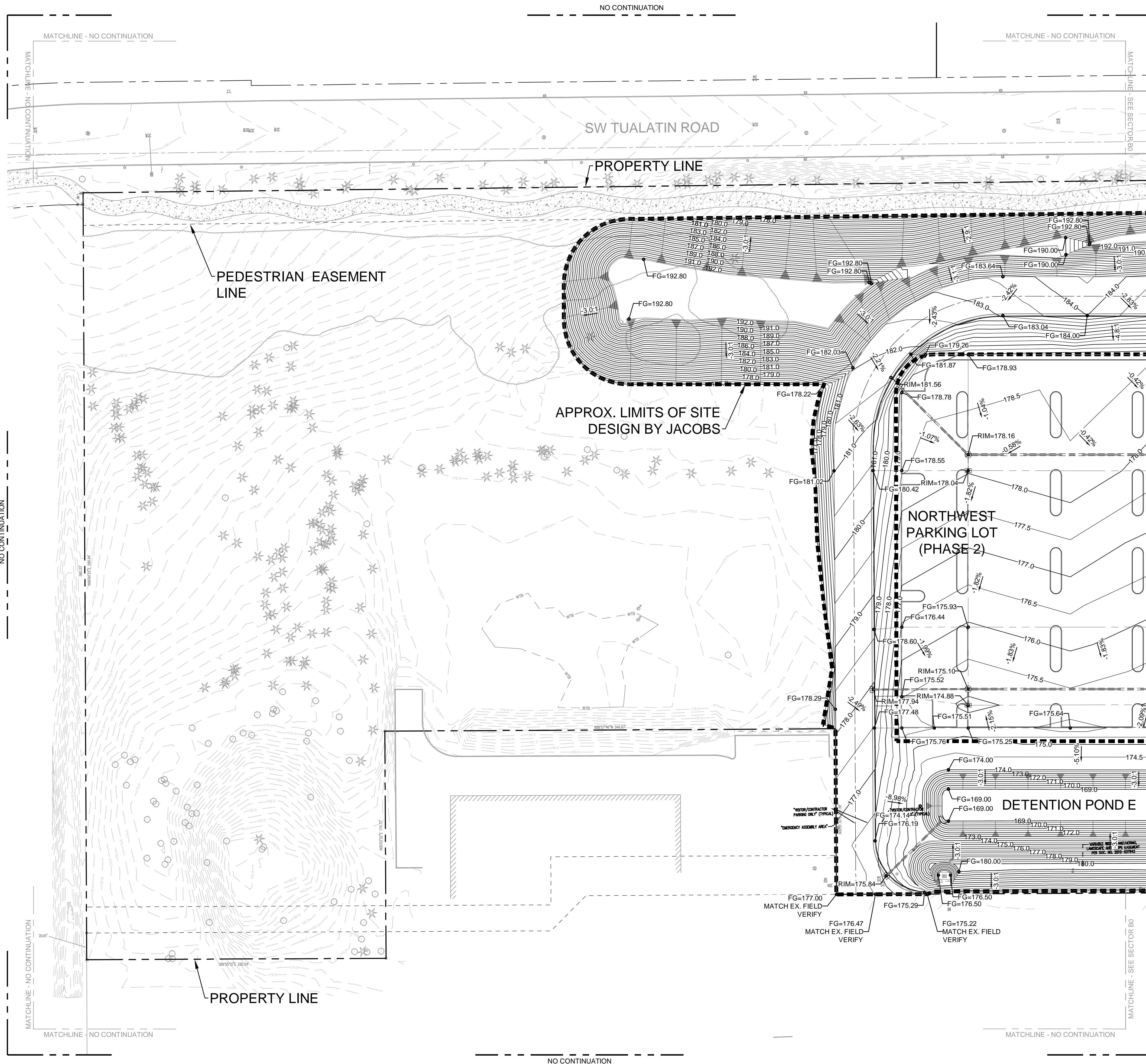
GENERAL NOTES

- A SEE LEGEND, NOTES & ABBREVIATIONS ZCO-0001 FOR COMPLETE GENERAL NOTES.
- B FIELD VERIFY CONNECTION POINTS TO EXISTING UTILITIES. NOTIFY ENGINEER OF DISCREPANCIES FROM PLAN OF RECORD.
- C EXISTING GRADES SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED.
- D PROVIDE THRUST BLOCKS/JOINT RESTRAINTS ON ALL PRESSURIZED LINES.
- E FIELD VERIFY LIMITS OF DEMOLITION & LOCATION OF UTILITIES TO REMOVE.
- F TELECOM, ELECTRICAL & LSS SHOWN FOR REFERENCE ONLY. FIELD VERIFY LOCATIONS PRIOR TO DEMOLITION ACTIVITIES.
- G ADJUST UTILITY STRUCTURES (PIV'S, HYDRANTS, M.H.S, C.B.S, VAULTS ETC) TO FINISH GRADE WHEN COMPLETING FINAL GRADING. ELECTRICAL AND TELECOM VAULTS TO BE ADJUSTED TO FINISHED GRADE WITH GRADE RINGS.
- H UNLESS OTHERWISE DIRECTED BY THE OWNER OR BY THE A/E, REPLACE, IN KIND, ALL BASE, AC PAVING, CONCRETE CURBS, GUTTERS AND SIDEWALKS, UTILITIES, LANDSCAPING, AND IRRIGATION LINES, NOT INTENDED FOR DEMOLITION, BUT WHICH HAVE BEEN REMOVED OR DISTURBED AS A RESULT OF DEMOLITION ACTIVITIES.
- I WHERE DEMOLITION OCCURS AND NO SPECIFIC INSTRUCTIONS ARE MADE CONCERNING NEW OR REPLACEMENT FEATURES, RESTORE THE AREA TO A FINISHED CONDITION USING MATERIALS MATCHING THOSE ADJACENT TO THE REMOVAL SITE, MAKING SURE PROPER DRAINAGE AND APPEARANCE IS ATTAINED.
- J CONTRACTOR RESPONSIBLE TO MAINTAIN POSITIVE DRAINAGE UNTIL PERMANENT STORM DRAIN SYSTEM IS INSTALLED.
- K COORDINATE INSTALLATION OF ELECTRICAL GROUNDING GRID AT SITE & BLDG SLABS, FENCING AND WALLS WITH ELECTRICAL DRAWINGS.
- L REMOVE TEMPORARY MATERIALS, EQUIPMENT, SERVICES & CONSTRUCTION PRIOR TO SUBSTANTIAL COMPLETION INSPECTION. CLEAR AREAS USED BY THE CONTRACTOR FOR TEMPORARY STRUCTURES, RUBBISH, & WASTE MATERIALS AND PROPERLY GRADE TO DRAIN AND BLEND IN WITH THE ADJUTING PROPERTY. FINISH AREAS USED FOR THE DEPOSIT OF WASTE MATERIALS TO PROPERLY DRAIN AND BLEND WITH THE SURROUNDING TERRAIN. CLEAR AND RESTORE STAGING AREAS TO THE ORIGINAL CONDITION. CORRECT DAMAGE, CHANGES, OR ALTERATIONS, MADE BY THE CONTRACTOR TO STORAGE & LAYDOWN AREAS DURING CONSTRUCTION PRIOR TO DEMOBILIZATION. AREAS SHALL BE RETURNED TO THE CONDITION PRIOR TO START OF CONSTRUCTION. UNO ON SITE IMPROVEMENT PLANS.
- M MANHOLE LID ADJUSTMENT REQUIRING GREATER THAN 12" OF STACKED GRADE RINGS WILL HAVE THE TOP SECTION REMOVED, A 12" OR GREATER PRECAST MANHOLE SECTION INSTALLED AND TOP SECTION REPLACED. ALIGN NEW STEPS WITH EXISTING STEPS. IN CASE OF FLAT TOP MANHOLE, REMOVE TOP LID SECTION & INSTALL PRECAST SECTION. REINSTALL RIM & LID TO GRADE.
- N ROOF DRAINS, FOUNTAIN DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- O GRADES SHOWN ON UTILITY PLANS ARE FOR REFERENCE ONLY AND SHOULD NOT BE USED FOR FINAL CONSTRUCTION.
- P DEMOLITION AND REMOVAL OF EXISTING SITE LIGHTING (POLES, POLE FOUNDATIONS, AND COUNDITS) PER THE ELECTRICAL DRAWINGS.
- Q SEE ELECTRICAL FOR DEMOLITION OF ELECTRICAL CONDUITS/DUCTBANK
- R SEE TELECOMMUNICATION PLANS FOR DEMOLITION OF THE TELECOM CONDUITS/DUCTBANK.

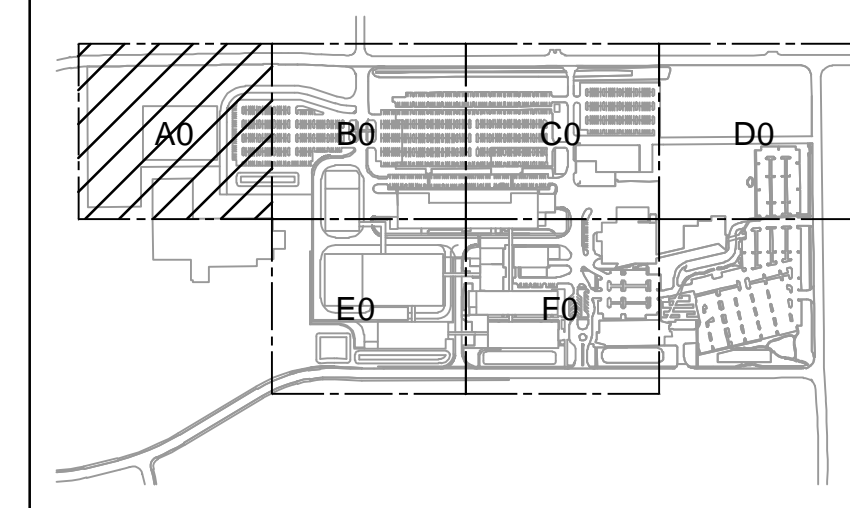


BAR IS ONE INCH ON
ORIGINAL DRAWING
0 1"

Name: ZCO-1000.dwg User: BOWLES Date: 18/Sep/24 - 2:41 PM



KEY PLAN



GENERAL NOTES
 A SEE ZC0-0800 FOR COMPLETE GENERAL NOTES.
 B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

Portland Office
 2020 S.W. 4th Avenue, 3rd Floor
 Portland, Oregon 97201

1905 NW 169TH PL, STE 121
 BEAVERTON, OR 97006

Portland, OR 503.224.9560
 Vancouver, WA 360.695.7879
 Seattle, WA 206.749.9993
 www.mackenzie-inc.

MACKENZIE

JACOBS PROJECT NO.: **D3822800** CLIENT PROJECT NO.: _____

DRAWN: _____ REVIEWED: _____

DESIGNED: _____ APPROVED: _____

NOTICE: _____ STAMP: _____

NO.	REVISION OR ISSUE	DATE	BY
A	SP01 ISSUE FOR REVIEW	09/12/24	TC

ARCHITECTURAL REVIEW
 9/16/2024
 (NOT FOR CONSTRUCTION)

Lam Research Corporation
 11155 SW LEVETON DR.
 TUALATIN, OR. 97062

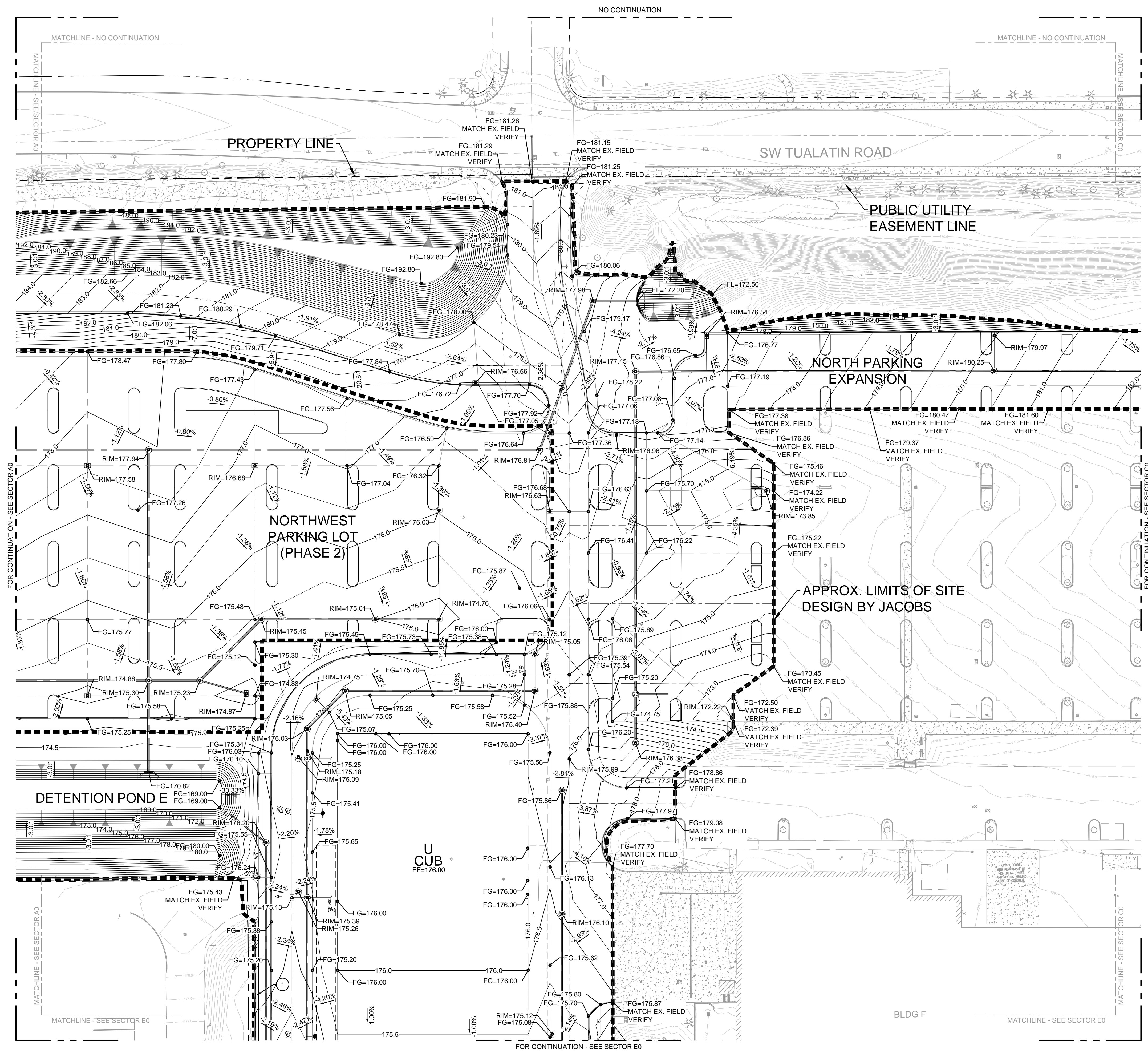
TITLE:
 SITE - CIVIL
 GRADING
 SECTOR A0
 PLAN

DATE ISSUED: _____ DRAWING SCALE: 1"=40'
 ACAD FILE: _____ BUILDING DESIGNATOR: _____
 DRAWING NUMBER:

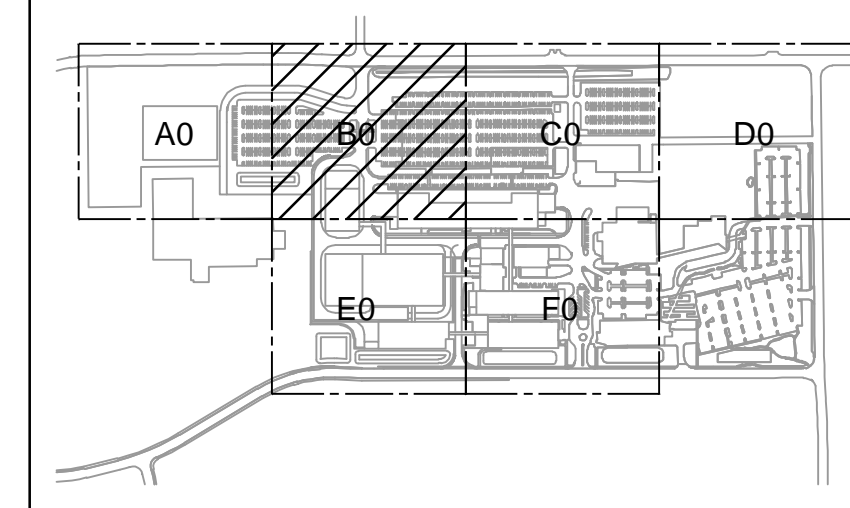
ZC0-10A0



Name: ZC0-10A0.dwg User: BOWLES Date: 18/Sep/24 - 2:19 PM



KEY PLAN



GENERAL NOTES

- A SEE ZCO-0800 FOR COMPLETE GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

KEYED NOTES

- 1 RETAINING WALL, SEE STRUCTURAL PLANS.

Jacobs
 Portland Office
 2020 S.W. 4th Avenue, 3rd Floor
 Portland, Oregon 97201

M. C. CORBIN
 CONSULTING ENGINEERS
 1905 NW 169TH PL, STE 121
 BEAVERTON, OR 97006

Architecture • Interiors
 Planning • Engineering

Portland, OR 503.224.9560
 Vancouver, WA 360.695.7879
 Seattle, WA 206.749.9993

www.mackenzie-inc.

MACKENZIE

JACOBS PROJECT NO.: D3822800 CLIENT PROJECT NO.:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO.	REVISION OR ISSUE	DATE	BY
A	SP01 ISSUE FOR REVIEW	09/12/24	TC

ARCHITECTURAL REVIEW
 9/16/2024
 (NOT FOR CONSTRUCTION)

Lam RESEARCH
 Lam Research Corporation
 11155 SW LEVETON DR.
 TUALATIN, OR. 97062

TITLE: **SITE - CIVIL GRADING SECTOR B0 PLAN**

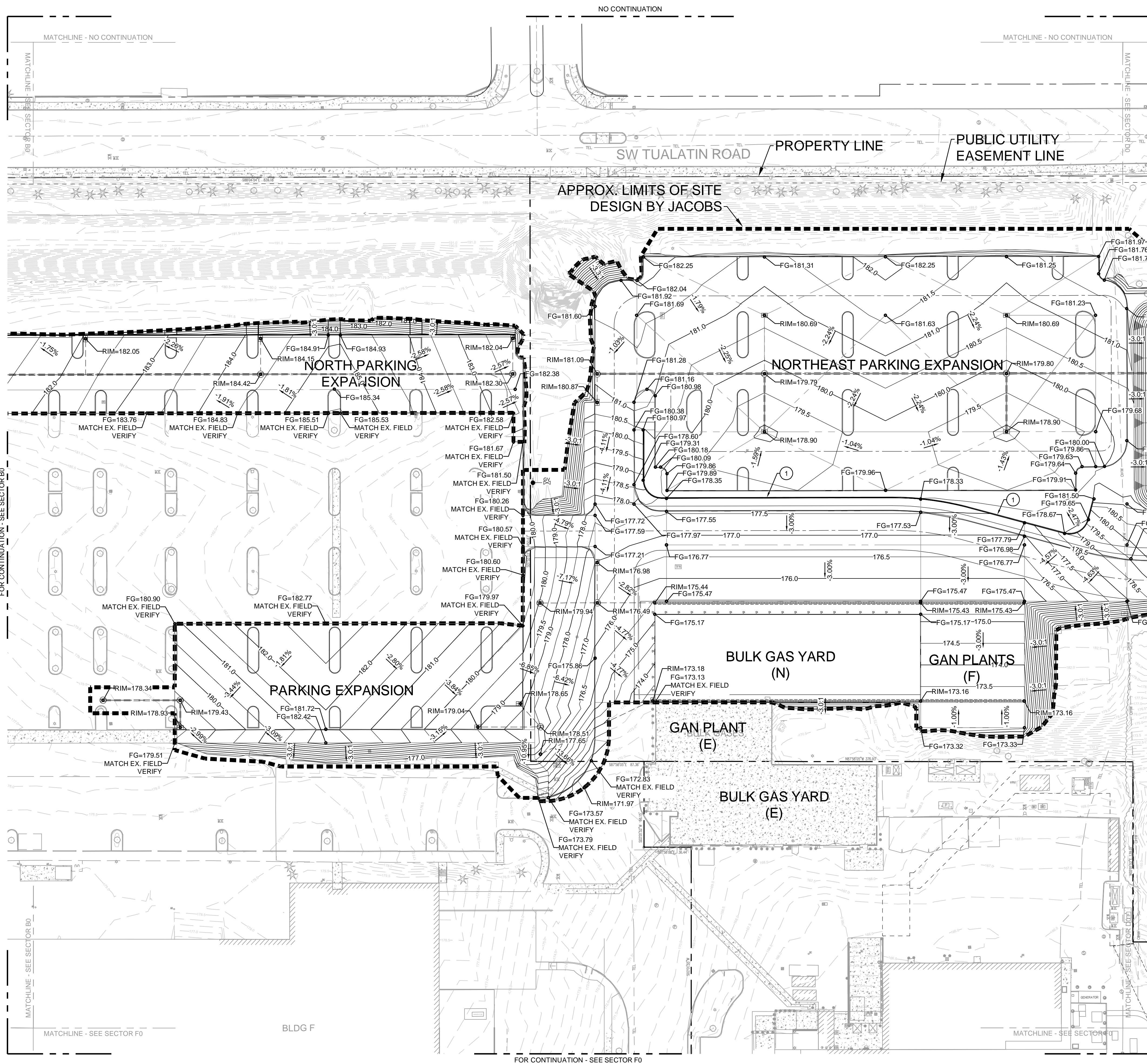
DATE ISSUED: DRAWING SCALE: 1"=40'

ACAO FILE: BUILDING DESIGNATOR:

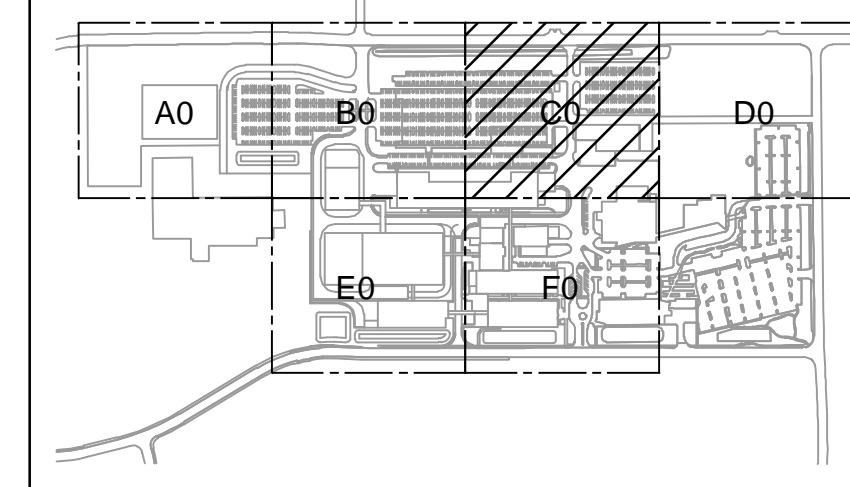
DRAWING NUMBER: **ZCO-10B0**



Name: ZCO-10B0.dwg User: BOWLESD Date: 18/Sep/24 - 2:28 PM



KEY PLAN



GENERAL NOTES

- A SEE ZC0-0800 FOR COMPLETE GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

KEYED NOTES

- 1 RETAINING WALL, SEE STRUCTURAL PLANS.

JACOBS

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M. C.
CORBIN
CONSULTING ENGINEERS

1905 NW 169TH PL, STE 121
BEAVERTON, OR 97006

Portland, OR
503.224.9560
Vancouver, WA
360.695.7879
Seattle, WA
206.749.9993

www.mackenzie-inc

MACKENZIE

JACOBS PROJECT NO.: D3822800 CLIENT PROJECT NO.:

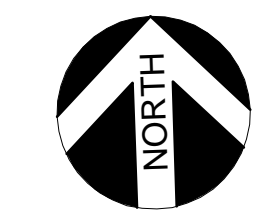
DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

A SP01 | ISSUE FOR REVIEW 09/12/24 TC

NO.	REVISION OR ISSUE	DATE	BY



BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"

ARCHITECTURAL REVIEW
9/16/2024
(NOT FOR CONSTRUCTION)



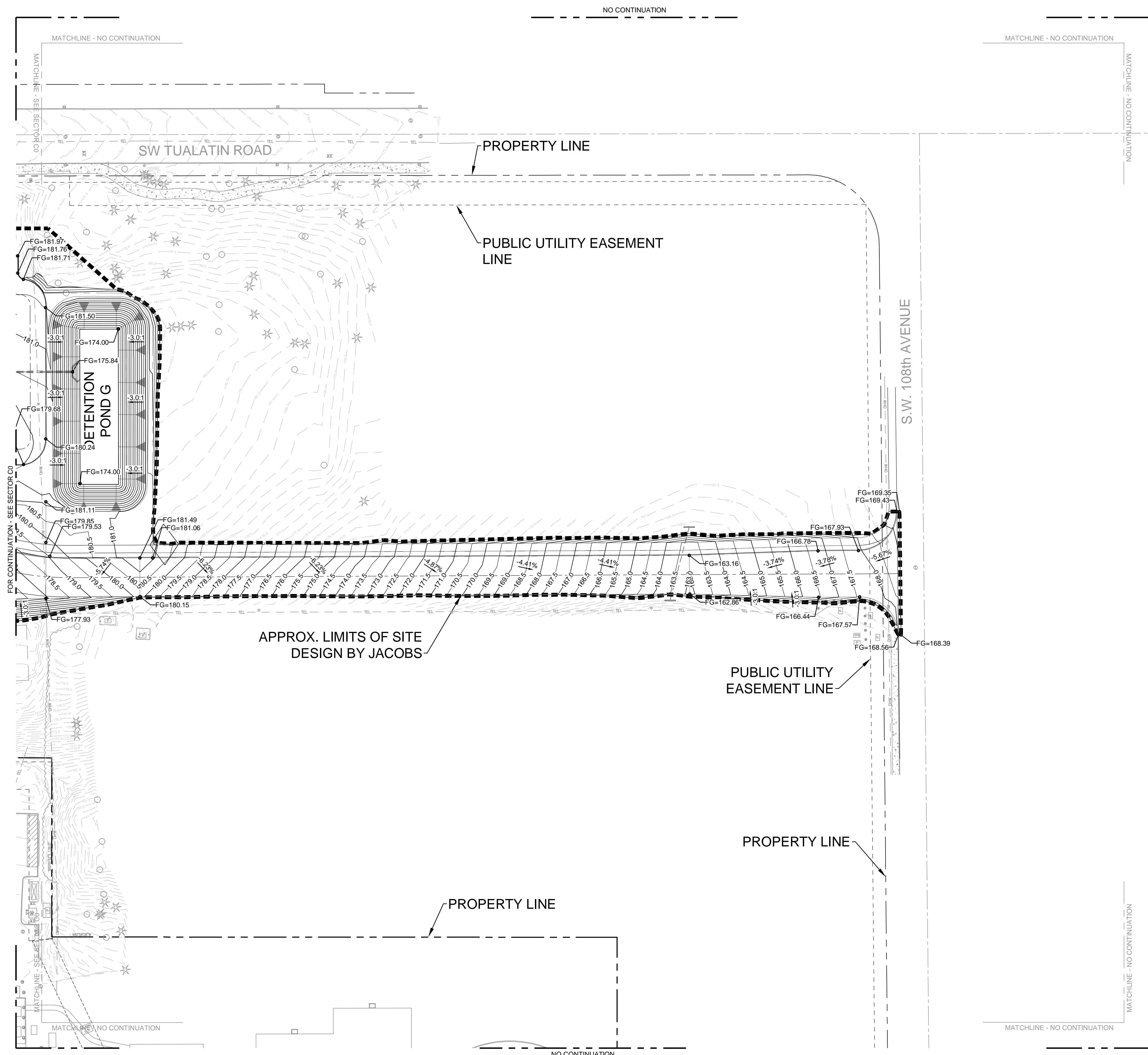
Lam Research Corporation
11155 SW LEVETON DR.
TUALATIN, OR. 97062

TITLE:
SITE - CIVIL GRADING SECTOR C0 PLAN

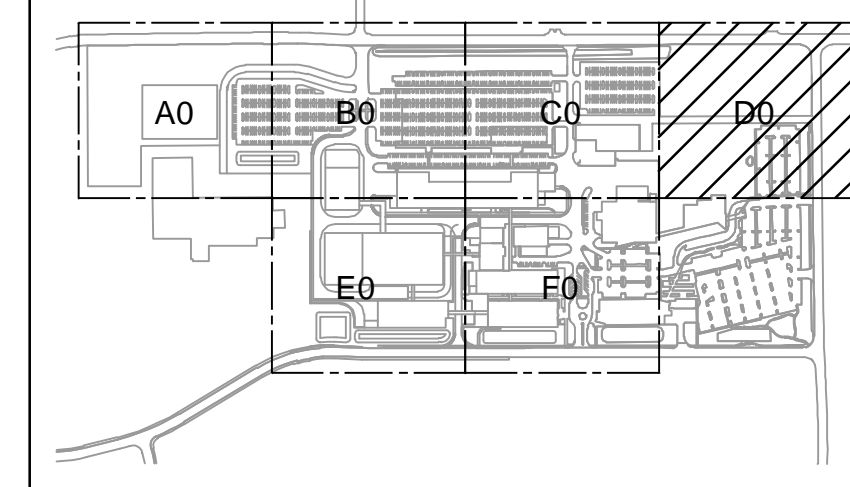
DATE ISSUED: DRAWING SCALE: 1=40
ACAD FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:

ZC0-10C0



KEY PLAN



GENERAL NOTES

- A SEE ZC0-0800 FOR COMPLETE GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

Jacobs

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M. C.
Architecture • Interiors
Planning • Engineering

CORBIN
CONSULTING ENGINEERS

1905 NW 169TH PL, STE 121
BEAVERTON, OR 97006

Portland, OR
503.224.9560
Vancouver, WA
360.695.7879
Seattle, WA
206.749.9993

www.mackenzie.inc

MACKENZIE

JACOBS PROJECT NO.: D3822800 CLIENT PROJECT NO.:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO.	REVISION OR ISSUE	DATE	BY
A	SP01 ISSUE FOR REVIEW	09/12/24	TC

ARCHITECTURAL REVIEW
9/16/2024
(NOT FOR CONSTRUCTION)

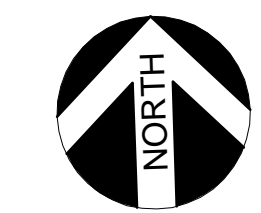


Lam Research Corporation
11155 SW LEVETON DR.
TUALATIN, OR. 97062

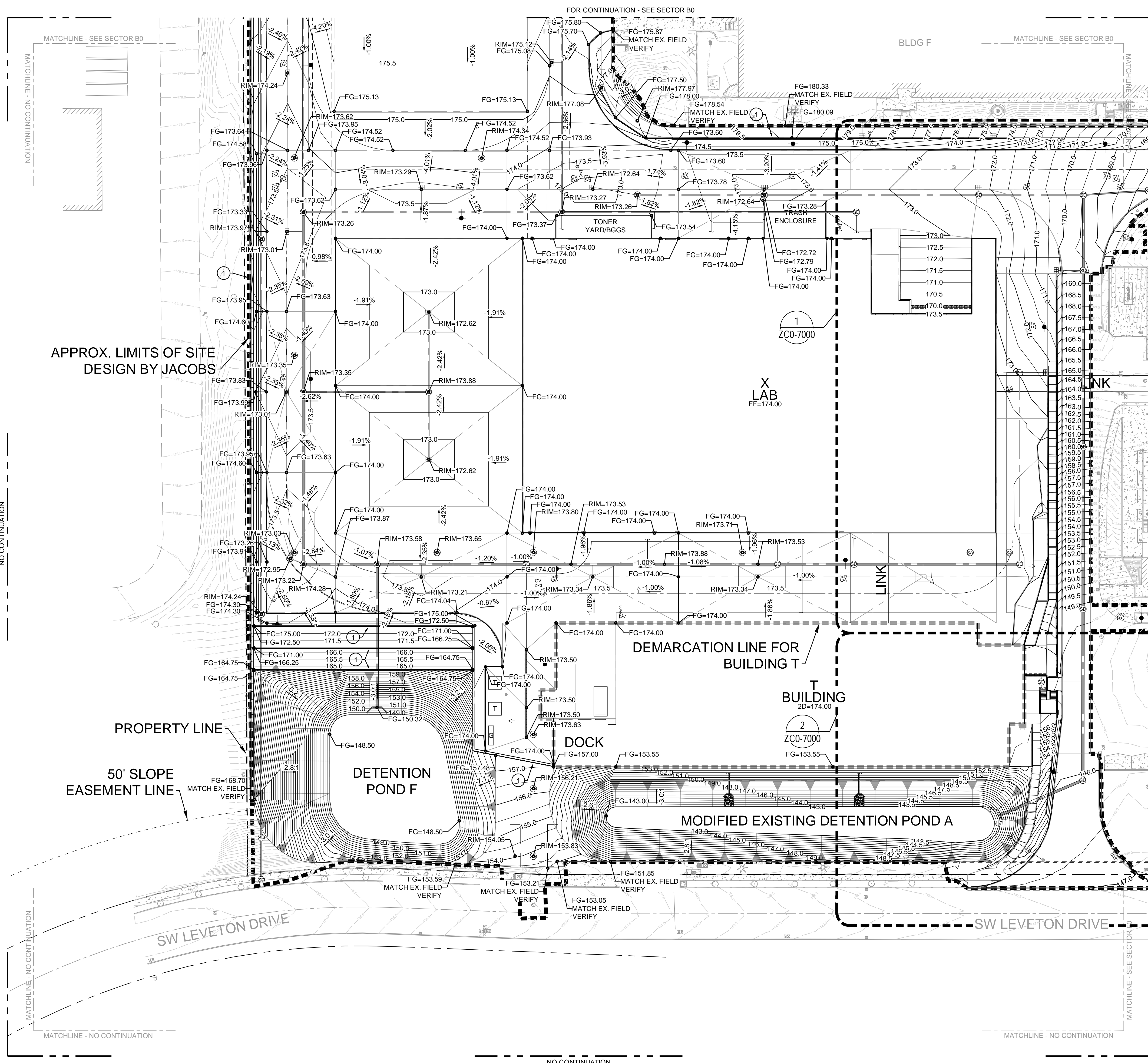
TITLE:
SITE - CIVIL GRADING SECTOR D0 PLAN

DATE ISSUED: DRAWING SCALE: 1"=40'
ACAD FILE: BUILDING DESIGNATOR:

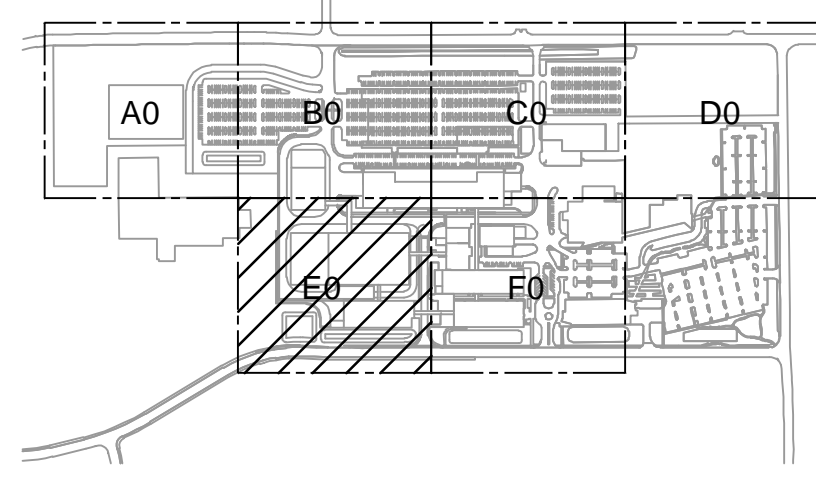
DRAWING NUMBER:
ZC0-10D0



BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"



KEY PLAN



GENERAL NOTES

- A SEE ZC0-0800 FOR COMPLETE GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

KEYED NOTES

- 1 RETAINING WALL. SEE STRUCTURAL PLANS.

Jacobs

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M. CORBIN
Architecture • Interiors
Planning • Engineering
CONSULTING ENGINEERS

1905 NW 169TH PL, STE 121
BEAVERTON, OR 97006

Portland, OR
503.224.9560
Vancouver, WA
360.695.7879
Seattle, WA
206.749.9993

www.mackenzie.inc

MACKENZIE

JACOBS PROJECT NO.: CLIENT PROJECT NO:
D3822800

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO.	REVISION OR ISSUE	DATE	BY
A	SP01 ISSUE FOR REVIEW	09/12/24	TC

ARCHITECTURAL REVIEW
9/16/2024
(NOT FOR CONSTRUCTION)



Lam Research Corporation
11155 SW LEVETON DR.
TUALATIN, OR. 97062

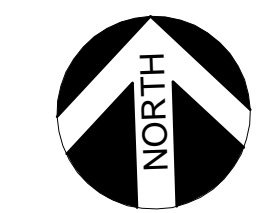
TITLE:
**SITE - CIVIL GRADING
SECTOR E0
PLAN**

DATE ISSUED: DRAWING SCALE: 1"=40'

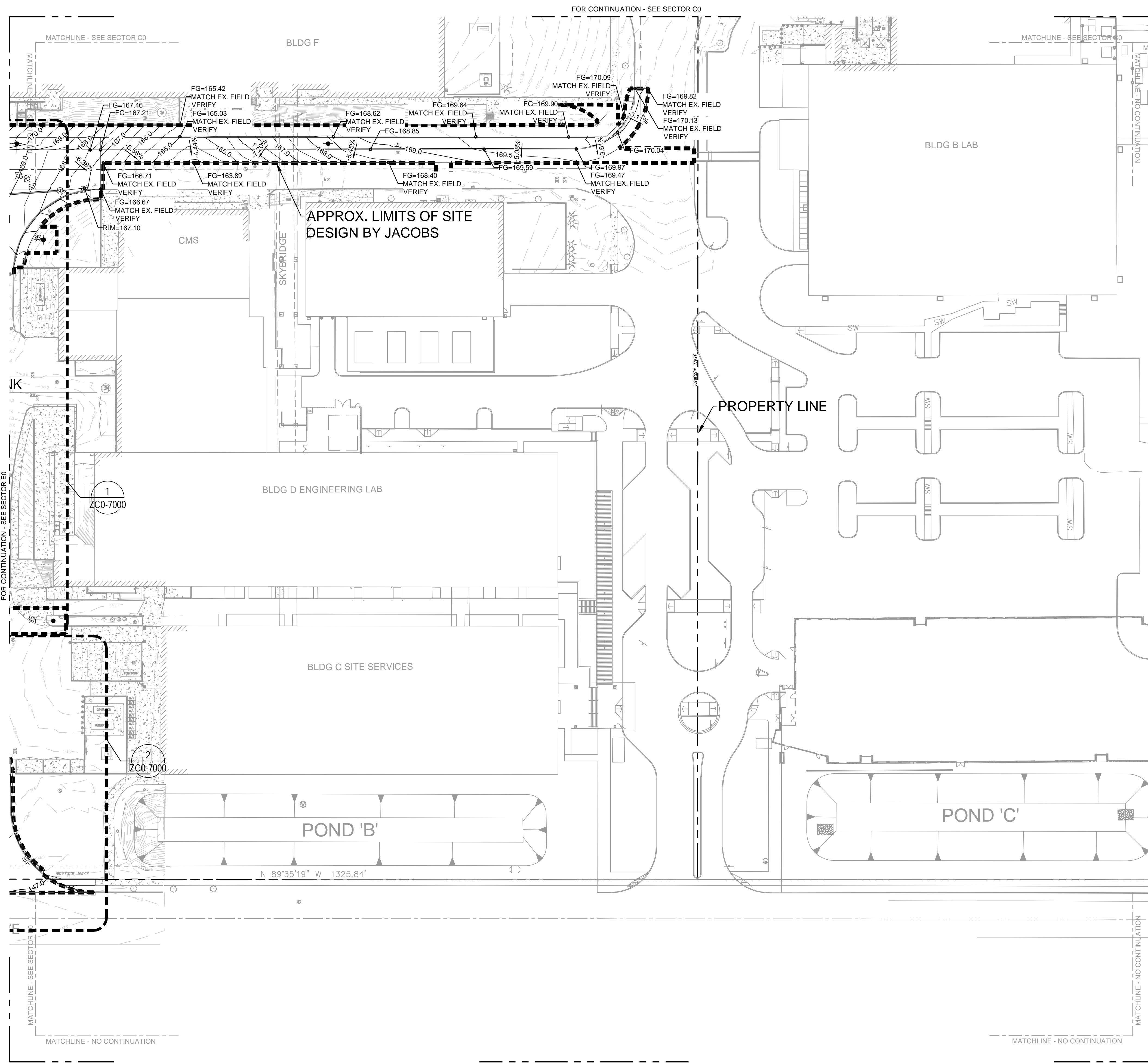
ACAD FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:

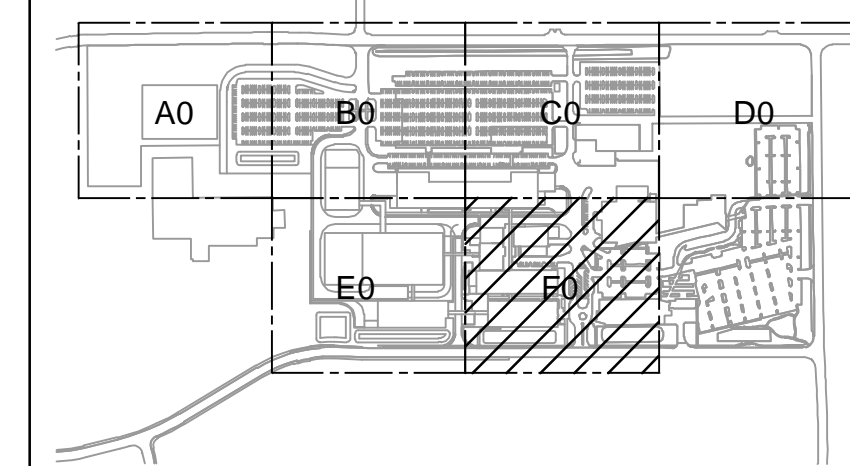
ZC0-10EO



BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"



KEY PLAN



GENERAL NOTES

- A SEE ZC0-0800 FOR COMPLETE GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

JACOBS

Portland Office
 2020 S.W. 4th Avenue, 3rd Floor
 Portland, Oregon 97201

M.

Architecture • Interiors
 Planning • Engineering

C

CORBIN
 CONSULTING ENGINEERS

1905 NW 169TH PL, STE 121
 BEAVERTON, OR 97006

Portland, OR
 503.224.9560
 Vancouver, WA
 360.695.7879
 Seattle, WA
 206.749.9993

www.mackenzie.inc

MACKENZIE

JACOBS PROJECT NO.: CLIENT PROJECT NO.:
 D3822800

DRAWN: REVIEWED:
 DESIGNED: APPROVED:

NOTICE: STAMP:

NO.	REVISION OR ISSUE	DATE	BY
A	SP01 ISSUE FOR REVIEW	09/12/24	TC

**ARCHITECTURAL
 REVIEW**
 9/16/2024
 (NOT FOR CONSTRUCTION)

**Lam
 RESEARCH**

Lam Research Corporation
 11155 SW LEVETON DR.
 TUALATIN, OR. 97062

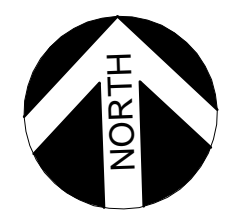
TITLE:

SITE - CIVIL
 GRADING
 SECTOR F0
 PLAN

DATE ISSUED: DRAWING SCALE: 1"=40'
 ACAD FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:

ZC0-10F0



BAR IS ONE INCH ON
 ORIGINAL DRAWING
 0 1"

NO.	REVISION OR ISSUE	DATE	BY
-----	-------------------	------	----

ARCHITECTURAL REVIEW

9/16/2024
(NOT FOR CONSTRUCTION)



Lam Research Corporation
11155 SW LEVETON DR.
TUALATIN, OR. 97062

TITLE:

SITE - CIVIL
SITE IMPROVEMENTS
OVERALL
PLAN

DATE ISSUED:

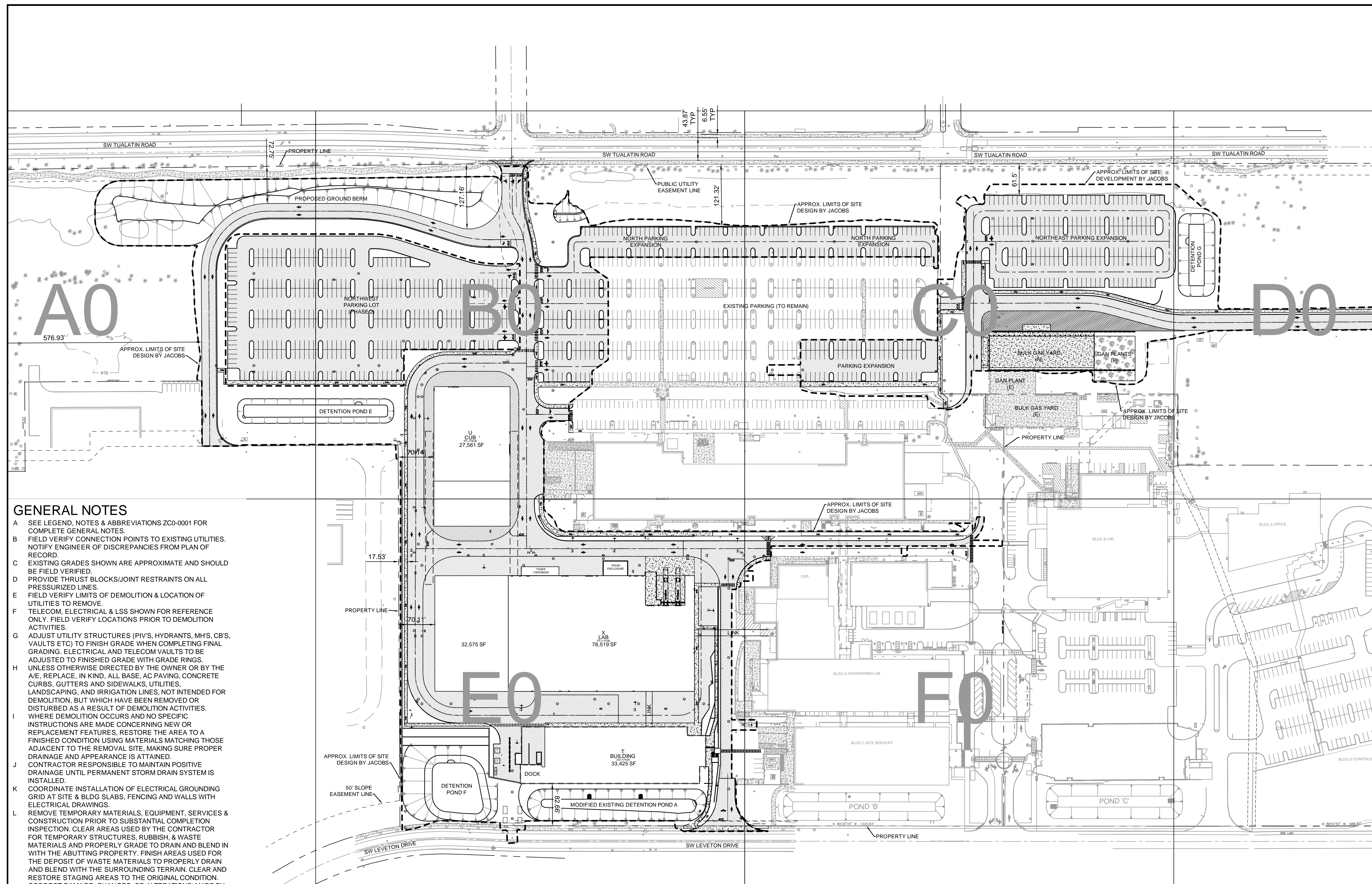
DRAWING SCALE: 1=100

ACAD FILE:

BUILDING DESIGNATOR:

DRAWING NUMBER:

ZC0-1100



GENERAL NOTES

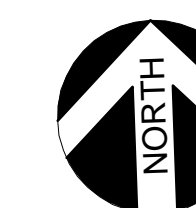
- A SEE LEGEND, NOTES & ABBREVIATIONS ZC0-0001 FOR COMPLETE GENERAL NOTES.
- B FIELD VERIFY CONNECTION POINTS TO EXISTING UTILITIES. NOTIFY ENGINEER OF DISCREPANCIES FROM PLAN OF RECORD.
- C EXISTING GRADES SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED.
- D PROVIDE THRUST BLOCKS/JOINT RESTRAINTS ON ALL PRESSURIZED LINES.
- E FIELD VERIFY LIMITS OF DEMOLITION & LOCATION OF UTILITIES TO REMOVE.
- F TELECOM, ELECTRICAL & LSS SHOWN FOR REFERENCE ONLY. FIELD VERIFY LOCATIONS PRIOR TO DEMOLITION ACTIVITIES.
- G ADJUST UTILITY STRUCTURES (PIV'S, HYDRANTS, M.H.S, C.B.S, VAULTS ETC) TO FINISH GRADE WHEN COMPLETING FINAL GRADING. ELECTRICAL AND TELECOM VAULTS TO BE ADJUSTED TO FINISHED GRADE WITH GRADE RINGS.
- H UNLESS OTHERWISE DIRECTED BY THE OWNER OR BY THE A/E, REPLACE, IN KIND, ALL BASE, AC PAVING, CONCRETE CURBS, GUTTERS AND SIDEWALKS, UTILITIES, LANDSCAPING, AND IRRIGATION LINES, NOT INTENDED FOR DEMOLITION, BUT WHICH HAVE BEEN REMOVED OR DISTURBED AS A RESULT OF DEMOLITION ACTIVITIES.
- I WHERE DEMOLITION OCCURS AND NO SPECIFIC INSTRUCTIONS ARE MADE CONCERNING NEW OR REPLACEMENT FEATURES, RESTORE THE AREA TO A FINISHED CONDITION USING MATERIALS MATCHING THOSE ADJACENT TO THE REMOVAL SITE, MAKING SURE PROPER DRAINAGE AND APPEARANCE IS ATTAINED.
- J CONTRACTOR RESPONSIBLE TO MAINTAIN POSITIVE DRAINAGE UNTIL PERMANENT STORM DRAIN SYSTEM IS INSTALLED.
- K COORDINATE INSTALLATION OF ELECTRICAL GROUNDING GRID AT SITE & BLDG SLABS, FENCING AND WALLS WITH ELECTRICAL DRAWINGS.
- L REMOVE TEMPORARY MATERIALS, EQUIPMENT, SERVICES & CONSTRUCTION PRIOR TO SUBSTANTIAL COMPLETION INSPECTION. CLEAR AREAS USED BY THE CONTRACTOR FOR TEMPORARY STRUCTURES, RUBBISH, & WASTE MATERIALS AND PROPERLY GRADE TO DRAIN AND BLEND IN WITH THE ADJUTING PROPERTY. FINISH AREAS USED FOR THE DEPOSIT OF WASTE MATERIALS TO PROPERLY DRAIN AND BLEND WITH THE SURROUNDING TERRAIN. CLEAR AND RESTORE STAGING AREAS TO THE ORIGINAL CONDITION. CORRECT DAMAGE, CHANGES, OR ALTERATIONS, MADE BY THE CONTRACTOR TO STORAGE & LAYDOWN AREAS DURING CONSTRUCTION PRIOR TO DEMOBILIZATION. AREAS SHALL BE RETURNED TO THE CONDITION PRIOR TO START OF CONSTRUCTION. UNO ON SITE IMPROVEMENT PLANS. MANHOLE LID ADJUSTMENT REQUIRING GREATER THAN 12" OF STACKED GRADE RINGS WILL HAVE THE TOP SECTION REMOVED, A 12" OR GREATER PRECAST MANHOLE SECTION INSTALLED AND TOP SECTION REPLACED. ALIGN NEW STEPS WITH EXISTING STEPS. IN CASE OF FLAT TOP MANHOLE, REMOVE TOP LID SECTION & INSTALL PRECAST SECTION. REINSTALL RIM & LID TO GRADE.
- N ROOF DRAINS, FOUNTAIN DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- O GRADES SHOWN ON UTILITY PLANS ARE FOR REFERENCE ONLY AND SHOULD NOT BE USED FOR FINAL CONSTRUCTION.
- P DEMOLITION AND REMOVAL OF EXISTING SITE LIGHTING (POLES, POLE FOUNDATIONS, AND COUNDITS) PER THE ELECTRICAL DRAWINGS.
- Q SEE ELECTRICAL FOR DEMOLITION OF ELECTRICAL CONDUITS/DUCTBANK
- R SEE TELECOMMUNICATION PLANS FOR DEMOLITION OF THE TELECOM CONDUITS/DUCTBANK.

	BUILDING FLOOR AREA		
	EXISTING AREA (SF)	PROPOSED AREA (SF) (PHASE 1)	PROPOSED AREA (SF) (PHASE 2)
EXISTING BUILDINGS	566,500 ±	566,500 ±	566,500 ±
PROPOSED BUILDING T	N/A	164,000 ±	164,000 ±
PROPOSED BUILDING U	N/A	55,120 ±	55,120 ±
PROPOSED BUILDING X	N/A	146,830 ±	204,350 ±
TOTAL SITE	566,500 ±	932,450 ±	989,970 ±

	PARKING DATA (PHASE 1)			
	EXISTING	PARKING REMOVED	PARKING ADDED	TOTAL SPACES
STANDARD PARKING	1709	399	472*	1782
ACCESSIBLE PARKING	33	0	11	44
CARPOOL PARKING	12	3	0	9
TOTAL PARKING	1754	402	483	1835

	PARKING DATA (PHASE 2)			
	EXISTING	PARKING REMOVED	PARKING ADDED	TOTAL SPACES
STANDARD PARKING	1762	0	342	2124
ACCESSIBLE PARKING	50	0	9	53
CARPOOL PARKING	9	0	0	9
TOTAL PARKING	1835	0	351	2186

* INCLUDES 128 STALLS FROM THE BUILDING PROJECT (UNDER AR22-0006)



BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"

NO.	REVISION OR ISSUE	DATE	BY
-----	-------------------	------	----

ARCHITECTURAL REVIEW 9/16/2024 (NOT FOR CONSTRUCTION)



Lam Research Corporation
11155 SW LEVETON DR.
TUALATIN, OR. 97062

TITLE:

SITE - CIVIL
SITE IMPROVEMENTS
OVERALL
PLAN

DATE ISSUED:

DRAWING SCALE: 1=100

ACAD FILE:

BUILDING DESIGNATOR:

DRAWING NUMBER:

ZCO-1100



GENERAL NOTES

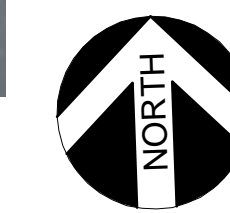
- A SEE LEGEND, NOTES & ABBREVIATIONS ZCO-0001 FOR COMPLETE GENERAL NOTES.
- B FIELD VERIFY CONNECTION POINTS TO EXISTING UTILITIES. NOTIFY ENGINEER OF DISCREPANCIES FROM PLAN OF RECORD.
- C EXISTING GRADES SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED.
- D PROVIDE THRUST BLOCKS/JOINT RESTRAINTS ON ALL PRESSURIZED LINES.
- E FIELD VERIFY LIMITS OF DEMOLITION & LOCATION OF UTILITIES TO REMOVE.
- F TELECOM, ELECTRICAL & LSS SHOWN FOR REFERENCE ONLY. FIELD VERIFY LOCATIONS PRIOR TO DEMOLITION ACTIVITIES.
- G ADJUST UTILITY STRUCTURES (PIV'S, HYDRANTS, MHS, CBS, VAULTS ETC) TO FINISH GRADE WHEN COMPLETING FINAL GRADING. ELECTRICAL AND TELECOM VAULTS TO BE ADJUSTED TO FINISHED GRADE WITH GRADE RINGS.
- H UNLESS OTHERWISE DIRECTED BY THE OWNER OR BY THE A/E, REPLACE, IN KIND, ALL BASE, AC PAVING, CONCRETE CURBS, GUTTERS AND SIDEWALKS, UTILITIES, LANDSCAPING, AND IRRIGATION LINES, NOT INTENDED FOR DEMOLITION, BUT WHICH HAVE BEEN REMOVED OR DISTURBED AS A RESULT OF DEMOLITION ACTIVITIES.
- I WHERE DEMOLITION OCCURS AND NO SPECIFIC INSTRUCTIONS ARE MADE CONCERNING NEW OR REPLACEMENT FEATURES, RESTORE THE AREA TO A FINISHED CONDITION USING MATERIALS MATCHING THOSE ADJACENT TO THE REMOVAL SITE, MAKING SURE PROPER DRAINAGE AND APPEARANCE IS ATTAINED.
- J CONTRACTOR RESPONSIBLE TO MAINTAIN POSITIVE DRAINAGE UNTIL PERMANENT STORM DRAIN SYSTEM IS INSTALLED.
- K COORDINATE INSTALLATION OF ELECTRICAL GROUNDING GRID AT SITE & BLDG SLABS, FENCING AND WALLS WITH ELECTRICAL DRAWINGS.
- L REMOVE TEMPORARY MATERIALS, EQUIPMENT, SERVICES & CONSTRUCTION PRIOR TO SUBSTANTIAL COMPLETION INSPECTION. CLEAR AREAS USED BY THE CONTRACTOR FOR TEMPORARY STRUCTURES, RUBBISH, & WASTE MATERIALS AND PROPERLY GRADE TO DRAIN AND BLEND IN WITH THE ADJUTING PROPERTY. FINISH AREAS USED FOR THE DEPOSIT OF WASTE MATERIALS TO PROPERLY DRAIN AND BLEND WITH THE SURROUNDING TERRAIN. CLEAR AND RESTORE STAGING AREAS TO THE ORIGINAL CONDITION. CORRECT DAMAGE, CHANGES, OR ALTERATIONS, MADE BY THE CONTRACTOR TO STORAGE & LAYDOWN AREAS DURING CONSTRUCTION PRIOR TO DEMOBILIZATION. AREAS SHALL BE RETURNED TO THE CONDITION PRIOR TO START OF CONSTRUCTION. UNO ON SITE IMPROVEMENT PLANS. MANHOLE LID ADJUSTMENT REQUIRING GREATER THAN 12" OF STACKED GRADE RINGS WILL HAVE THE TOP SECTION REMOVED, A 12" OR GREATER PRECAST MANHOLE SECTION INSTALLED AND TOP SECTION REPLACED. ALIGN NEW STEPS WITH EXISTING STEPS. IN CASE OF FLAT TOP MANHOLE, REMOVE TOP LID SECTION & INSTALL PRECAST SECTION. REINSTALL RIM & LID TO GRADE.
- N ROOF DRAINS, FOUNTAIN DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- O GRADES SHOWN ON UTILITY PLANS ARE FOR REFERENCE ONLY AND SHOULD NOT BE USED FOR FINAL CONSTRUCTION.
- P DEMOLITION AND REMOVAL OF EXISTING SITE LIGHTING (POLES, POLE FOUNDATIONS, AND COUNDITS) PER THE ELECTRICAL DRAWINGS.
- Q SEE ELECTRICAL FOR DEMOLITION OF ELECTRICAL CONDUITS/DUCTBANK
- R SEE TELECOMMUNICATION PLANS FOR DEMOLITION OF THE TELECOM CONDUITS/DUCTBANK.

	BUILDING FLOOR AREA		
	EXISTING AREA (SF)	PROPOSED AREA (SF) (PHASE 1)	PROPOSED AREA (SF) (PHASE 1)
EXISTING BUILDINGS	566,500 ±	566,500 ±	566,500 ±
PROPOSED BUILDING T	N/A	164,000 ±	164,000 ±
PROPOSED BUILDING U	N/A	55,120 ±	55,120 ±
PROPOSED BUILDING X	N/A	146,830 ±	204,350 ±
TOTAL SITE	566,500 ±	932,450 ±	989,970 ±

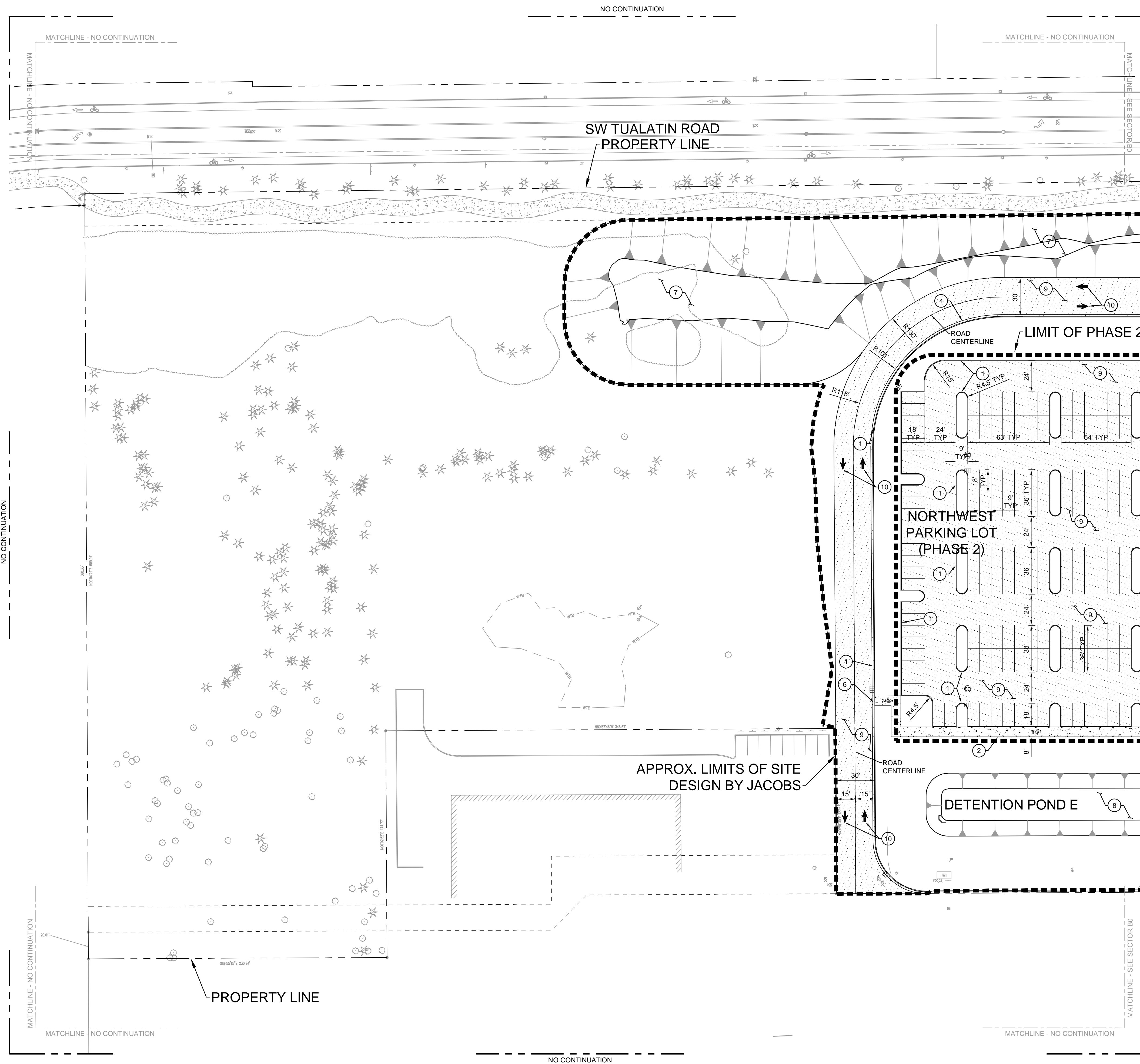
	PARKING DATA (PHASE 1)			
	EXISTING	PARKING REMOVED	PARKING ADDED	TOTAL SPACES
STANDARD PARKING	1709	399	472*	1782
ACCESSIBLE PARKING	33	0	11	44
CARPPOOL PARKING	12	3	0	9
TOTAL PARKING	1754	402	483	1835

* INCLUDES 128 STALLS FROM THE BUILDING PROJECT (UNDER AR22-0006)

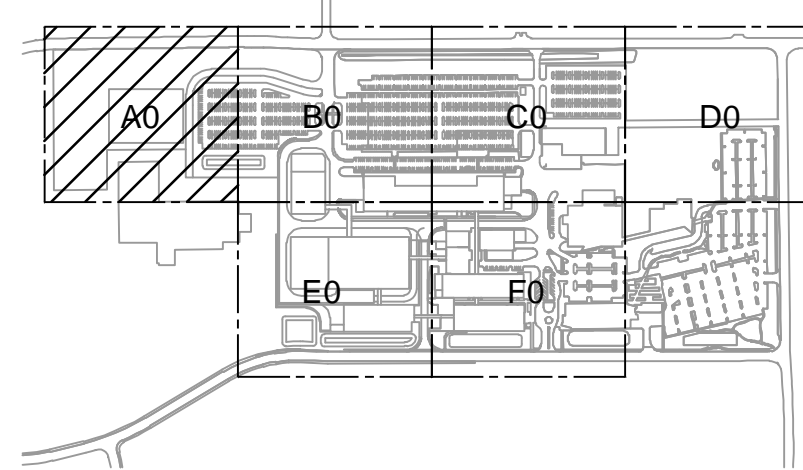
	PARKING DATA (PHASE 2)			
	EXISTING	PARKING REMOVED	PARKING ADDED	TOTAL SPACES
STANDARD PARKING	1762	0	342	2124
ACCESSIBLE PARKING	50	0	9	53
CARPPOOL PARKING	9	0	0	9
TOTAL PARKING	1835	0	351	2196



BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"



KEY PLAN



GENERAL NOTES

- A SEE ZCO-1000 FOR COMPLETE GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

KEYED NOTES

- 1 CONSTRUCT SINGLE CURB.
- 2 CONSTRUCT CONCRETE SIDEWALK.
- 3 INSTALL HEAVY DUTY GRAVEL SURFACING.
- 4 CONSTRUCT CONCRETE CURB AND GUTTER.
- 5 INSTALL WHEEL STOP/CONCRETE BUMPER.
- 6 CONSTRUCT CURB RAMP.
- 7 CONSTRUCT GROUND BERM.
- 8 CONSTRUCT STORMWATER POND.
- 9 CONSTRUCT HEAVY DUTY AC PAVEMENT.
- 10 APPLY THERMOPLASTIC ROADWAY MARKINGS AS SHOWN.

JACOBS

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M.
Architecture • Interiors
Planning • Engineering

C
CORBIN
CONSULTING ENGINEERS

1905 NW 169TH PL, STE 121
BEAVERTON, OR 97006

Portland, OR
503.224.9560
Vancouver, WA
360.695.7879
Seattle, WA
206.749.9993

www.mackenzie.inc

MACKENZIE

JACOBS PROJECT NO.: D3822800 CLIENT PROJECT NO.:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO.	REVISION OR ISSUE	DATE	BY

ARCHITECTURAL REVIEW
9/16/2024
(NOT FOR CONSTRUCTION)



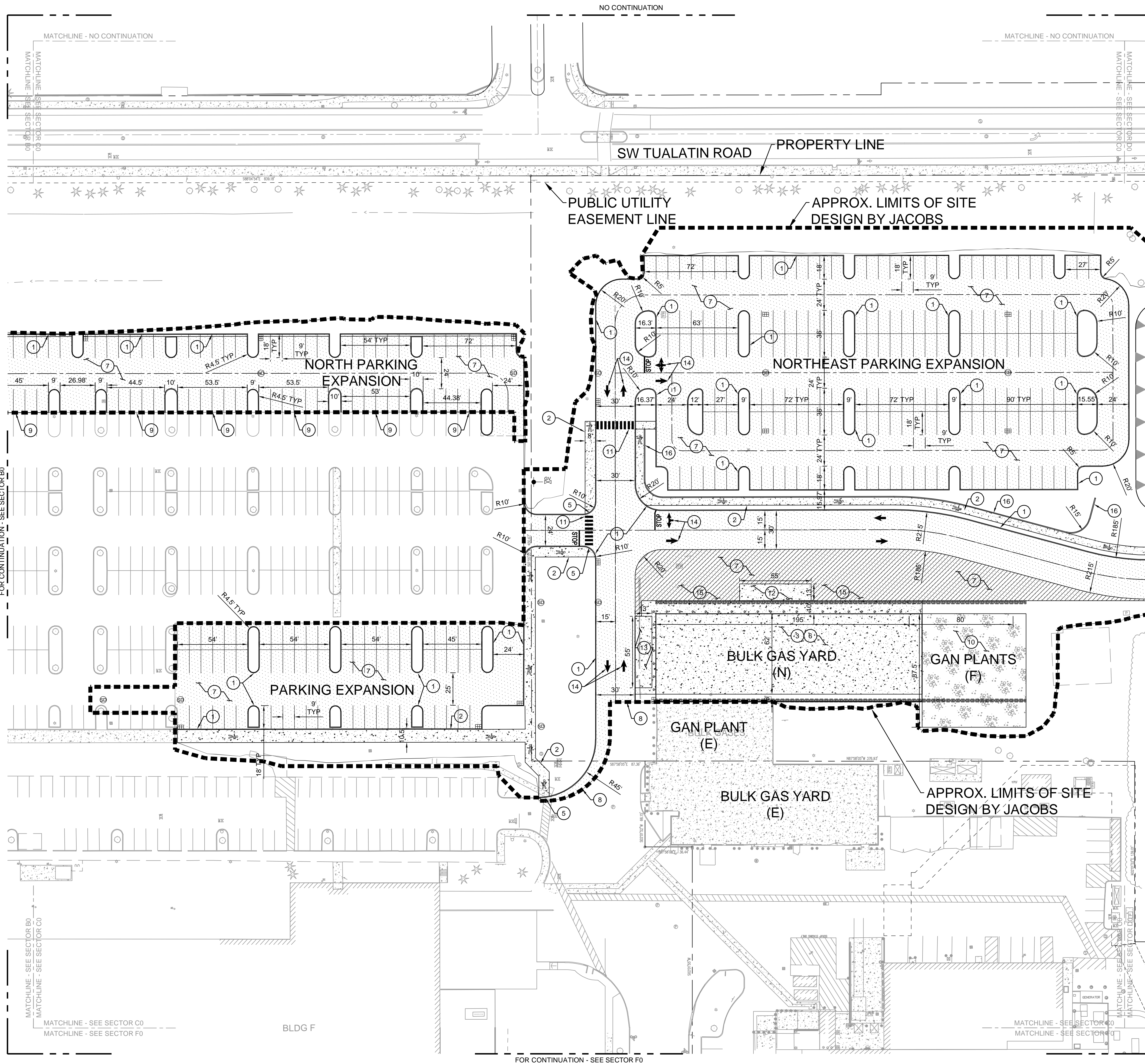
Lam Research Corporation
11155 SW LEVETON DR.
TUALATIN, OR. 97062

TITLE:
SITE - CIVIL
SITE IMPROVEMENTS
SECTOR A0
PLAN

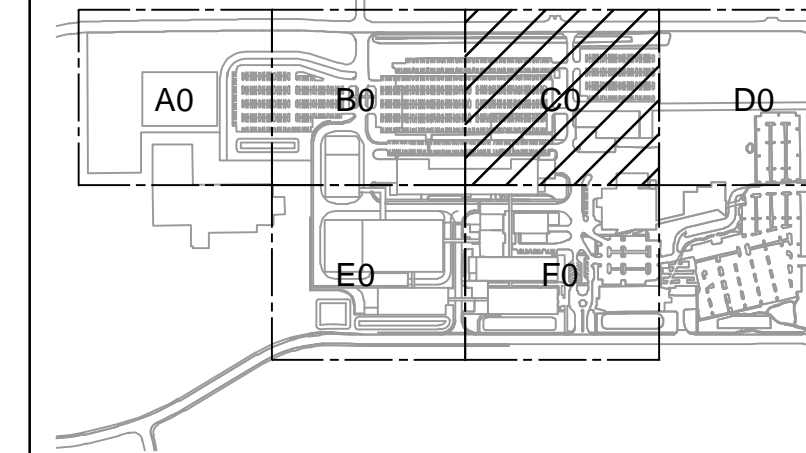
DATE ISSUED: DRAWING SCALE: 1=40
ACAD FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:
ZCO-11A0





KEY PLAN



GENERAL NOTES

- A SEE ZC0-1000 FOR COMPLETE GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

KEYED NOTES

- 1 CONSTRUCT SINGLE CURB.
- 2 CONSTRUCT CONCRETE SIDEWALK.
- 3 BULK GAS YARD EXPANSION
- 4 INSTALL WHEEL STOP/CONCRETE BUMPER.
- 5 CONSTRUCT CURB RAMP.
- 6 CONSTRUCT REINFORCEMENT CONCRETE PAVEMENT.
- 7 CONSTRUCT HEAVY DUTY AC PAVEMENT.
- 8 SAW-CUT LINE, MATCH EXISTING.
- 9 EXISTING CURB LINE TO BE REMOVED. INSTALL WHEEL STOPS/CONCRETE BUMPERS INSTEAD.
- 10 FUTURE GAS PLANT. CONSTRUCT COMPACTED GRAVEL AREA.
- 11 APPLY HIGH VISIBILITY PEDESTRIAN CROSSING.
- 12 CHEMICAL DOCK.
- 13 GAS DOCK.
- 14 APPLY THERMOPLASTIC ROADWAY MARKINGS AS SHOWN.
- 15 NO-PARKING ZONE.
- 16 RETAINING WALL BY STRUCTURAL.

JACOBS

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M.
Architecture • Interiors
Planning • Engineering

C
CORBIN
CONSULTING ENGINEERS

1905 NW 169TH PL, STE 121
BEAVERTON, OR 97006

Portland, OR
503.224.9560
Vancouver, WA
360.695.7879
Seattle, WA
206.749.9993

www.mackenzie.inc

MACKENZIE

JACOBS PROJECT NO.:
D3822800

CLIENT PROJECT NO.:

DRAWN:

REVIEWED:

DESIGNED:

APPROVED:

NOTICE:

STAMP:

NO.	REVISION OR ISSUE	DATE	BY

**ARCHITECTURAL
REVIEW**
9/16/2024
(NOT FOR CONSTRUCTION)



Lam Research Corporation
11155 SW LEVETON DR.
TUALATIN, OR. 97062

TITLE:

SITE-CIVIL
SITE IMPROVEMENTS
SECTOR C0
PLAN

DATE ISSUED:

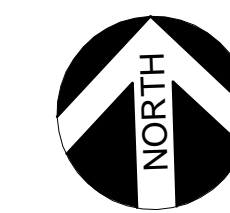
DRAWING SCALE: 1=40

ACAD FILE:

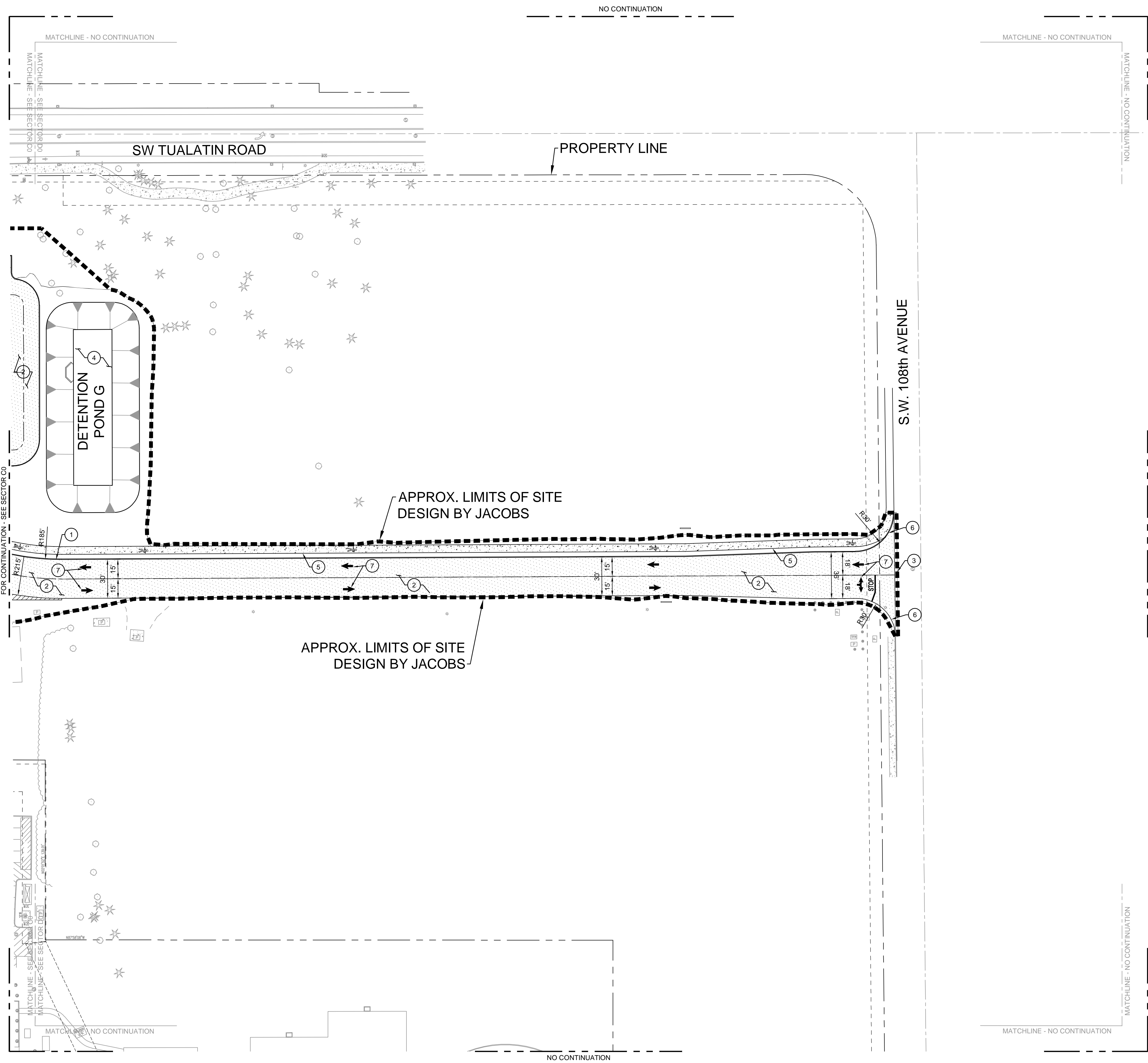
BUILDING DESIGNATOR:

DRAWING NUMBER:

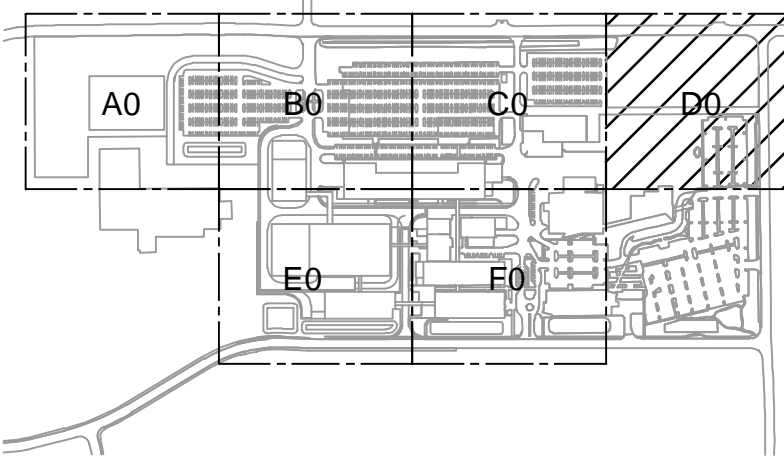
ZC0-11C0



BAR IS ONE INCH ON
ORIGINAL DRAWING
0 1"



KEY PLAN



GENERAL NOTES

- A SEE ZC0-1000 FOR COMPLETE GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

KEYED NOTES

- 1 CONSTRUCT SINGLE CURB.
- 2 CONSTRUCT HEAVY DUTY AC PAVEMENT.
- 3 SAW-CUT LINE, MATCH EXISTING.
- 4 CONSTRUCT STORMWATER POND.
- 5 CONSTRUCT CONCRETE SIDEWALK.
- 6 CONSTRUCT CURB RAMP.
- 7 APPLY THERMOPLASTIC ROADWAY MARKINGS AS SHOWN.

Jacobs
 Portland Office
 2020 S.W. 4th Avenue, 3rd Floor
 Portland, Oregon 97201

M. C.
 Architecture • Interiors
 Planning • Engineering

CORBIN
 CONSULTING ENGINEERS
 1905 NW 169TH PL, STE 121
 BEAVERTON, OR 97006

Portland, OR 503.224.9500
 Vancouver, WA 360.695.7879
 Seattle, WA 206.749.9993

www.mackenzieinc

MACKENZIE

JACOBS PROJECT NO.: D3822800 CLIENT PROJECT NO:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO.	REVISION OR ISSUE	DATE	BY

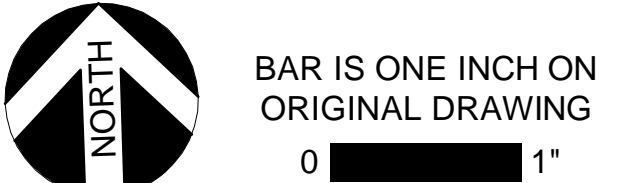
ARCHITECTURAL REVIEW
 9/16/2024
 (NOT FOR CONSTRUCTION)

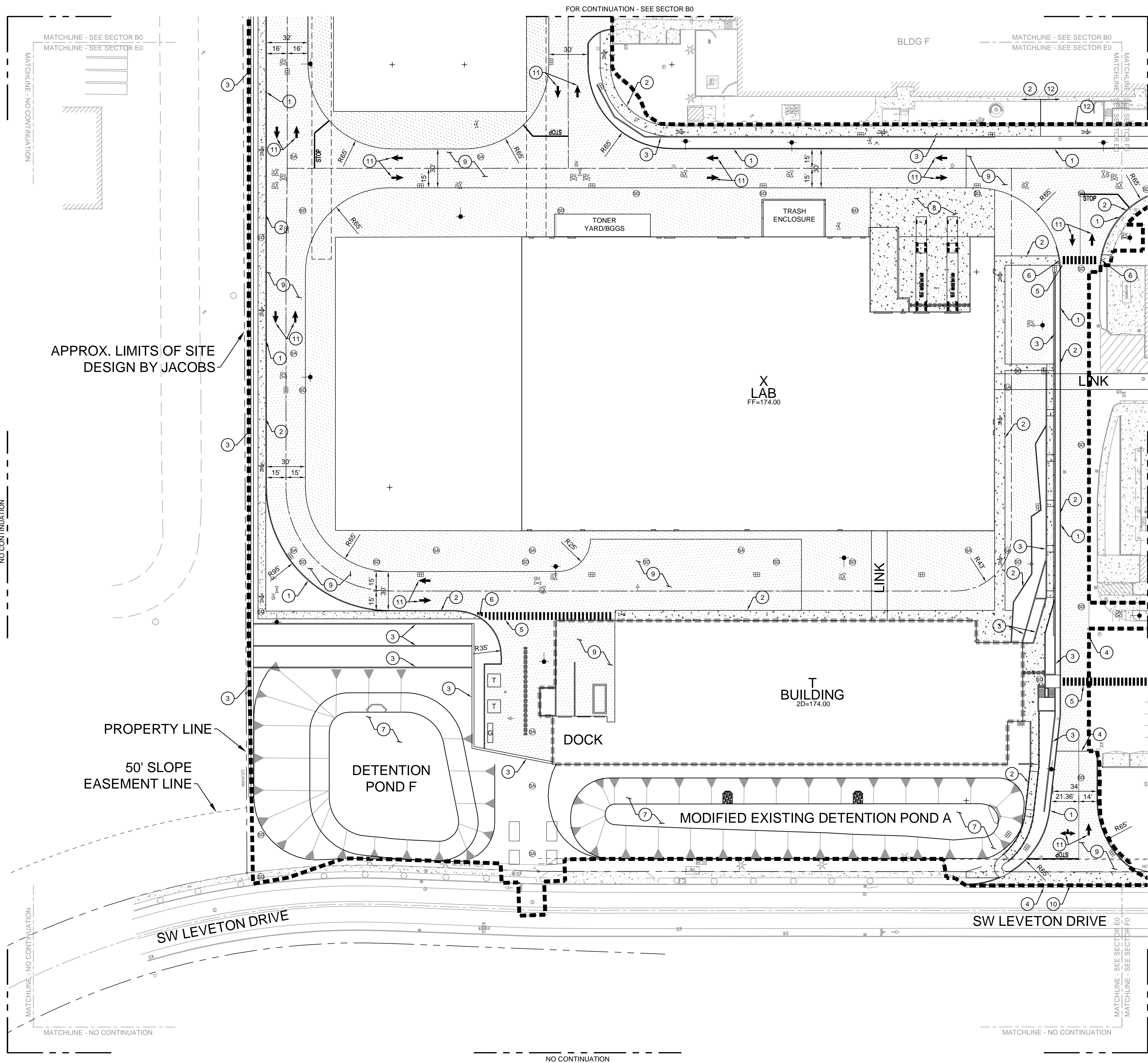
Lam RESEARCH
 Lam Research Corporation
 11155 SW LEVETON DR.
 TUALATIN, OR. 97062

TITLE:
 SITE - CIVIL
 SITE IMPROVEMENTS
 SECTOR D0
 PLAN

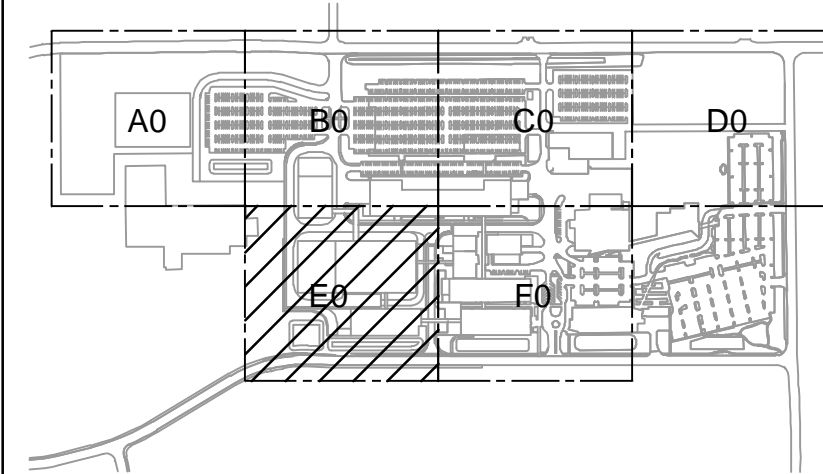
DATE ISSUED: DRAWING SCALE: 1=40
 ACAA FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:
ZC0-11D0





KEY PLAN



GENERAL NOTES

- A SEE ZCO-1000 FOR COMPLETE GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

KEYED NOTES

- 1 CONSTRUCT SINGLE CURB.
- 2 CONSTRUCT CONCRETE SIDEWALK.
- 3 RETAINING WALL BY STRUCTURAL.
- 4 SAW-CUT LINE. MATCH EXISTING.
- 5 APPLY HIGH VISIBILITY PEDESTRIAN CROSSING.
- 6 CONSTRUCT CURB RAMP.
- 7 CONSTRUCT STORMWATER POND.
- 8 CONSTRUCT DOCK AREA. CONSTRUCT REINFORCEMENT CONCRETE PAVEMENT.
- 9 CONSTRUCT HEAVY DUTY AC PAVEMENT.
- 10 NEW INDUSTRIAL DRIVEWAY.
- 11 APPLY THERMOPLASTIC ROADWAY MARKINGS AS SHOWN.
- 12 EXISTING CONCRETE SIDEWALK - TO REMAIN.

Jacobs

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M.

Architecture • Interiors
Planning • Engineering

C

CORBIN
CONSULTING ENGINEERS

1905 NW 169TH PL, STE 121
BEAVERTON, OR 97006

Portland, OR
503.224.9500
Vancouver, WA
360.695.7879
Seattle, WA
206.749.9993

www.mackenzie.inc

MACKENZIE

JACOBS PROJECT NO.:
D3822800

CLIENT PROJECT NO.:

DRAWN:

REVIEWED:

DESIGNED:

APPROVED:

NOTICE:

STAMP:

NO.	REVISION OR ISSUE	DATE	BY

ARCHITECTURAL REVIEW
9/16/2024
(NOT FOR CONSTRUCTION)

Lam RESEARCH

Lam Research Corporation
11155 SW LEVETON DR.
TUALATIN, OR. 97062

TITLE:

SITE-CIVIL
SITE IMPROVEMENTS
SECTOR E0
PLAN

DATE ISSUED:

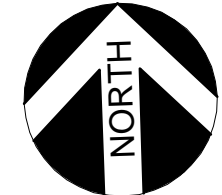
DRAWING SCALE: 1"=40'

ACAD FILE:

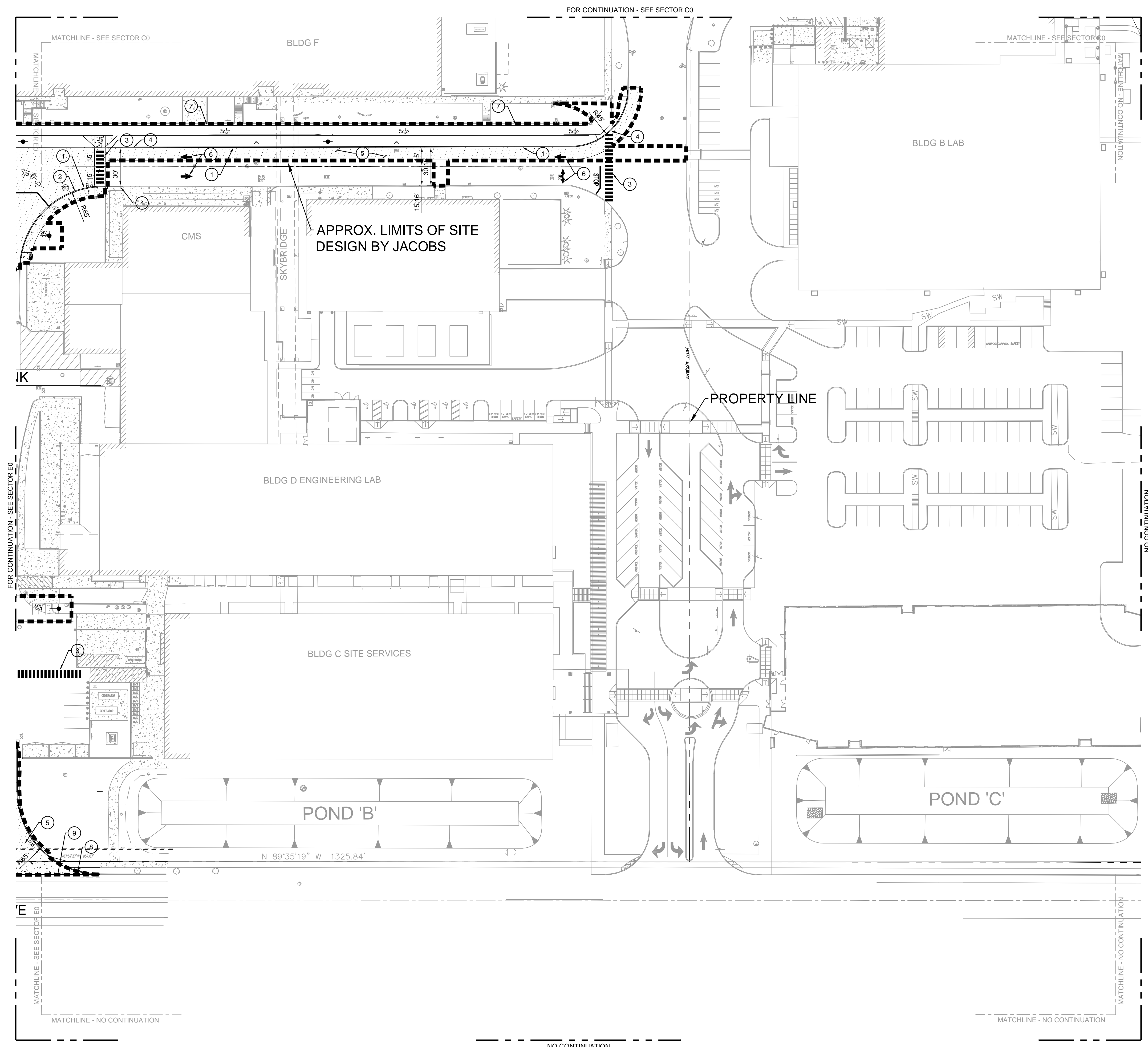
BUILDING DESIGNATOR:

DRAWING NUMBER:

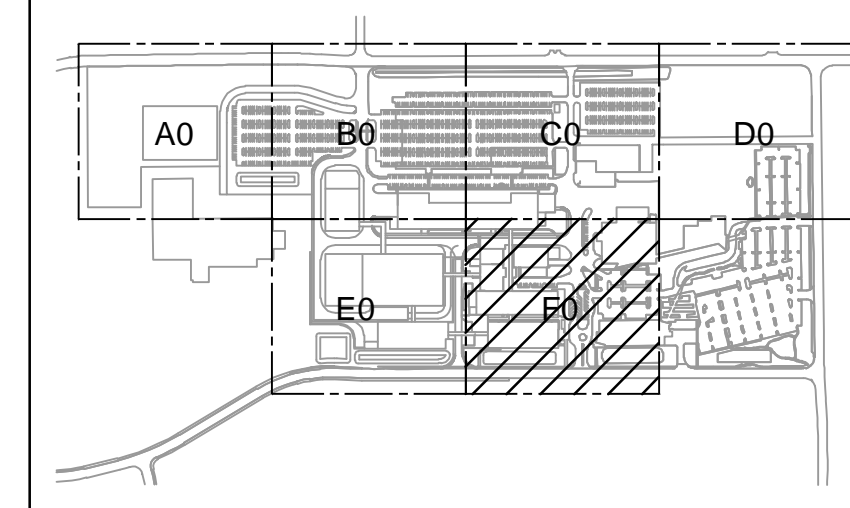
ZCO-11E0



BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"



KEY PLAN



GENERAL NOTES

- A SEE ZC0-1000 FOR COMPLETE GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

KEYED NOTES

- 1 CONSTRUCT SINGLE CURB.
- 2 CONSTRUCT CONCRETE SIDEWALK.
- 3 APPLY HIGH VISIBILITY PEDESTRIAN CROSSING.
- 4 CONSTRUCT CURB RAMP.
- 5 CONSTRUCT HEAVY DUTY AC PAVEMENT.
- 6 APPLY THERMOPLASTIC ROADWAY MARKINGS AS SHOWN.
- 7 EXISTING CONCRETE SIDEWALK - TO REMAIN.
- 8 SAW-CUT LINE, MATCH EXISTING.
- 9 CONSTRUCT INDUSTRIAL DRIVEWAY.

JACOBS

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M. C.
Architecture • Interiors
Planning • Engineering

CORBIN
CONSULTING ENGINEERS

1905 NW 169TH PL, STE 121
BEAVERTON, OR 97006

Portland, OR
503.224.9560
Vancouver, WA
360.695.7879
Seattle, WA
206.749.9993

www.mackenzie.inc

MACKENZIE

JACOBS PROJECT NO.:
D3822800

CLIENT PROJECT NO.:

DRAWN:

REVIEWED:

DESIGNED:

APPROVED:

NOTICE:

STAMP:

NO.	REVISION OR ISSUE	DATE	BY

ARCHITECTURAL REVIEW
9/16/2024
(NOT FOR CONSTRUCTION)

Lam RESEARCH

Lam Research Corporation
11155 SW LEVETON DR.
TUALATIN, OR. 97062

TITLE:

SITE-CIVIL
SITE IMPROVEMENTS
SECTOR F0
PLAN

DATE ISSUED:

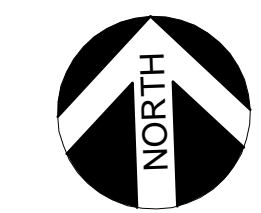
DRAWING SCALE: 1"=40'

ACAD FILE:

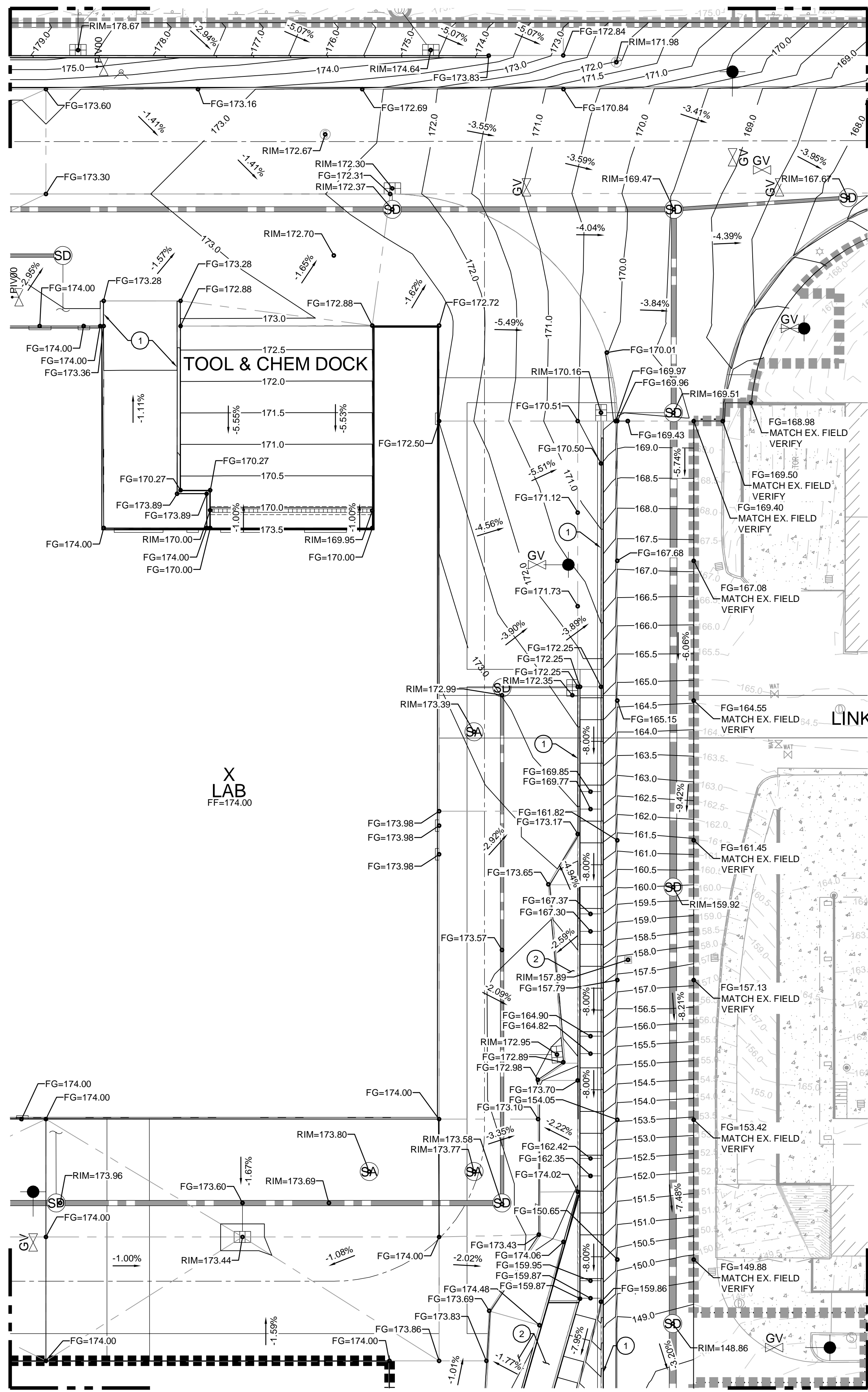
BUILDING DESIGNATOR:

DRAWING NUMBER:

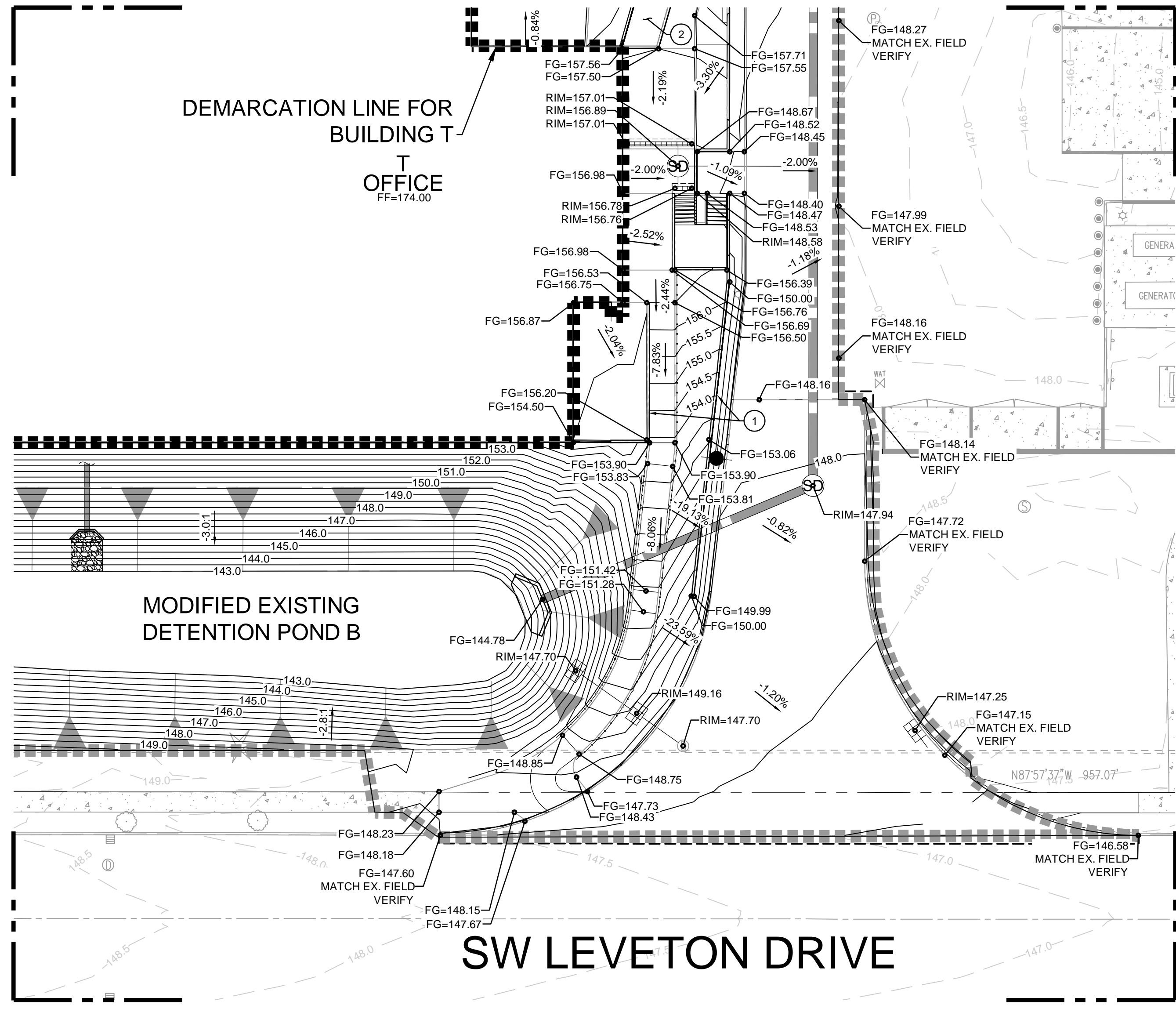
ZC0-11F0



BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"

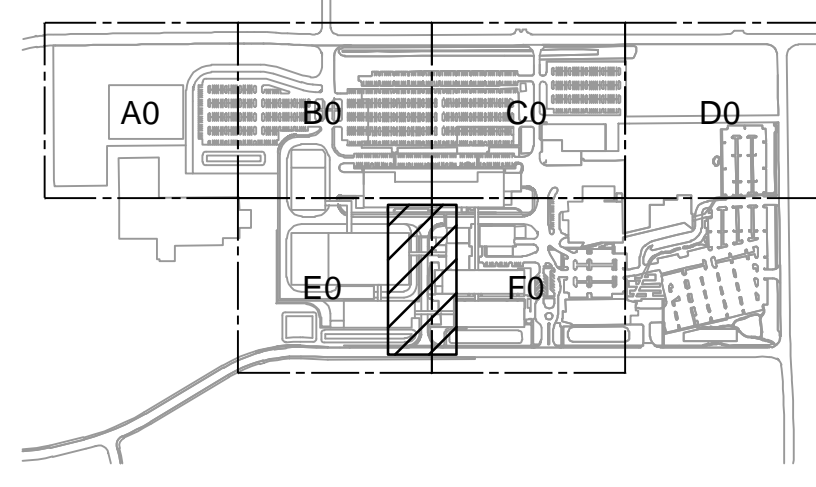


1 GRADING PARTIAL PLAN
1"=20'



2 GRADING PARTIAL PLAN
1"=20'

KEY PLAN



GENERAL NOTES

- A SEE ZCO-0800 FOR COMPLETE GENERAL NOTES.
- B FOR SITE DEVELOPMENT AND UTILITY CONTINUATION OUTSIDE OF PROPOSED LIMITS OF SITE DEVELOPMENT REFER MACKENZIE PACKAGE.

Jacobs

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M. CORBIN
CONSULTING ENGINEERS
1905 NW 169TH PL, STE 121
BEAVERTON, OR 97006

Portland, OR
503.224.9560
Vancouver, WA
360.695.7879
Seattle, WA
206.749.9993

www.mackenzie-inc

MACKENZIE

JACOBS PROJECT NO.: D3822800 CLIENT PROJECT NO.:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO.	REVISION OR ISSUE	DATE	BY
A	SP01 ISSUE FOR REVIEW	09/12/24	TC

ARCHITECTURAL REVIEW
9/16/2024
(NOT FOR CONSTRUCTION)



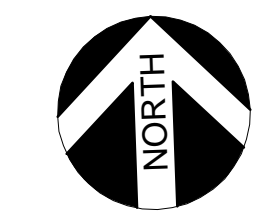
Lam Research Corporation
11155 SW LEVETON DR.
TUALATIN, OR. 97062

TITLE:
SITE - CIVIL GRADING PARTIAL PLAN

DATE ISSUED: DRAWING SCALE: 1"=20'
ACAD FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:

ZCO-7000



BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"

SHEET INDEX

SLA-0001 LANDSCAPE KEY PLAN AND GENERAL NOTES
 SLA-0100 PLANTING AND STORMWATER SCHEDULES
 SLA-16A2 PLANTING PLAN
 SLA-16A4 PLANTING PLAN
 SLA-16B1 PLANTING PLAN
 SLA-16B2 PLANTING PLAN
 SLA-16B3 PLANTING PLAN
 SLA-16B4 PLANTING PLAN
 SLA-16C1 PLANTING PLAN
 SLA-16C2 PLANTING PLAN
 SLA-16C3 PLANTING PLAN
 SLA-16C4 PLANTING PLAN
 SLA-16D1 PLANTING PLAN
 SLA-16D2 PLANTING PLAN
 SLA-16C3 PLANTING PLAN
 SLA-16D4 PLANTING PLAN
 SLA-16E1 PLANTING PLAN
 SLA-16E2 PLANTING PLAN
 SLA-16E3 PLANTING PLAN
 SLA-16E4 PLANTING PLAN
 SLA-16F1 PLANTING PLAN
 SLA-16F2 PLANTING PLAN
 SLA-16F3 PLANTING PLAN
 SLA-17A2 IRRIGATION PLAN

SLA-17A4 IRRIGATION PLAN
 SLA-17B1 IRRIGATION PLAN
 SLA-17B2 IRRIGATION PLAN
 SLA-17B3 IRRIGATION PLAN
 SLA-17B4 IRRIGATION PLAN
 SLA-17C1 IRRIGATION PLAN
 SLA-17C2 IRRIGATION PLAN
 SLA-17C3 IRRIGATION PLAN
 SLA-17C4 IRRIGATION PLAN
 SLA-17D1 IRRIGATION PLAN
 SLA-17D2 IRRIGATION PLAN
 SLA-17D3 IRRIGATION PLAN
 SLA-17D4 IRRIGATION PLAN
 SLA-17E1 IRRIGATION PLAN
 SLA-17E2 IRRIGATION PLAN
 SLA-17E3 IRRIGATION PLAN
 SLA-17E4 IRRIGATION PLAN
 SLA-17F1 IRRIGATION PLAN
 SLA-17F2 IRRIGATION PLAN
 SLA-17F3 IRRIGATION PLAN
 SLA-7600 DETAILS
 SLA-7601 DETAILS
 SLA-7602 DETAILS
 SLA-7603 DETAILS

TABLE OF ABBREVIATIONS

ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	MAX	MAXIMUM
B&B	BALL AND BURLAP	MIN	MINIMUM
CAL	CALIPER	MIX	MIXTURE
CONC	CONCRETE	NTS	NOT TO SCALE
DEG	DEGREE	OC	ON CENTER
DIA/Ø	DIAMETER	POC	POINT OF CONNECTION
DWGS	DRAWING	PVC	POLY VINYL CHLORIDE
ELL	ELBOW	SCH	SCHEDULE
EQ	EQUAL	SF	SQUARE FOOT
FT	FEET/FOOT	SPEC	SPECIFICATION
GAL	GALLON	TYP	TYPICAL
GALV	GALVANIZED	X	TIMES
H/HT	HEIGHT		

LANDSCAPE NOTES

GENERAL

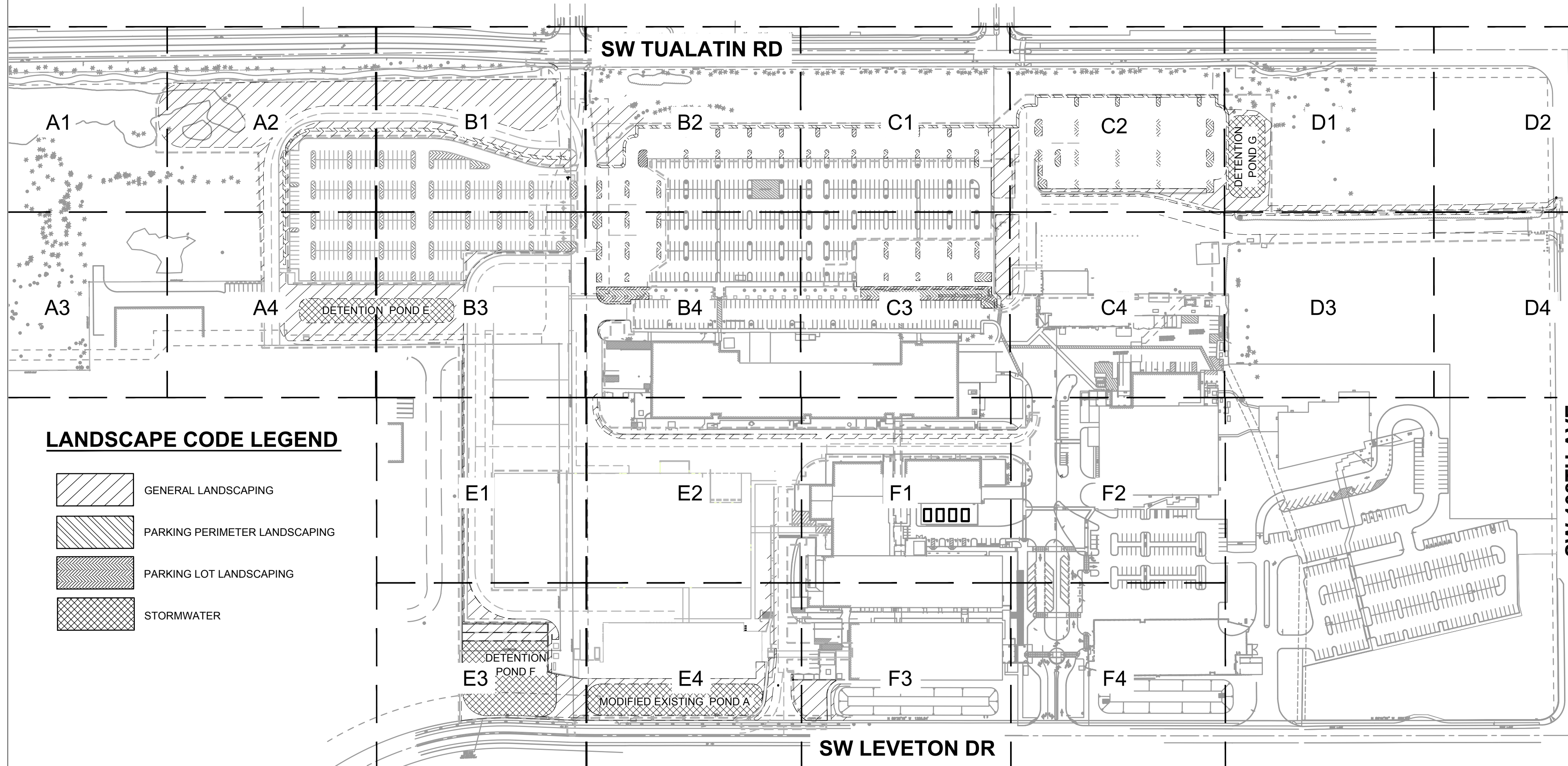
- CONTRACTOR SHALL CONFIRM ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- CALL BEFORE YOU DIG. CONTRACTOR SHALL VERIFY INVERT ELEVATIONS OF ALL UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT IF THERE ARE ANY DISCREPANCIES WITH PLANTING ROOT ZONES. TO REQUEST LOCATES FOR PROPOSED EXCAVATION CALL 1-800-332-2344 (OR 811) IN OREGON.
- NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS WITH EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- LOCATION OF EXISTING TREES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
- DAMAGE TO EXISTING CONCRETE CURB, ASPHALT PAVING, OR OTHER STRUCTURE SHALL BE REPAIRED OR REPLACED TO PRE CONSTRUCTION CONDITIONS.
- CONTRACTOR SHALL COORDINATE WITH THE OWNER ANY DISRUPTION TO VEHICULAR CIRCULATION PRIOR TO COMMENCEMENT OF ANY WORK.

PLANTING

- ALL EXISTING TREES, PLANTS, AND ROOTS SHALL BE PROTECTED FROM DAMAGE FROM ANY CONSTRUCTION PREPARATION, REMOVAL OR INSTALLATION ACTIVITIES WITHIN AND ADJACENT TO PROJECT LIMITS.
- SHRUBS ADJACENT TO PARKING AREAS SHALL BE PLANTED 2 FT MINIMUM AWAY FROM THE BACK OF CURB. SHRUBS AND GROUND COVER ALONG OTHER PAVEMENT EDGES SHALL BE PLANTED A MINIMUM OF ONE HALF THEIR ON CENTER SPACING AWAY FROM PAVEMENT EDGE.
- ALL PLANT MATERIAL SHALL BE HEALTHY NURSERY STOCK, WELL BRANCHED AND ROOTED, FULL FOLIAGE, FREE FROM INSECTS, DISEASES, WEEDS, WEED ROT, INJURIES AND DEFECTS WITH NO LESS THAN MINIMUMS SPECIFIED IN AMERICAN STANDARDS FOR NURSERY STOCK, ANSI Z60.1-2004.
- DO NOT PLANT TREES ABOVE WATERLINES, UTILITIES, OR OTHER UNDERGROUND PIPING.
- IF DISTURBANCE IS NECESSARY AROUND EXISTING TREES, CONTRACTOR SHALL PROTECT THE CROWN AND ALL WORK WITHIN THE TREE DRIPZONE SHALL BE LIMITED TO THE USE OF HAND TOOLS AND MANUAL EQUIPMENT ONLY.
- REPLACE, REPAIR AND RESTORE DISTURBED LANDSCAPE AREAS DUE TO GRADING, TRENCHING OR OTHER REASONS TO PRE-CONSTRUCTION CONDITION AND PROVIDE MATERIAL APPROVED BY THE OWNER AND OWNER'S REPRESENTATIVE.
- EXISTING AREAS PROPOSED FOR NEW PLANT MATERIAL SHALL BE CLEARED AND LEGALLY DISPOSED UNLESS SO NOTED.
- A SOILS ANALYSIS, BY AN INDEPENDENT SOILS TESTING LABORATORY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE, SHALL BE USED TO RECOMMEND AN APPROPRIATE PLANTING SOIL AND/OR SPECIFIED SOIL AMENDMENTS.
- TOPSOIL SHALL BE AMENDED AS RECOMMENDED BY AN INDEPENDENT SOILS TESTING LABORATORY AND AS OUTLINED IN THE SPECIFICATION.
- ALL LANDSCAPED AREAS SHALL BE COVERED BY A LAYER OF ORGANIC MULCH TO A MINIMUM DEPTH OF 2-INCHES.
- HOLD PLANT MATERIAL BACK FROM LANDSCAPE LIGHTING 24".
- GENERAL CONTRACTOR TO PROVIDE LANDSCAPE ARCHITECT WITH SUBCONTRACTOR'S PLANT ORDER FORM WITHIN 60 DAYS OF IFC SET. PROCURING TREES EARLY WILL BE NECESSARY TO OBTAIN MATCHING SPECIES IN THE QUANTITIES AND SIZES SHOWN AND REQUIRED.

IRRIGATION

- UNLESS OTHERWISE INDICATED, ALL NEW LANDSCAPE AREAS TO BE IRRIGATED WITH A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS (IRRIGATION PLANS) TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. DRAWINGS TO INDICATE HEAD TYPE, GALLONS PER MINUTE, LATERAL LINES, AND BE AT MINIMUM SCALE OF 1"=20'
- CONTRACTOR TO DETERMINE STATIC WATER PRESSURE AT THE P.O.C. PRIOR TO PREPARING SHOP DRAWINGS.
- CONTRACTOR SHALL ESTABLISH MINIMUM PRESSURE AND MAXIMUM DEMAND REQUIREMENTS FOR IRRIGATION SYSTEM DESIGN, AND PROVIDE INFORMATION IN AN IRRIGATION SCHEDULE.
- IRRIGATION SYSTEM AS DESIGNED AND INSTALLED SHALL PERFORM WITHIN THE TOLERANCES AND SPECIFICATIONS OF THE SPECIFIED MANUFACTURERS.
- SYSTEM SHALL BE DESIGNED TO SUPPLY MANUFACTURER'S SPECIFIED MINIMUM OPERATING PRESSURE TO FARTHEST EMITTER FROM WATER METER.
- SYSTEM SHALL PROVIDE HEAD TO HEAD COVERAGE WITHOUT OVERSPRAY ONTO BUILDING, FENCES, SIDEWALKS, PARKING AREAS, OR OTHER NON-VEGETATED SURFACES.
- ALL IRRIGATION PIPE MATERIAL AND INSTALLATION SHALL CONFORM TO APPLICABLE CODE FOR PIPING AND COMPONENT REQUIREMENTS.
- PROVIDE SLEEVING AT ALL AREAS WHERE PIPE TRAVELS UNDER CONCRETE OR HARD SURFACING.
- VALVES SHALL BE WIRED AND INSTALLED PER MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES AND CONNECTED TO THE IRRIGATION CONTROLLER.
- REFER TO CIVIL DETAILS AND DETAILS ON L5.14 FOR POINT OF CONNECTION AND BACKFLOW PREVENTION INFORMATION.
- MAINLINE LAYOUT IS DIAGRAMMATIC ONLY.
- GENERAL CONTRACTOR TO COORDINATE CONTROLLER LOCATION WITH OWNER'S REPRESENTATIVE.
- ZONE THE FOLLOWING AREAS SEPARATELY: TEMPORARY AREAS, PERMANENT LANDSCAPE AREAS, STORMWATER AREAS, AND TREES.
- QUICK COUPLERS TO BE PLACED EVERY 300 LINEAR FEET MAX.
- IRRIGATION SHALL BE WINTERIZED THROUGH LOW PRESSURE, HIGH VOLUME AIR BLOWOUT CONNECTION THROUGH QUICK COUPLER.
- THE SYSTEM SHALL BE GRAVITY DRAINED. THE CONTRACTOR SHALL PROVIDE APPROPRIATE MANUAL DRAINS AT LOW POINTS.



LANDSCAPE CODE LEGEND

	GENERAL LANDSCAPING
	PARKING PERIMETER LANDSCAPING
	PARKING LOT LANDSCAPING
	STORMWATER

Jacobs.
 Portland Office
 2020 S.W. 4th Avenue, 3rd Floor
 Portland, Oregon 97201

M.
 Architecture - Interiors
 Planning - Engineering

CORBIN
 CONSULTING ENGINEERS

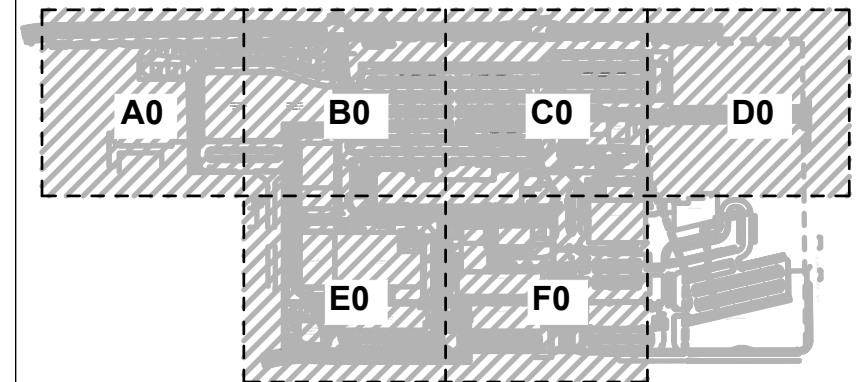
Portland, OR
 503.224.9560
 Vancouver, WA
 360.695.7679
 Seattle, WA
 206.749.9993

www.mackenzie.inc

MACKENZIE.

JACOBS PROJECT No.: D3822800 CLIENT PROJECT No.:
 DRAWN: REVIEWED:
 DESIGNED: APPROVED:
 NOTICE: STAMP:

NO	REVISION OR ISSUE	DATE	BY
----	-------------------	------	----

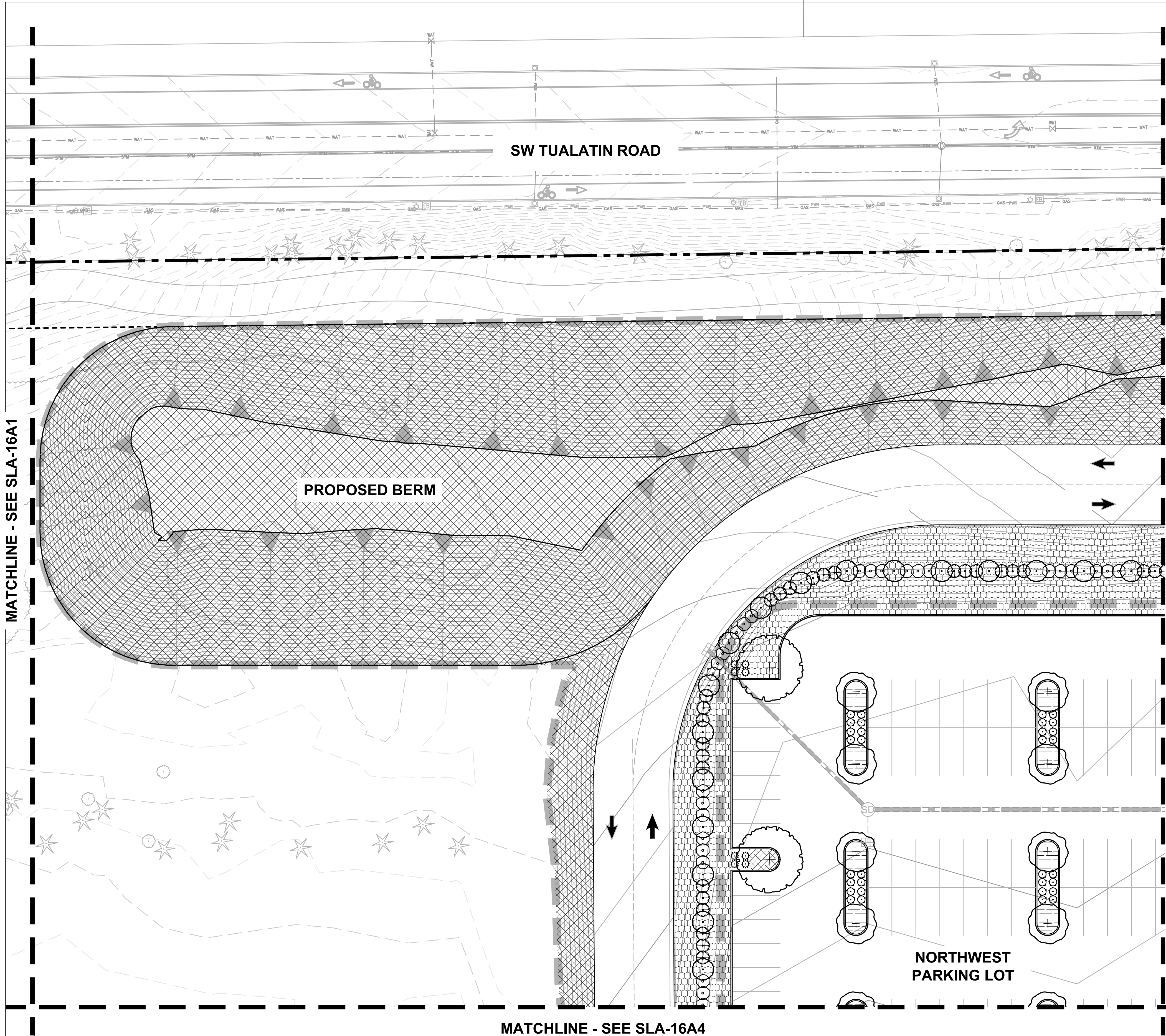


SITE

Lam RESEARCH
 Lam Research
 C 4400 CUSHING PARKWAY
 FREMONT, CA 94538

TITLE: **LANDSCAPE GENERAL INFORMATION**

DATE ISSUED: DRAWING SCALE: 1" = 150'
 REVIT FILE: BUILDING DESIGNATOR:
 DRAWING NUMBER: **SLA-0001**

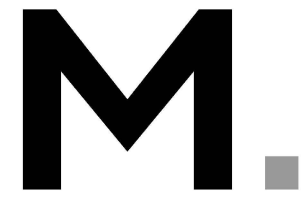


PLANT KEY LEGEND

SYMBOL	BOTANICAL / COMMON NAME
TREES	
⊕	<i>OSTRYA VIRGINIANA</i> AMERICAN HOPHORNBEAM
⊙	<i>PRUNUS SARGENTII</i> 'JFS KW21PS' PINK MYST® SARGENT CHERRY
⊕	<i>ZELKOVA SERRATA</i> 'GREEN VASE' GREEN VASE JAPANESE ZELKOVA
SHRUBS	
⊙	<i>ARCTOSTAPHYLOS X MEDIA</i> HYBRID MANZANITA
⊙	<i>CEANOTHUS THYRSIFLORUS</i> BLUE BLOSSOM
⊙	<i>PINUS MUGO</i> VAR. <i>PUMILIO</i> DWARF MUGO PINE
⊙	<i>SPIRAEA BETULIFOLIA</i> VAR. <i>LUCIDA</i> SHINYLEAF SPIREA
GROUND COVERS	
[Cross-hatched]	<i>ARCTOSTAPHYLOS UVA-URSI</i> KINNIKINNICK
[Horizontal lines]	<i>MAHONIA REPENS</i> CREEPING OREGON GRAPE
[Vertical lines]	NATIVE INTERPLANTING MIX GROUND COVER
SEED MIX	
[Diagonal lines]	URBAN MEADOW MIX HERITAGE SEEDLING, INC

Jacobs.

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201



Architecture - Interiors
Planning - Engineering



Portland, OR
503.224.9560
Vancouver, WA
360.695.7679
Seattle, WA
206.749.9993

www.mackenzie.inc

MACKENZIE.

JACOBS PROJECT No.:
D3822800

CLIENT PROJECT No.:

DRAWN:

REVIEWED:

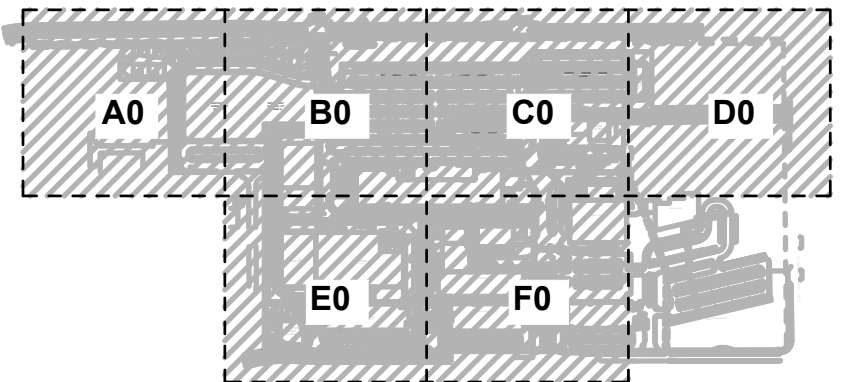
DESIGNED:

APPROVED:

NOTICE:

STAMP:

NO	REVISION OR ISSUE	DATE	BY



SITE



Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE:

PLANTING PLAN

DATE ISSUED:

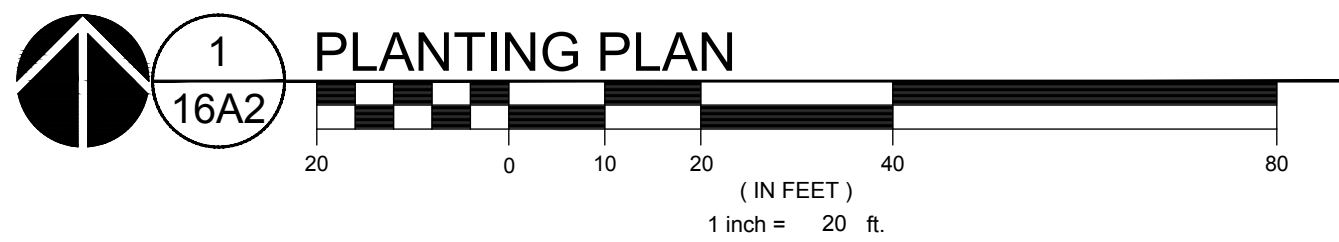
DRAWING SCALE: 1" = 20'

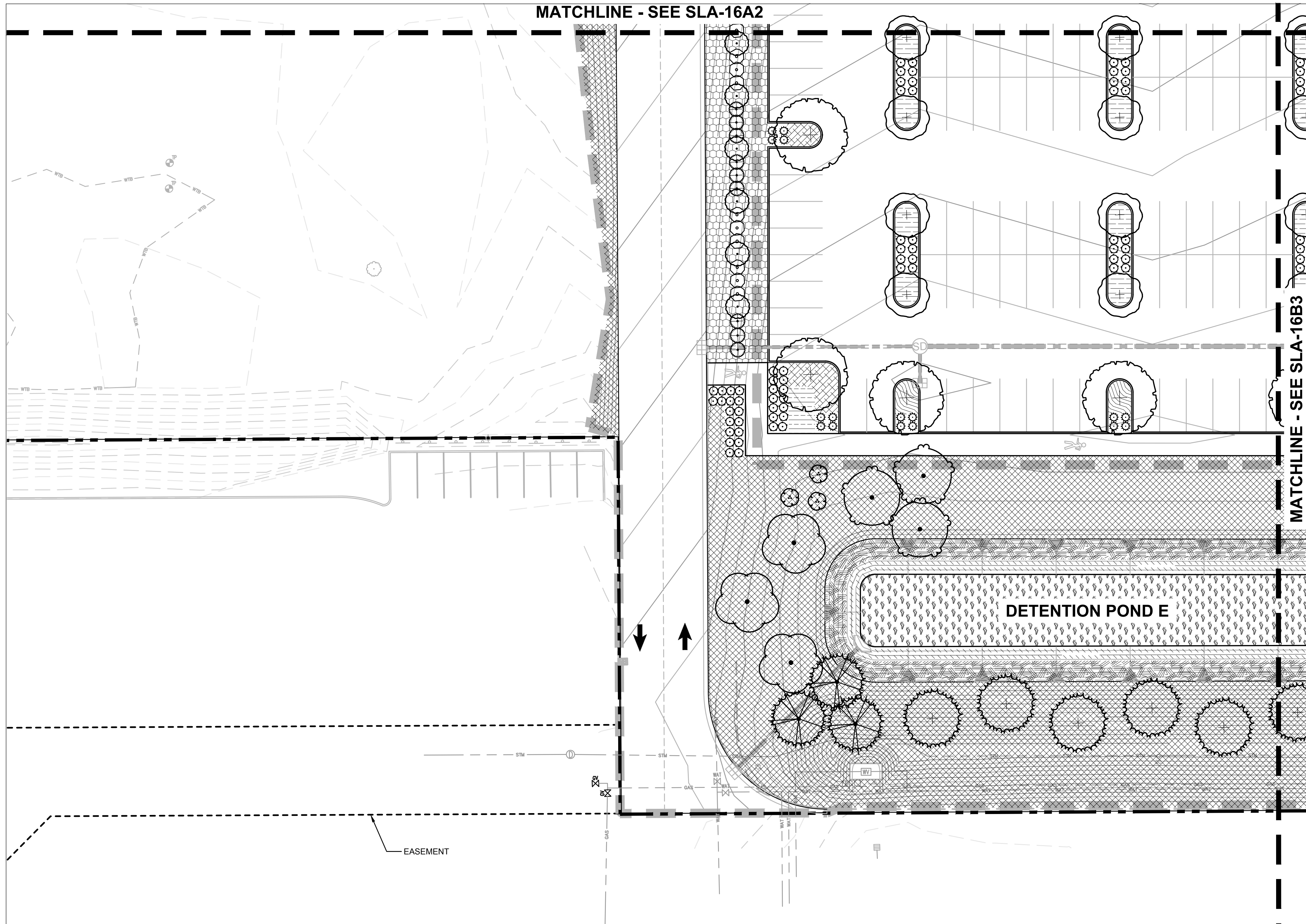
REVIT FILE:

BUILDING DESIGNATOR:

DRAWING NUMBER:

SLA-16A2





PLANT KEY LEGEND

SYMBOL BOTANICAL / COMMON NAME

TREES

- ACER RUBRUM 'BOWHALL' BOWHALL RED MAPLE
- ALNUS RHOMBIFOLIA WHITE ALDER
- AMELANCHIER ALNIFOLIA REGENT SERVICEBERRY
- OSTRYA VIRGINIANA AMERICAN HOPHORNBEAM
- PRUNUS SARGENTII 'JFS KW21PS' PINK MYST® SARGENT CHERRY
- PSEUDOTSUGA MENZIESII DOUGLAS FIR
- THUJA PLICATA 'HOGAN' HOGAN WESTERN RED CEDAR
- ZELKOVA SERRATA 'GREEN VASE' GREEN VASE JAPANESE ZELKOVA

SHRUBS

- ARCTOSTAPHYLOS X MEDIA HYBRID MANZANITA
- CEANOTHUS THYRSIFLORUS BLUE BLOSSOM
- PINUS MUGO VAR. PUMILIO DWARF MUGO PINE
- SPIRAEA BETULIFOLIA VAR. LUCIDA SHINYLEAF SPIREA

GROUND COVERS

- ARCTOSTAPHYLOS UVA-URSI KINNIKINNICK
- MAHONIA REPENS CREEPING OREGON GRAPE
- RUBUS CALYCINOIDES GREEN CARPET RASPBERRY

SEED MIX

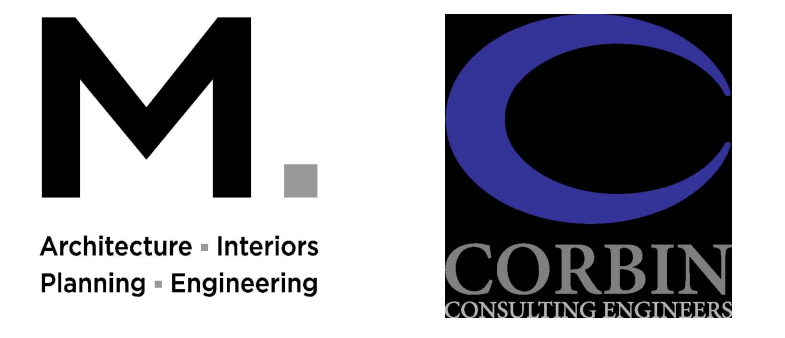
- NATIVE UPLANDS MIX
- SUNMARK SEEDS
- URBAN MEADOW MIX
- HERITAGE SEEDLING, INC

STORMWATER

- STORMWATER ZONE A (BOTTOM) HERBACEOUS PLANTS
- SWALE - ZONE B (FREEBOARD) FREEBOARD AREA



Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

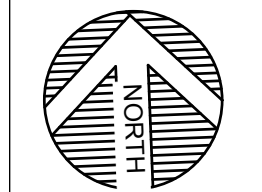
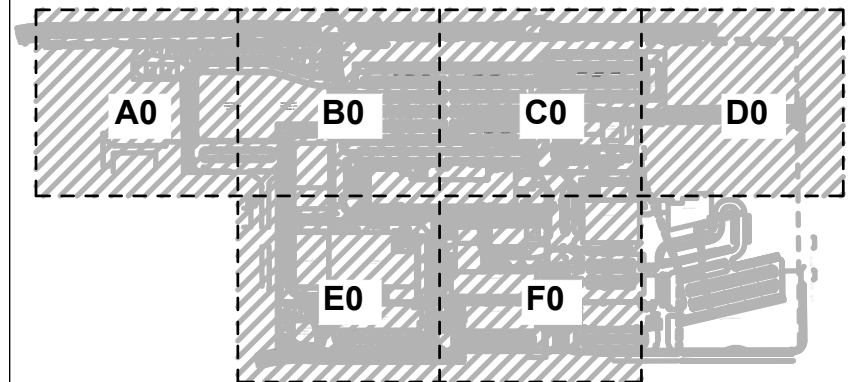


Portland, OR
503.224.9560
Vancouver, WA
360.695.7679
Seattle, WA
206.749.9993

www.mackenzie.inc
MACKENZIE.

JACOBS PROJECT No.: D3822800	CLIENT PROJECT No.:
DRAWN:	REVIEWED:
DESIGNED:	APPROVED:
NOTICE:	STAMP:

NO	REVISION OR ISSUE	DATE	BY



SITE

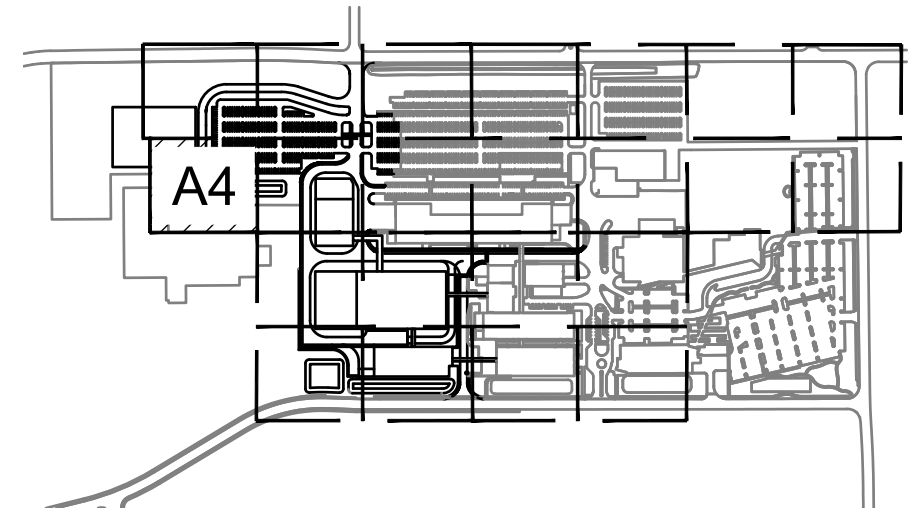
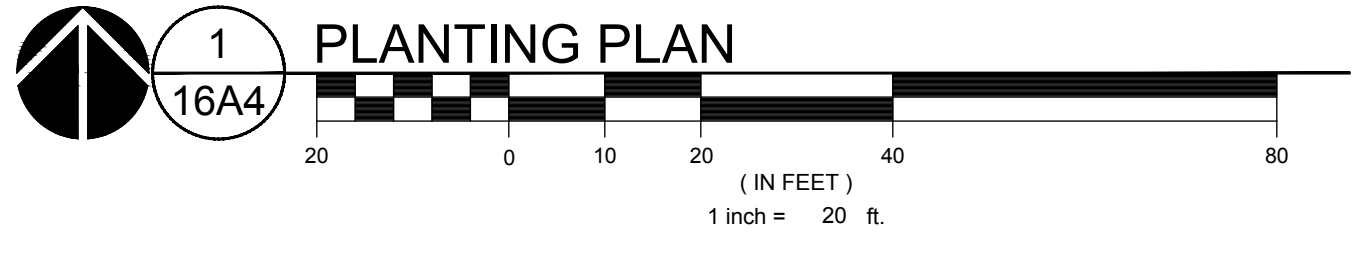


Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

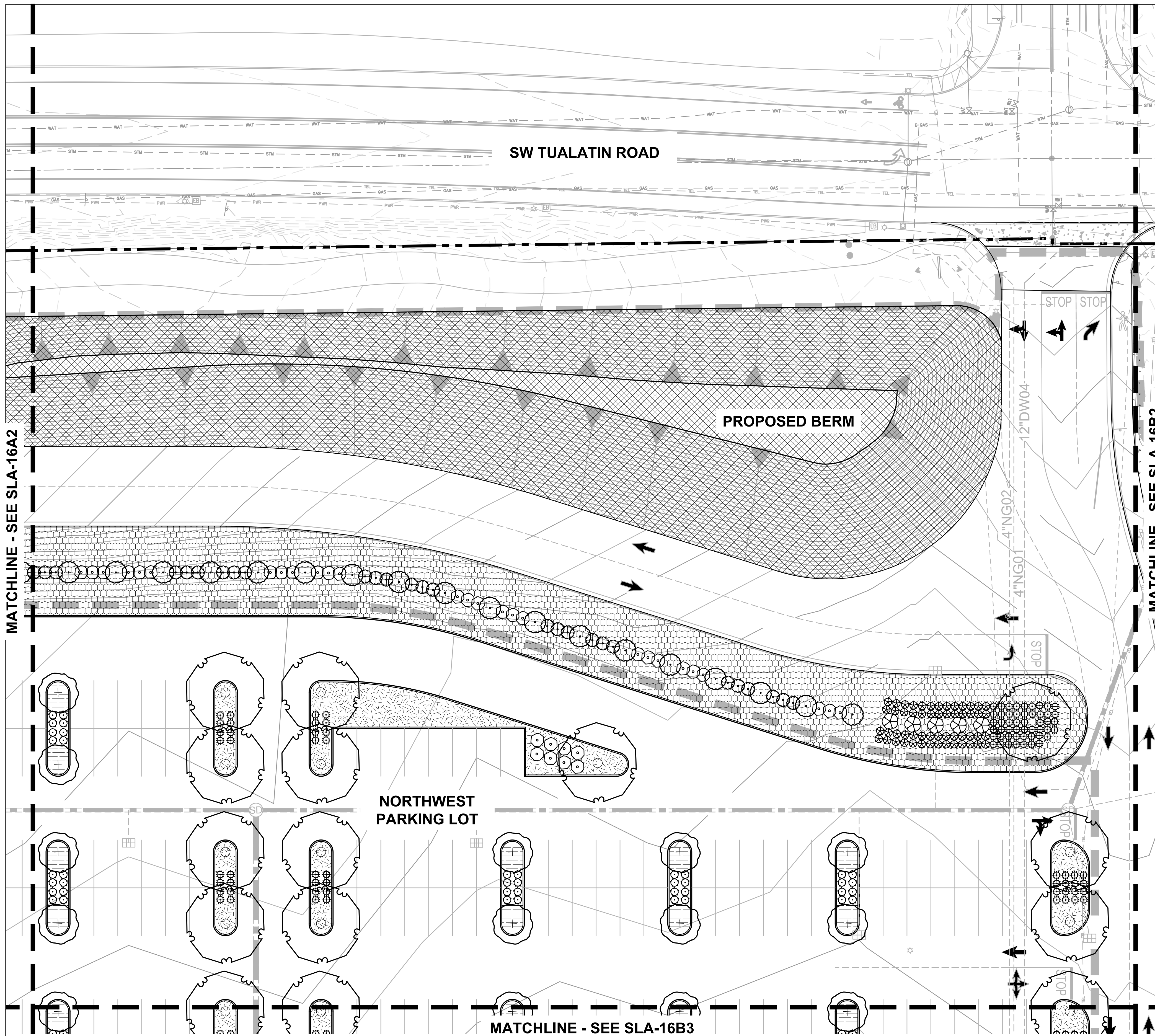
PLANTING PLAN

DATE ISSUED: DRAWING SCALE: 1" = 20'
REVIT FILE: BUILDING DESIGNATOR:
DRAWING NUMBER:

SLA-16A4



KEY MAP
SCALE: NTS



PLANT KEY LEGEND

SYMBOL BOTANICAL / COMMON NAME

TREES

- CERCIDIPHYLLUM JAPONICUM*
KATSURA TREE
- OSTRYA VIRGINIANA*
AMERICAN HOPHORNBEAM
- PRUNUS SARGENTII* 'JFS KW21PS'
PINK MYST® SARGENT CHERRY

SHRUBS

- ACER CIRCINATUM* 'PACIFIC FIRE'
PACIFIC FIRE VINE MAPLE
- ARCTOSTAPHYLOS X MEDIA*
HYBRID MANZANITA
- BERBERIS THUNBERGII* 'CRIMSON PYGMY'
CRIMSON PYGMY JAPANESE BARBERRY
- CEANOTHUS THYRSIFLORUS*
BLUE BLOSSOM
- SPIRAEA BETULIFOLIA* VAR. *LUCIDA*
SHINYLEAF SPIREA

GROUND COVERS

- MAHONIA REPENS*
CREEPING OREGON GRAPE
- NATIVE INTERPLANTING MIX*
GROUNDCOVER

GRASSES

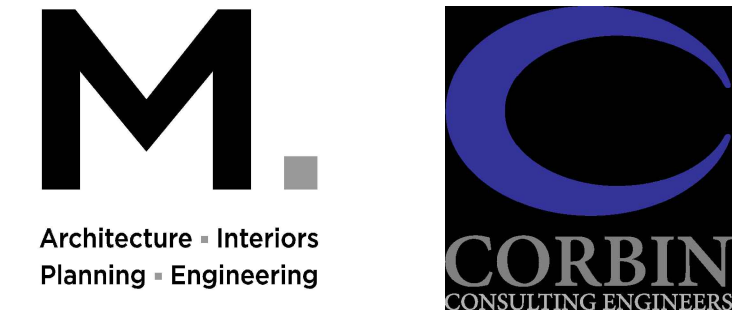
- BOUTELOUA GRACILIS* 'BLONDE AMBITION'
BLONDE AMBITION BLUE GRAMA

SEED MIX

- URBAN MEADOW MIX
- HERITAGE SEEDLING, INC

Jacobs.

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201



Portland, OR
503.224.9560
Vancouver, WA
360.695.7679
Seattle, WA
206.749.9993

www.mackenzie.inc

MACKENZIE.

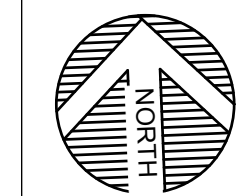
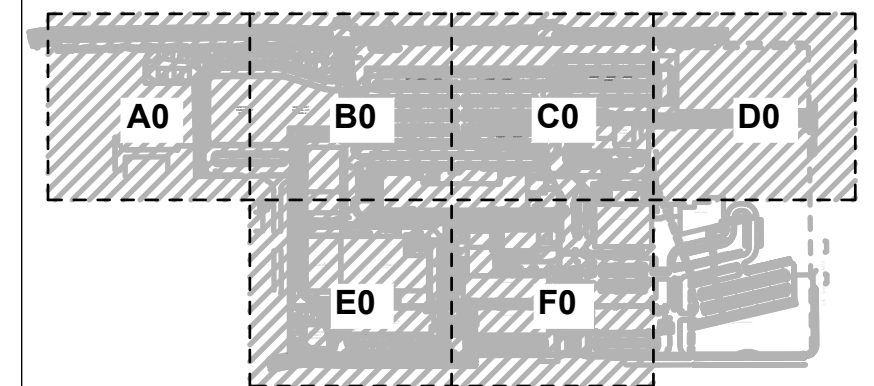
JACOBS PROJECT No.: CLIENT PROJECT No.:
D3822800

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO	REVISION OR ISSUE	DATE	BY



SITE



Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE:
PLANTING PLAN

DATE ISSUED: DRAWING SCALE: 1" = 20'

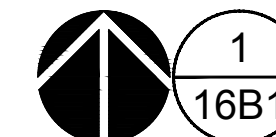
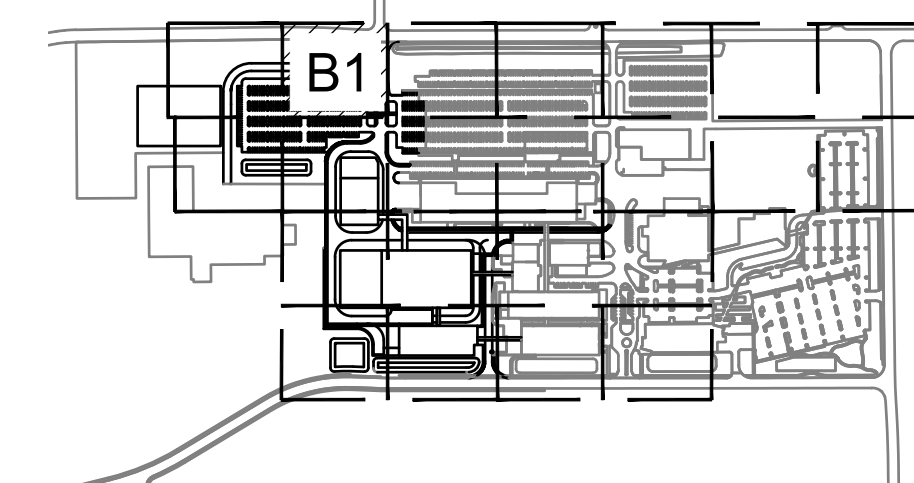
REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:

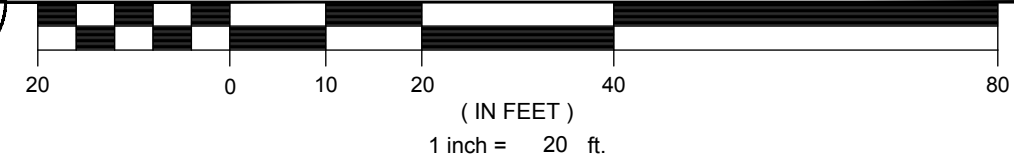
SLA-16B1

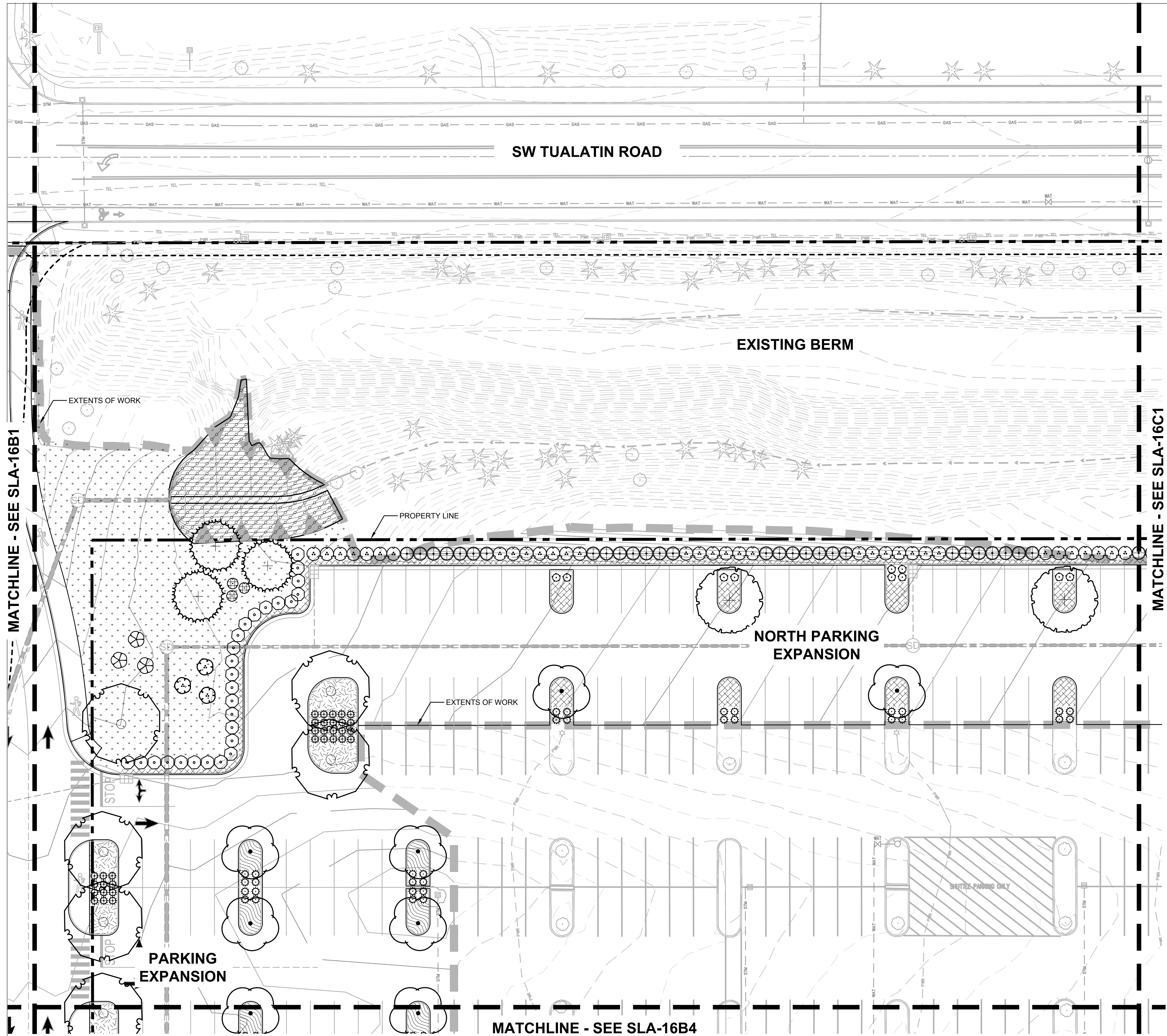


KEY MAP
SCALE: NTS



1 PLANTING PLAN
16B1





PLANT KEY LEGEND

SYMBOL BOTANICAL / COMMON NAME

- TREES**
- ACER RUBRUM 'BOWHALL' BOWHALL RED MAPLE
 - AMELANCHIER ALNIFOLIA REGENT SERVICEBERRY
 - CERCIDIPHYLLUM JAPONICUM KATSURA TREE
 - PSEUDOTSUGA MENZIESII DOUGLAS FIR
 - ZELKOVA SERRATA 'GREEN VASE' GREEN VASE JAPANESE ZELKOVA

- SHRUBS**
- ACER CIRCINATUM 'PACIFIC FIRE' PACIFIC FIRE VINE MAPLE
 - ARCTOSTAPHYLOS X MEDIA HYBRID MANZANITA
 - BERBERIS THUNBERGII 'CRIMSON PYGMY' CRIMSON PYGMY JAPANESE BARBERRY
 - CEANOTHUS THYRSIFLORUS BLUE BLOSSOM
 - MAHONIA AQUIFOLIUM 'COMPACTA' COMPACT OREGON GRAPE
 - PINUS MUGO VAR. PUMILIO DWARF MUGO PINE
 - SPIRAEA BETULIFOLIA VAR. LUCIDA SHINYLEAF SPIREA
 - VACCINIUM OVATUM EVERGREEN HUCKLEBERRY

- GROUND COVERS**
- ARCTOSTAPHYLOS UVA-URSI KINNIKINICK
 - RUBUS CALYCNOIDES GREEN CARPET RASPBERRY

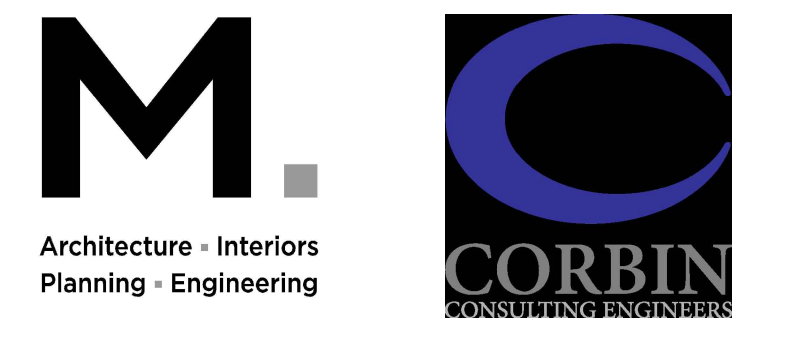
- GRASSES**
- BOUTELOUA GRACILIS 'BLONDE AMBITION' BLONDE AMBITION BLUE GRAMA

- SEED MIX**
- PT 310 PROTOME LUSH LAWN MIX

- STORMWATER**
- PT 870 CWS LOW GROW SWALE MIX

Jacobs.

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201



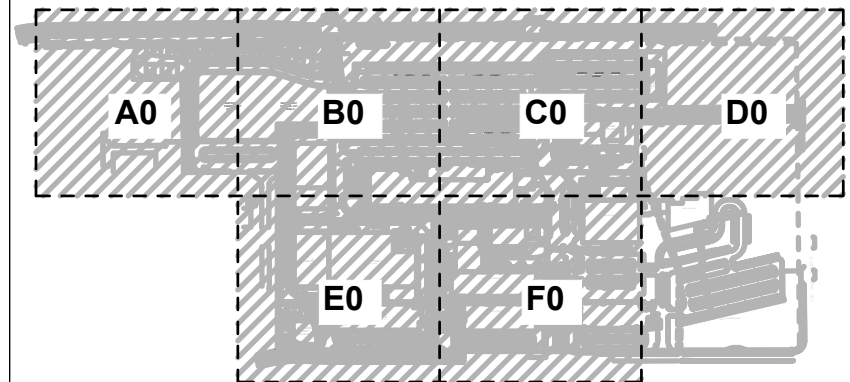
Portland, OR
503.224.9560
Vancouver, WA
360.695.7679
Seattle, WA
206.749.9993

www.mackenzie.inc

MACKENZIE.

JACOBS PROJECT No.: D3822800	CLIENT PROJECT No.:
DRAWN:	REVIEWED:
DESIGNED:	APPROVED:
NOTICE:	STAMP:

NO	REVISION OR ISSUE	DATE	BY



SITE

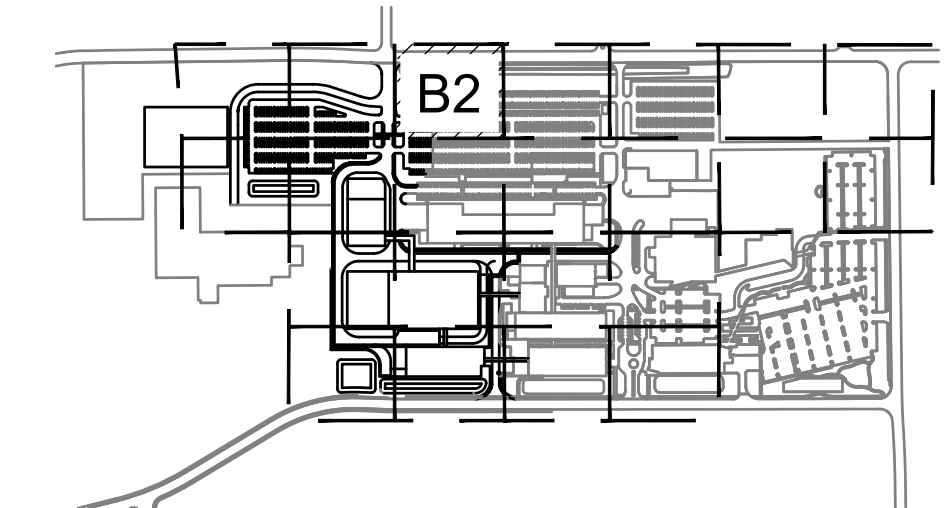


Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

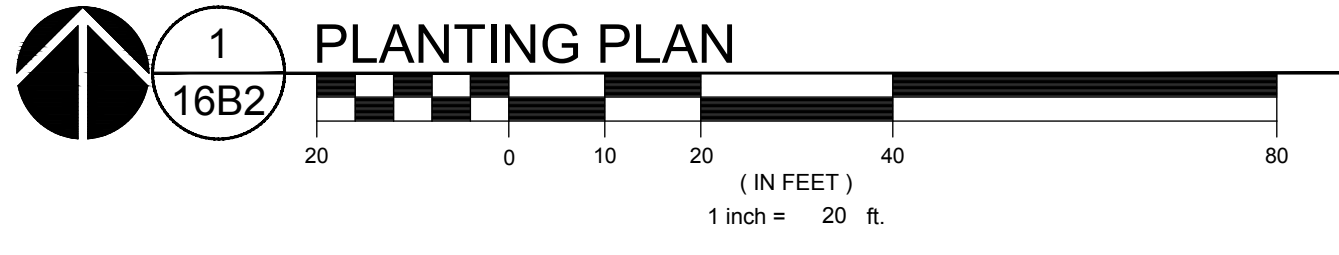
TITLE:
PLANTING PLAN

DATE ISSUED: DRAWING SCALE: 1" = 20'
REVIT FILE: BUILDING DESIGNATOR:

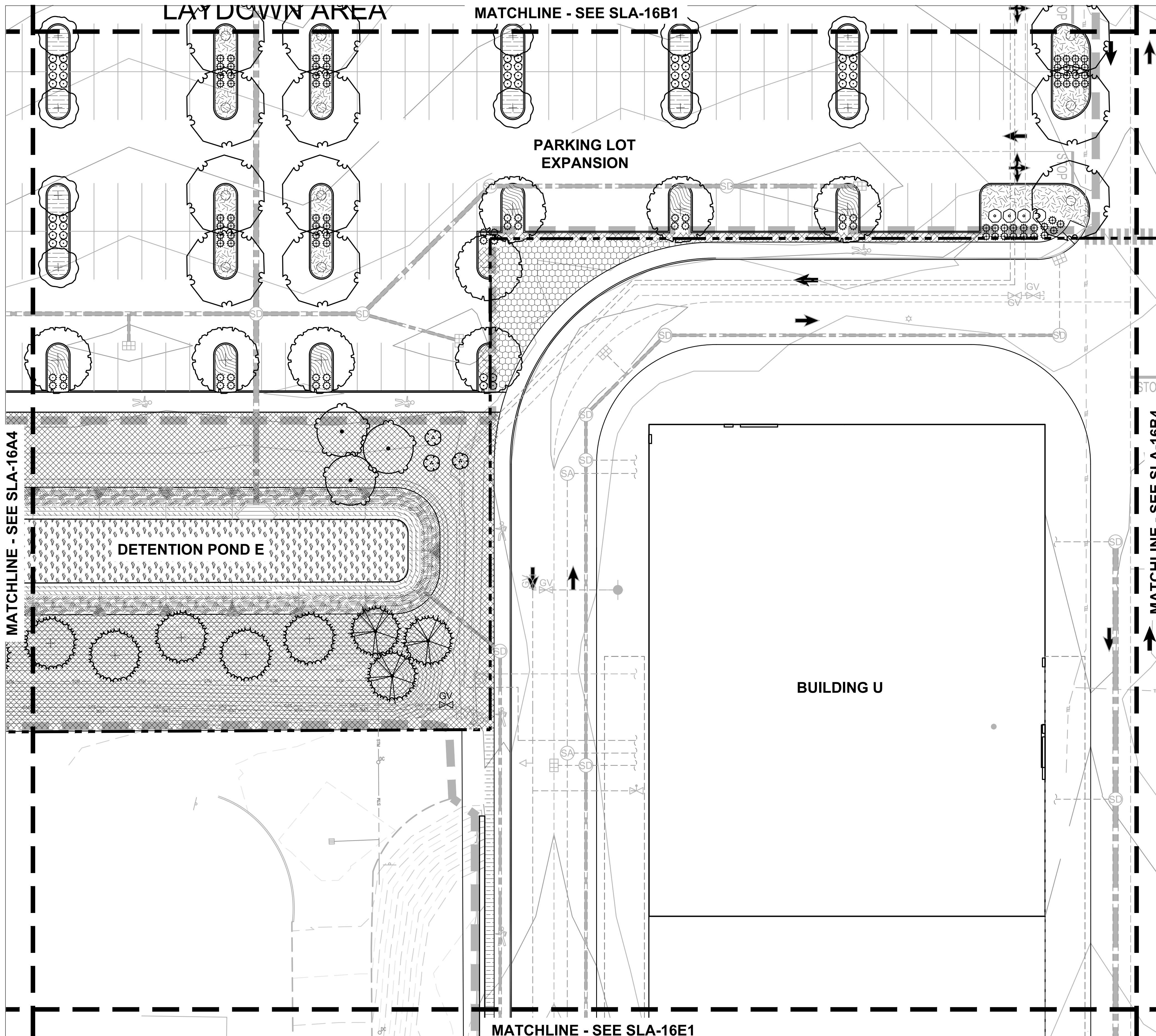
DRAWING NUMBER: **SLA-16B2**



KEY MAP
SCALE: NTS



1
16B2
PLANTING PLAN



PLANT KEY LEGEND

SYMBOL BOTANICAL / COMMON NAME

TREES

- ALNUS RHOMBIFOLIA
WHITE ALDER
- AMELANCHIER ALNIFOLIA
REGENT SERVICEBERRY
- CERCIDIPHYLLUM JAPONICUM
KATSURA TREE
- OSTRYA VIRGINIANA
AMERICAN HOPHORNBEAM
- PSEUDOTSUGA MENZIESII
DOUGLAS FIR
- THUJA PLICATA 'HOGAN'
HOGAN WESTERN RED CEDAR
- ZELKOVA SERRATA 'GREEN VASE'
GREEN VASE JAPANESE ZELKOVA

SHRUBS

- ARCTOSTAPHYLOS X MEDIA
HYBRID MANZANITA
- BERBERIS THUNBERGII 'CRIMSON
PYGMY'
- CRIMSON PYGMY JAPANESE BARBERRY
- PINUS MUGO VAR. PUMILIO
DWARF MUGO PINE
- SPIRAEA BETULIFOLIA VAR. LUCIDA
SHINYLEAF SPIREA

GROUND COVERS

- ARCTOSTAPHYLOS UVA-URSI
- KINNIKINNICK
- MAHONIA REPENS
- CREEPING OREGON GRAPE
- NATIVE INTERPLANTING MIX
- GROUNDCOVER
- RUBUS CALYCINOIDES
- GREEN CARPET RASPBERRY

GRASSES

- BOUTELOUA GRACILIS 'BLONDE
AMBITION'
- BLONDE AMBITION BLUE GRAMA

STORMWATER

- STORMWATER ZONE B (SIDE SLOPES)
- SHRUBS AND GROUNDCOVER
- SWALE - ZONE B (FREEBOARD)
- FREEBOARD AREA

Jacobs.

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M.

Architecture - Interiors
Planning - Engineering

CORBIN
CONSULTING ENGINEERS

Portland, OR
503.224.9560
Vancouver, WA
360.695.7679
Seattle, WA
206.749.9993

www.mackenzieinc.com

MACKENZIE.

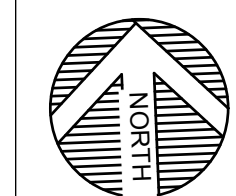
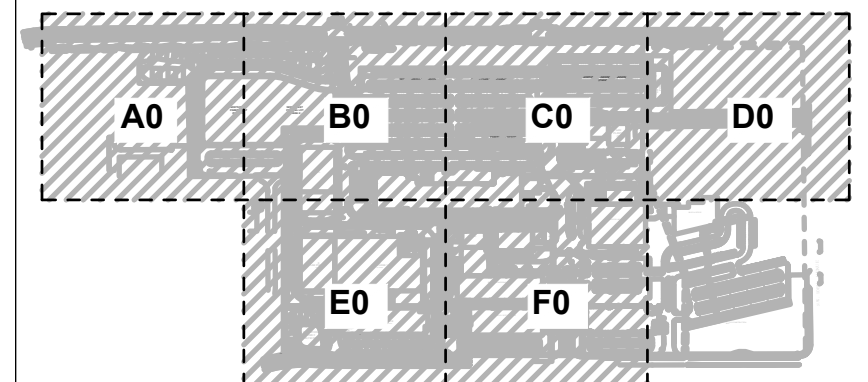
JACOBS PROJECT No.: CLIENT PROJECT No.:
D3822800

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO	REVISION OR ISSUE	DATE	BY



SITE

Lam
RESEARCH

Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE:
PLANTING PLAN

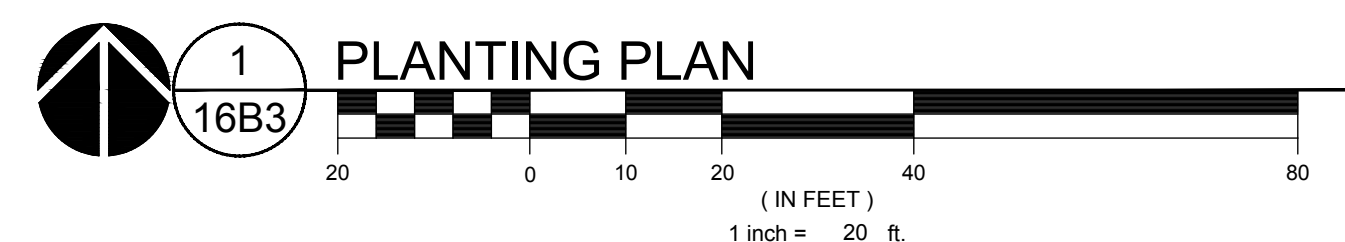
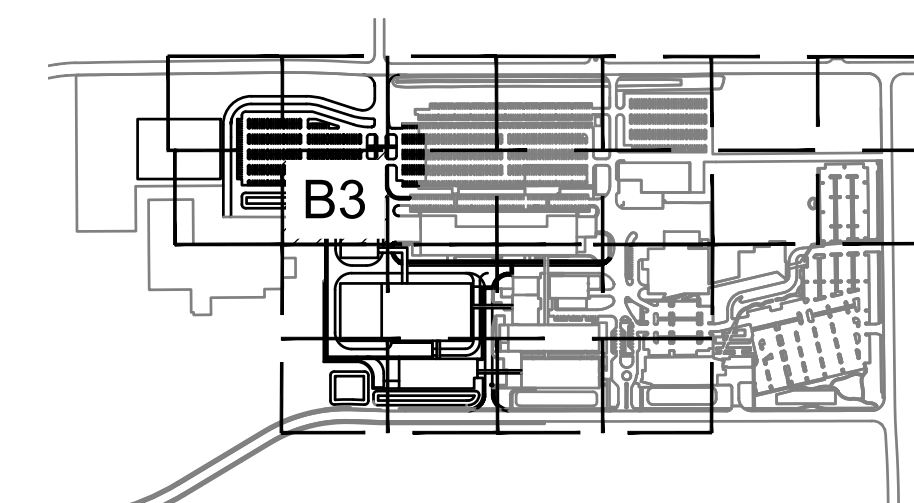
DATE ISSUED: DRAWING SCALE: 1" = 20'

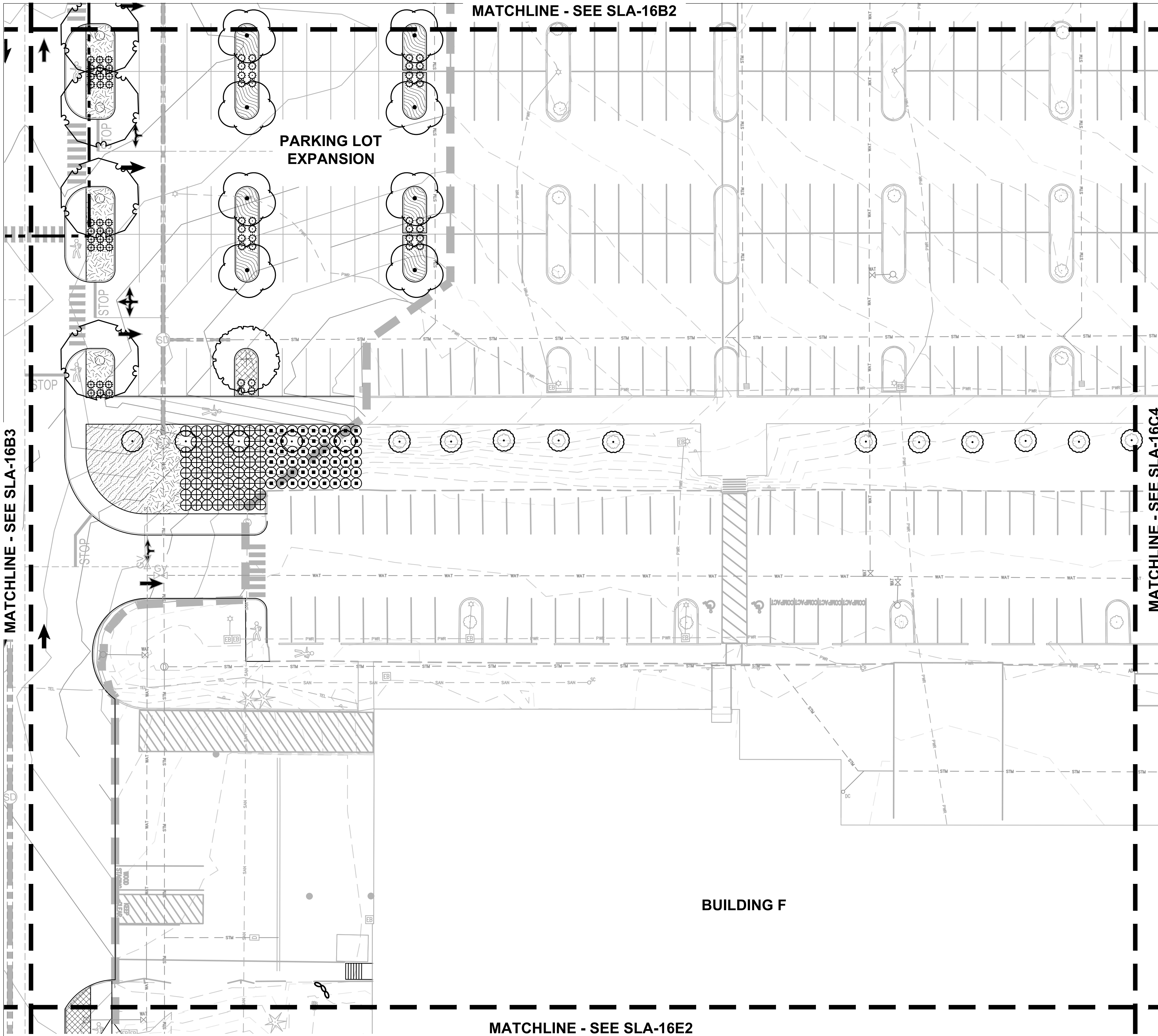
REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:

SLA-16B3

KEY MAP
SCALE: NTS





PLANT KEY LEGEND

SYMBOL BOTANICAL / COMMON NAME

TREES

- ACER RUBRUM 'BOWHALL'
BOWHALL RED MAPLE
- CERCIDIPHYLLUM JAPONICUM
KATSURA TREE
- PRUNUS SARGENTII 'JFS KW21PS'
PINK MYST® SARGENT CHERRY
- ZELKOVA SERRATA 'GREEN VASE'
GREEN VASE JAPANESE ZELKOVA

SHRUBS

- BERBERIS THUNBERGII 'CRIMSON
PYGMY'
- CRIMSON PYGMY JAPANESE BARBERRY
- CISTUS X HYBRIDUS
WHITE ROCKROSE
- PINUS MUGO VAR. PUMILIO
DWARF MUGO PINE
- RHAPHIOLEPIS INDICA 'MONTO'
INDIAN PRINCESS INDIAN HAWTHORN

GROUND COVERS

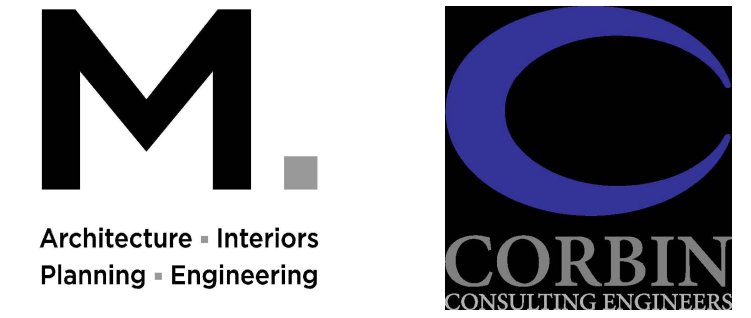
- ARCTOSTAPHYLOS UVA-URSI
KINNIKINNICK
- CEANOTHUS GLORIOSUS
POINT REYES CEANOTHUS
- RUBUS CALYCINOIDES
GREEN CARPET RASPBERRY

GRASSES

- BOUTELOUA GRACILIS 'BLONDE
AMBITION'
- BLONDE AMBITION BLUE GRAMA

Jacobs.

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201



Portland, OR
503.224.9560
Vancouver, WA
360.699.7679
Seattle, WA
206.749.9993

www.mackenzie.inc

MACKENZIE.

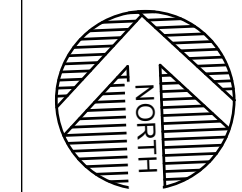
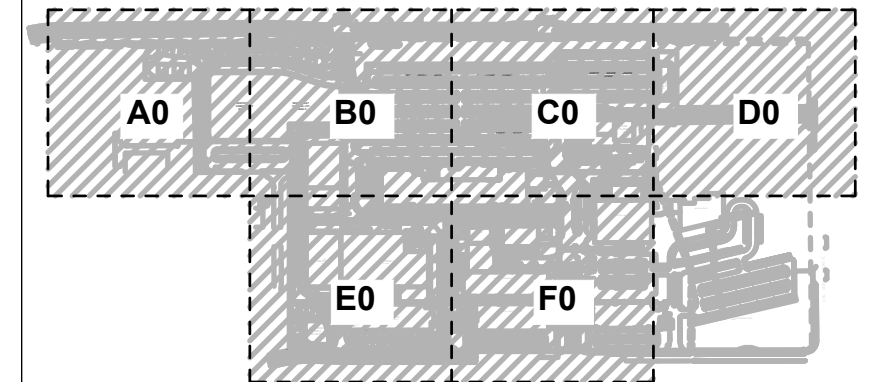
JACOBS PROJECT No.: CLIENT PROJECT No.:
D3822800

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO	REVISION OR ISSUE	DATE	BY



SITE



Lam RESEARCH
Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

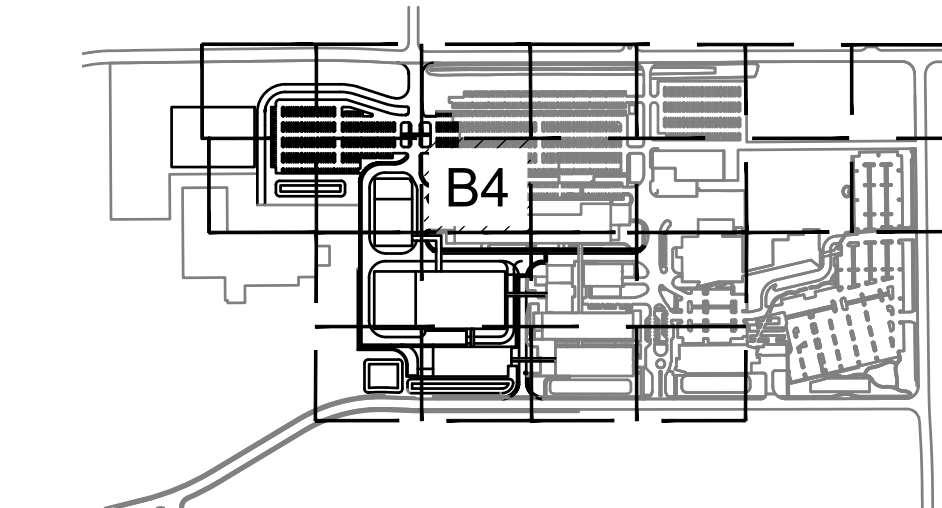
TITLE:
PLANTING PLAN

DATE ISSUED: DRAWING SCALE: 1" = 20'

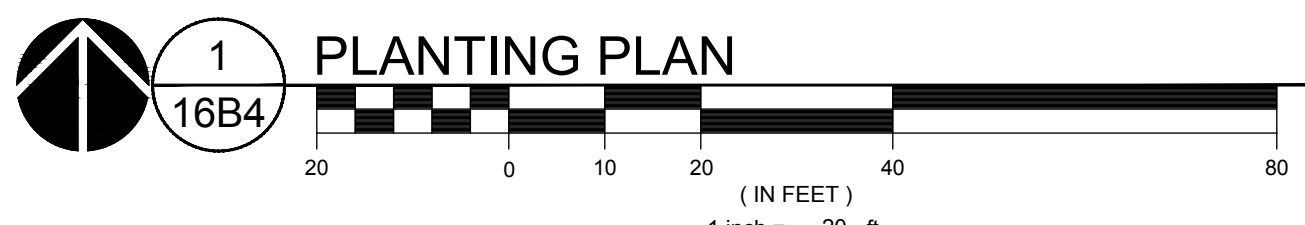
REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:

SLA-16B4

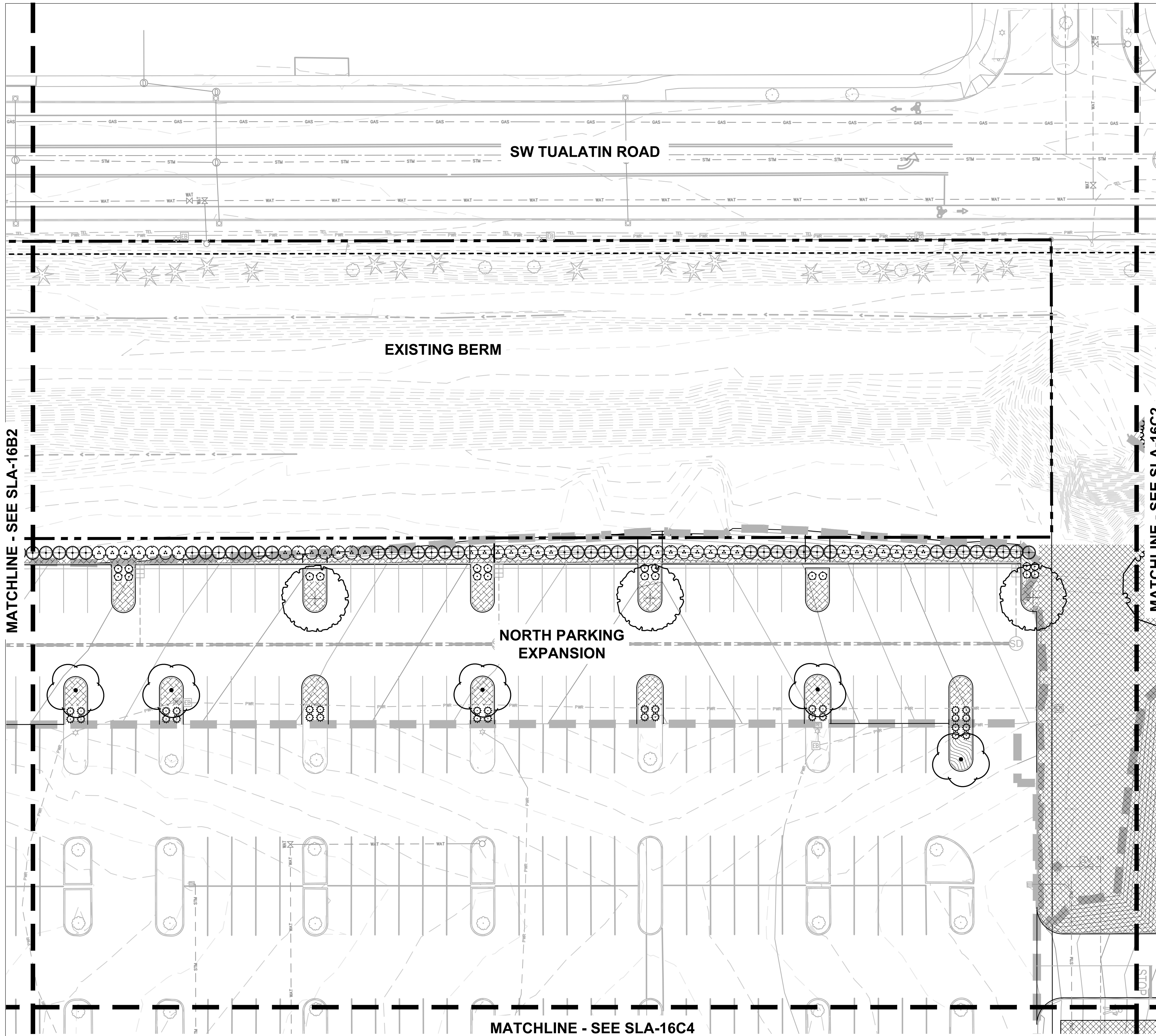


KEY MAP
SCALE: NTS



1 16B4 **PLANTING PLAN**

(IN FEET)
1 inch = 20 ft.



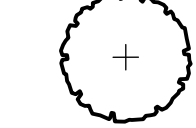
PLANT KEY LEGEND

SYMBOL BOTANICAL / COMMON NAME

TREES



ACER RUBRUM 'BOWHALL'
BOWHALL RED MAPLE



ZELKOVA SERRATA 'GREEN VASE'
GREEN VASE JAPANESE ZELKOVA

SHRUBS



CEANOTHUS THYRSIFLORUS

BLUE BLOSSOM



MAHONIA AQUIFOLIUM 'COMPACTA'

COMPACT OREGON GRAPE



PINUS MUGO VAR. PUMILIO

DWARF MUGO PINE



SPIRAEA BETULIFOLIA VAR. LUCIDA

SHINYLEAF SPIREA

GROUND COVERS



ARCTOSTAPHYLOS UVA-URSI

KINNIKINICK



RUBUS CALYCINOIDEUS

GREEN CARPET RASPBERRY

SEED MIX

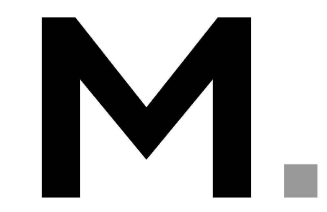


URBAN MEADOW MIX

HERITAGE SEEDLING, INC



Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201



Architecture - Interiors
Planning - Engineering



Portland, OR
503.224.9560
Vancouver, WA
360.695.7679
Seattle, WA
206.749.9993

www.mackenzie.inc

MACKENZIE.

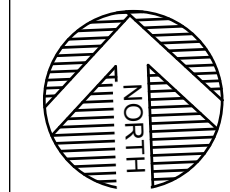
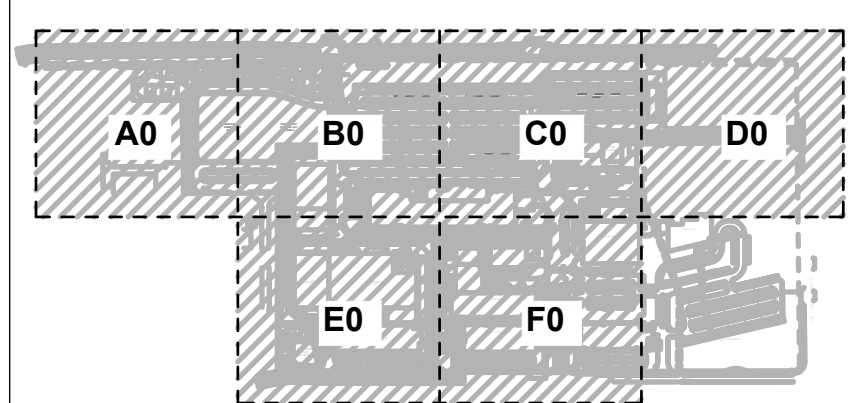
JACOBS PROJECT No.: D3822800 CLIENT PROJECT No.:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO	REVISION OR ISSUE	DATE	BY



SITE



Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

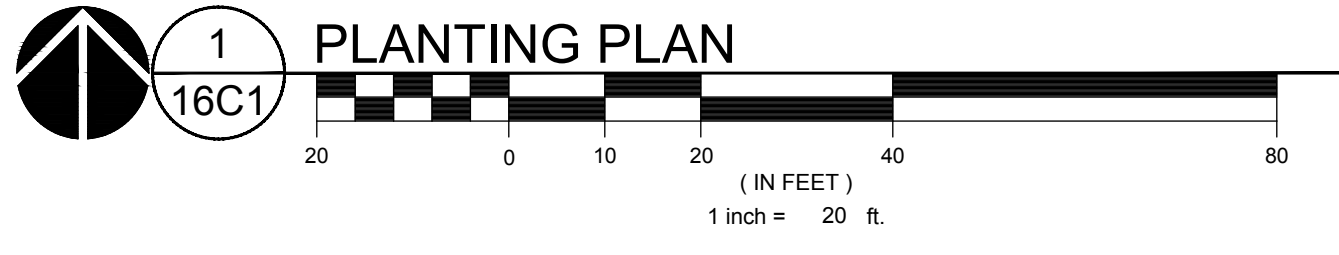
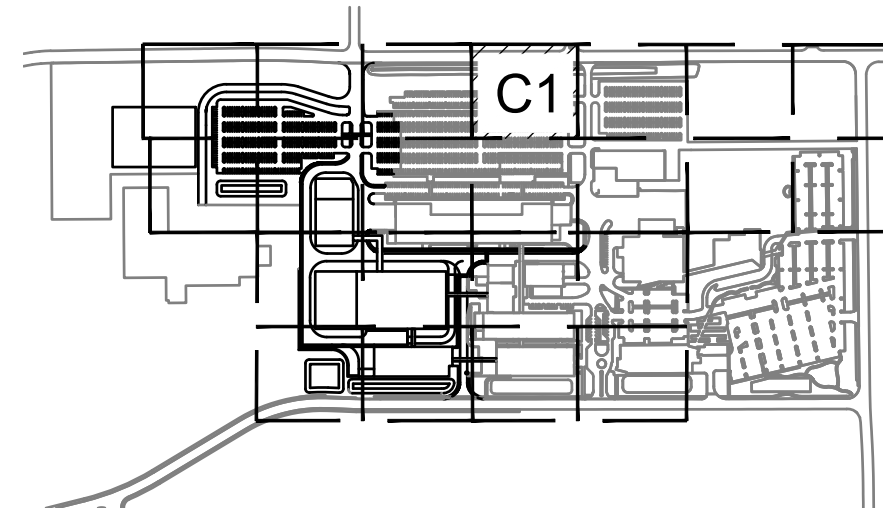
TITLE:
PLANTING PLAN

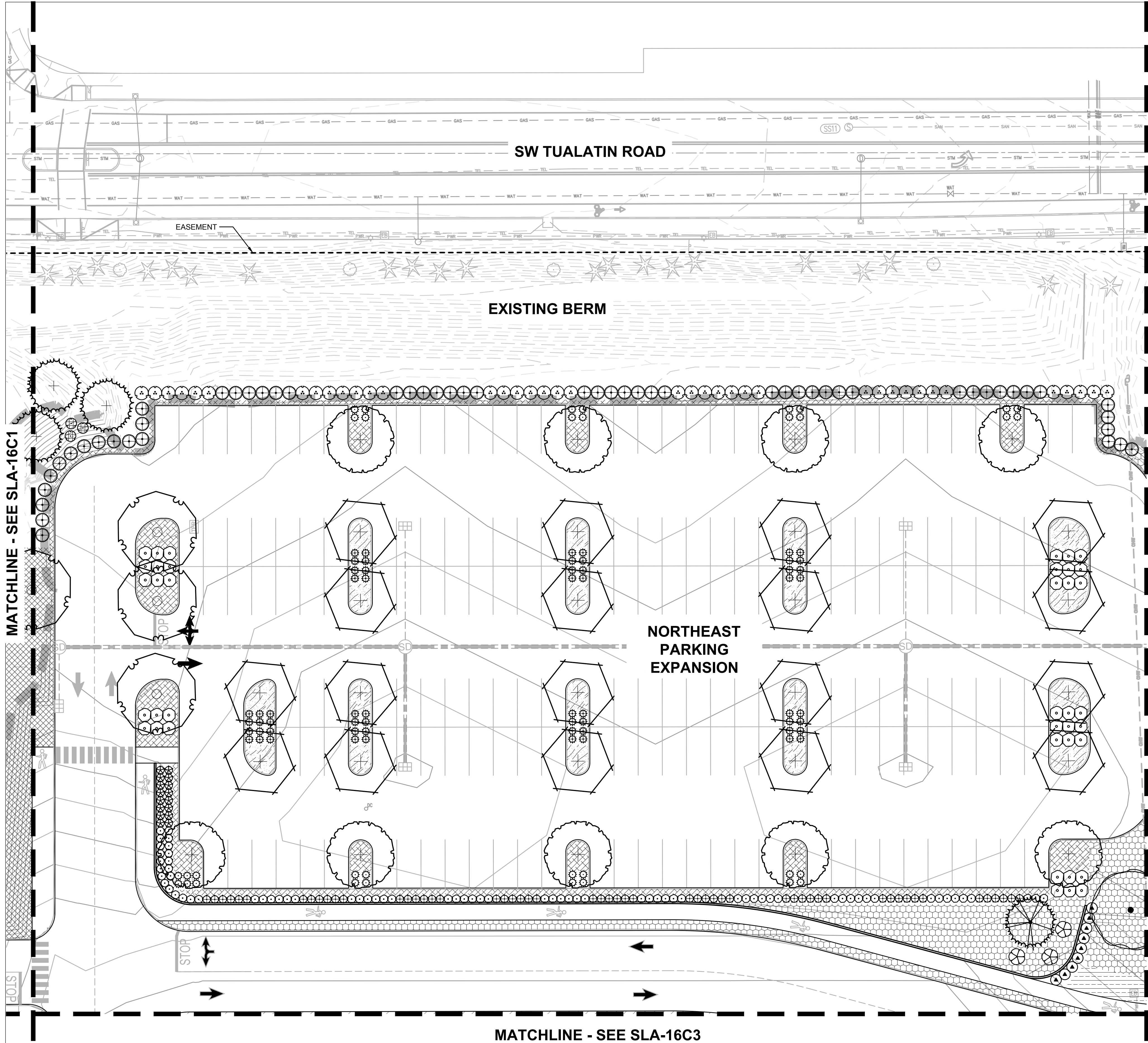
DATE ISSUED: DRAWING SCALE: 1" = 20'
REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:
SLA-16C1



KEY MAP
SCALE: NTS







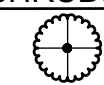



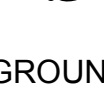

PLANT KEY LEGEND

SYMBOL BOTANICAL / COMMON NAME



TREES

-  ACER RUBRUM 'BOWHALL'
BOWHALL RED MAPLE
-  ZELKOVA SERRATA 'GREEN VASE'
GREEN VASE JAPANESE ZELKOVA

SHRUBS

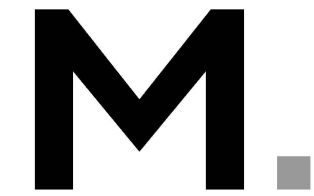
-  CEANOTHUS THYRSIFLORUS
BLUE BLOSSOM
-  MAHONIA AQUIFOLIUM
'COMPACTA'
-  COMPACT OREGON GRAPE
-  PINUS MUGO VAR. PUMILIO
DWARF MUGO PINE
-  SPIRAEA BETULIFOLIA VAR.
LUCIDA
-  SHINYLEAF SPIREA

GROUND COVERS

-  ARCTOSTAPHYLOS UVA-URSI
KINKINNICK
-  RUBUS CALYCINOIDES
GREEN CARPET RASPBERRY

SEED MIX

-  URBAN MEADOW MIX
-  HERITAGE SEEDLING, INC



Architecture - Interiors
Planning - Engineering



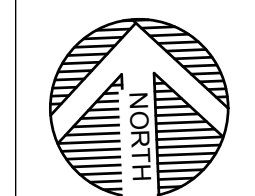
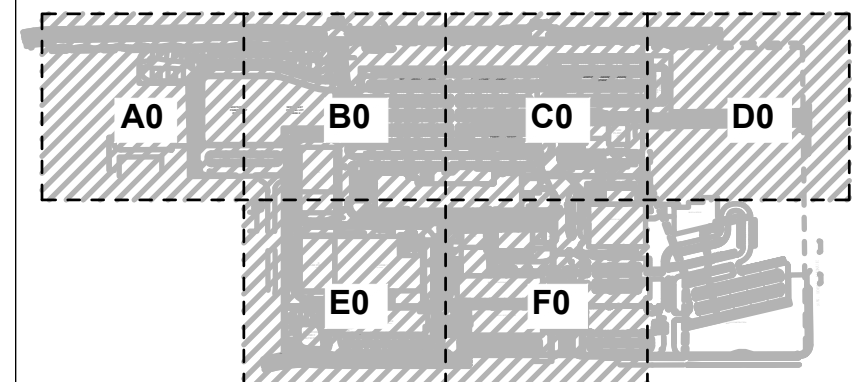
Portland, OR
503.224.9560
Vancouver, WA
360.695.7679
Seattle, WA
206.749.9993

www.mackenzieinc.com

MACKENZIE.

JACOBS PROJECT No.:	CLIENT PROJECT No.:
D3822800	
DRAWN:	REVIEWED:
DESIGNED:	APPROVED:
NOTICE:	STAMP:

NO	REVISION OR ISSUE	DATE	BY



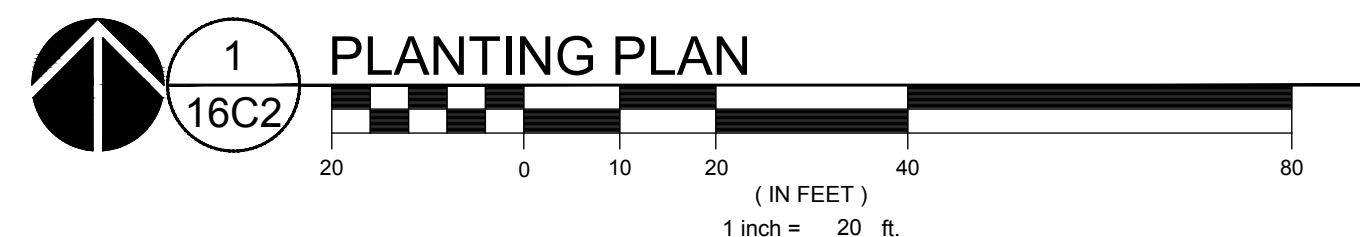
SITE

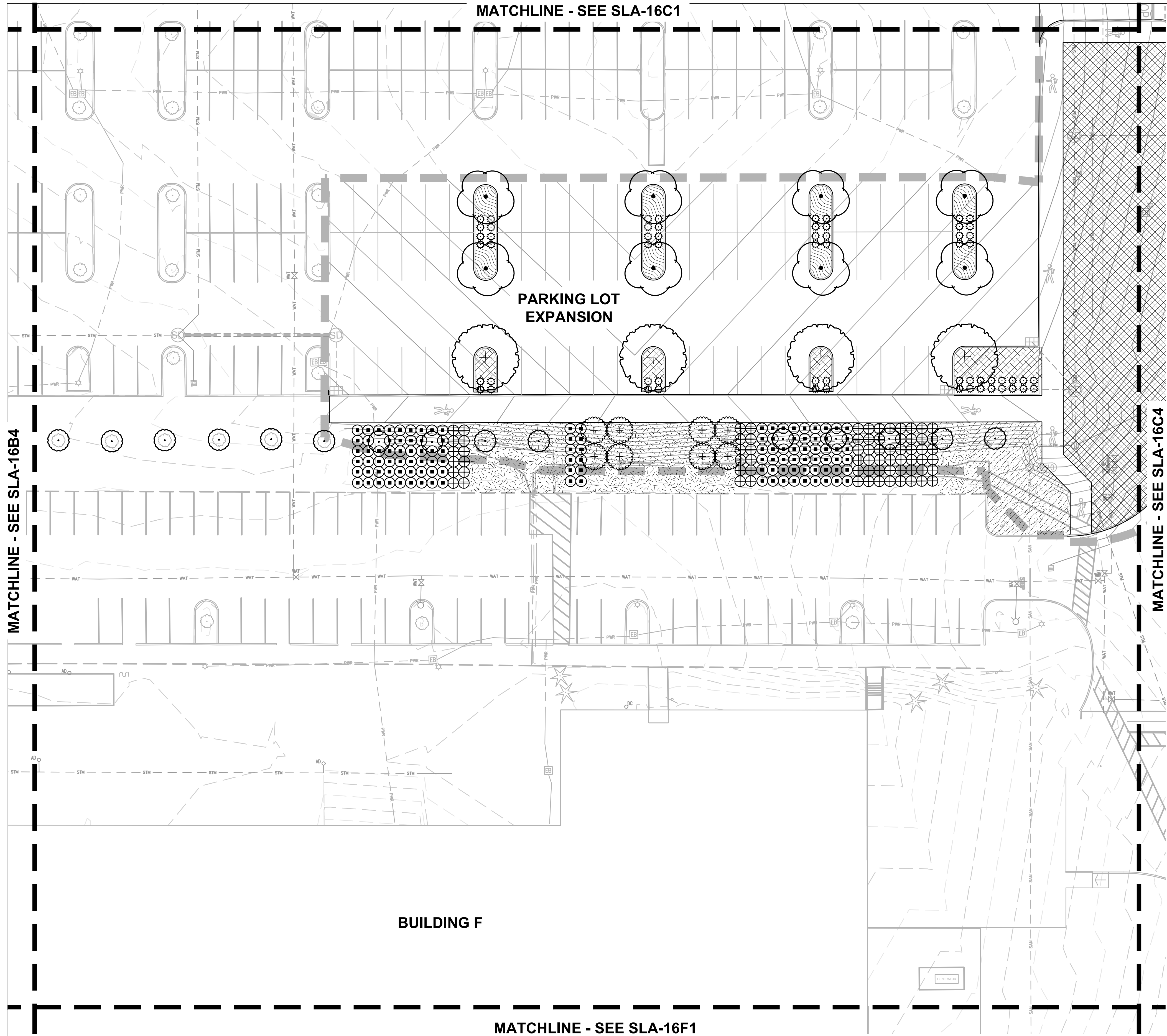


Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

PLANTING PLAN

DATE ISSUED:	DRAWING SCALE: 1" = 20'
REVIT FILE:	BUILDING DESIGNATOR:
DRAWING NUMBER:	SLA-16C2



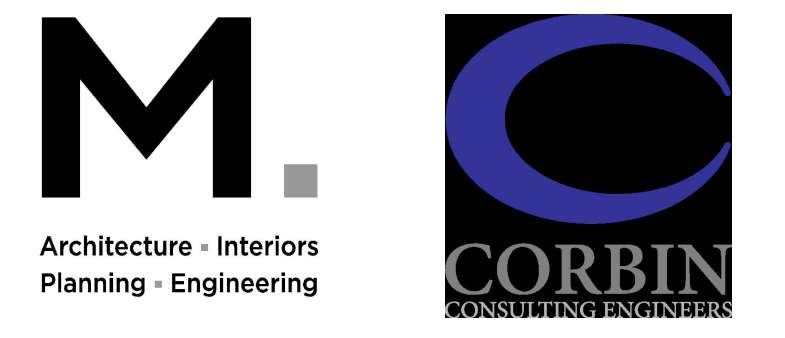


PLANT KEY LEGEND

- SYMBOL BOTANICAL / COMMON NAME**
- TREES**
- ACER RUBRUM 'BOWHALL' BOWHALL RED MAPLE
 - PRUNUS SARGENTII 'JFS KW21PS' PINK MYST® SARGENT CHERRY
 - ZELKOVA SERRATA 'GREEN VASE' GREEN VASE JAPANESE ZELKOVA
- SHRUBS**
- ARBUTUS UNEDO STRAWBERRY TREE SHRUB
 - CISTUS X HYBRIDUS WHITE ROCKROSE
 - PINUS MUGO VAR. PUMILIO DWARF MUGO PINE
 - RHAPHIOLEPIS INDICA 'MONTO' INDIAN PRINCESS INDIAN HAWTHORN
- GROUND COVERS**
- ARCTOSTAPHYLOS UVA-URSI KINNIKINICK
 - CEANOTHUS GLORIOSUS POINT REYES CEANOTHUS
 - RUBUS CALYCINOIDES GREEN CARPET RASPBERRY
- GRASSES**
- BOUTELOUA GRACILIS 'BLONDE AMBITION' BLONDE AMBITION BLUE GRAMA
- SEED MIX**
- URBAN MEADOW MIX HERITAGE SEEDLING, INC

Jacobs.

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

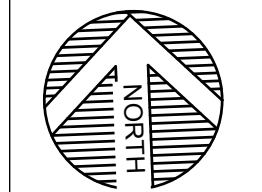
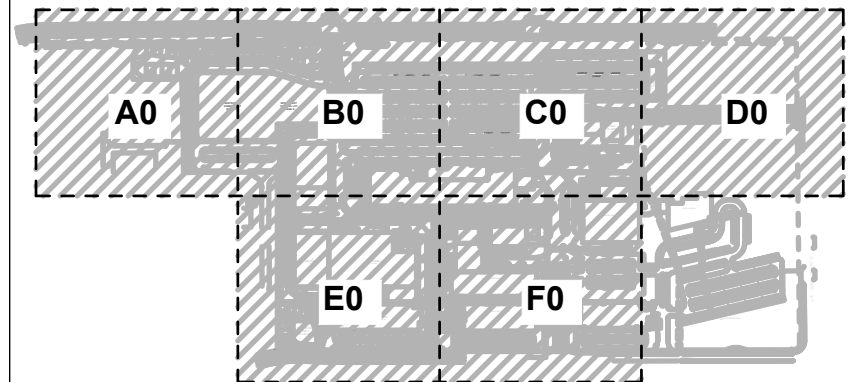


Portland, OR
503.224.9560
Vancouver, WA
360.695.7679
Seattle, WA
206.749.9993

www.mackenzie.inc
MACKENZIE.

JACOBS PROJECT No.: D3822800	CLIENT PROJECT No.:
DRAWN:	REVIEWED:
DESIGNED:	APPROVED:
NOTICE:	STAMP:

NO	REVISION OR ISSUE	DATE	BY



SITE

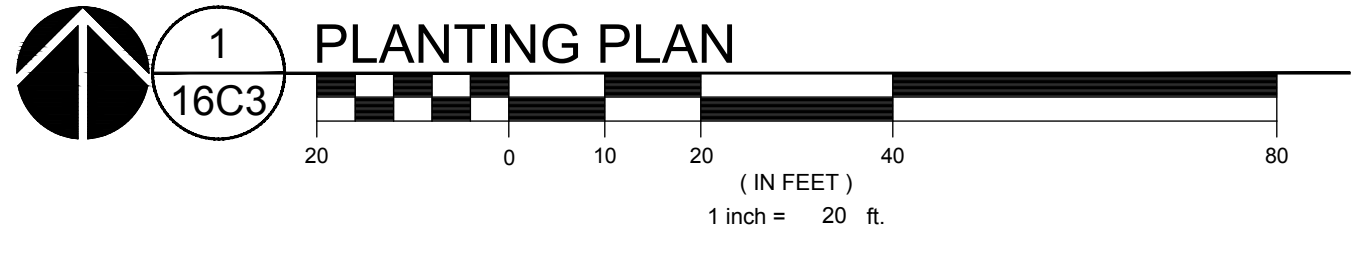


Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

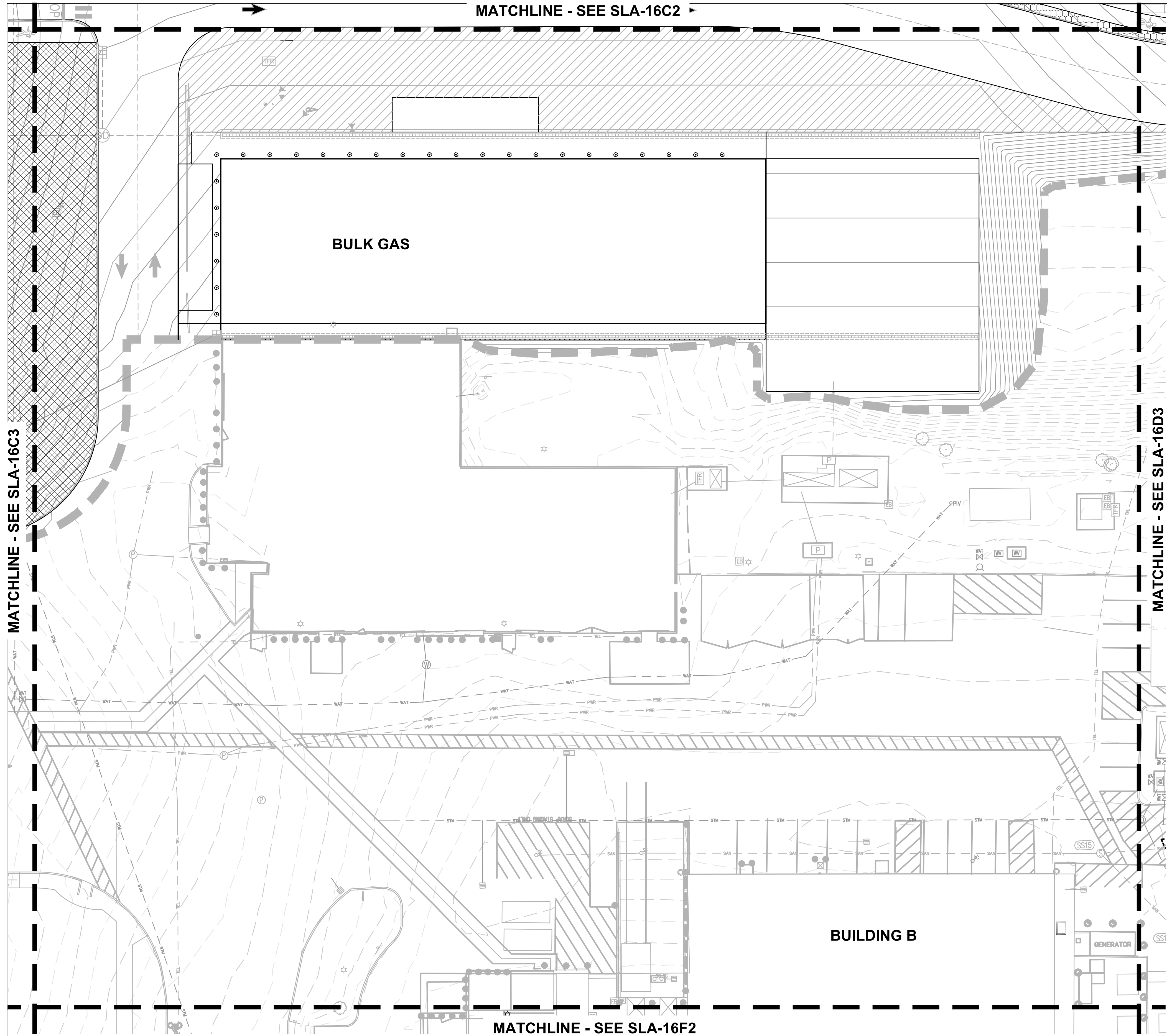
TITLE:
PLANTING PLAN

DATE ISSUED: DRAWING SCALE: 1" = 20'
REVIT FILE: BUILDING DESIGNATOR:
DRAWING NUMBER:

SLA-16C3



KEY MAP
SCALE: NTS

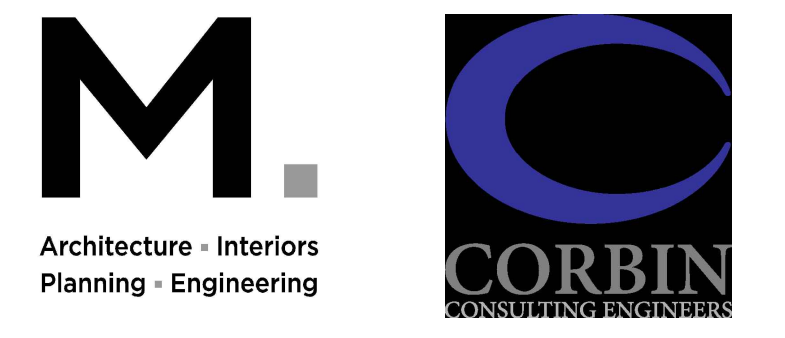


PLANT KEY LEGEND

SYMBOL	BOTANICAL / COMMON NAME
	SEED MIX
	URBAN MEADOW MIX
	HERITAGE SEEDLING, INC



Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201



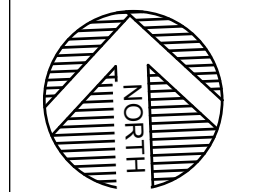
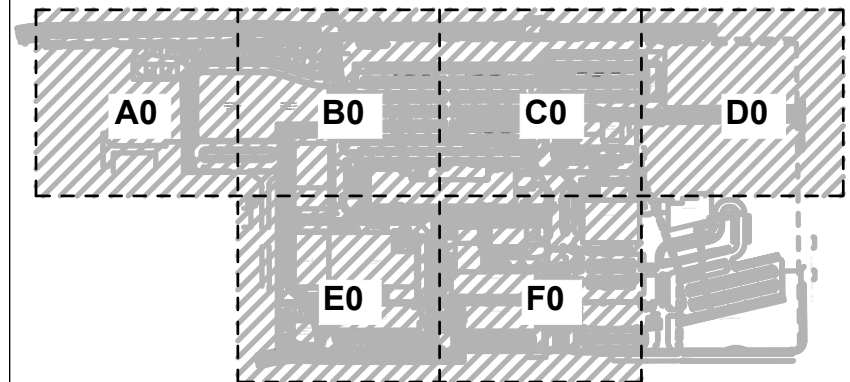
Portland, OR
503.224.9560
Vancouver, WA
360.695.7679
Seattle, WA
206.749.9993

www.mackenzie.inc

MACKENZIE.

JACOBS PROJECT No.: D3822800	CLIENT PROJECT No.:
DRAWN:	REVIEWED:
DESIGNED:	APPROVED:
NOTICE:	STAMP:

NO	REVISION OR ISSUE	DATE	BY



SITE

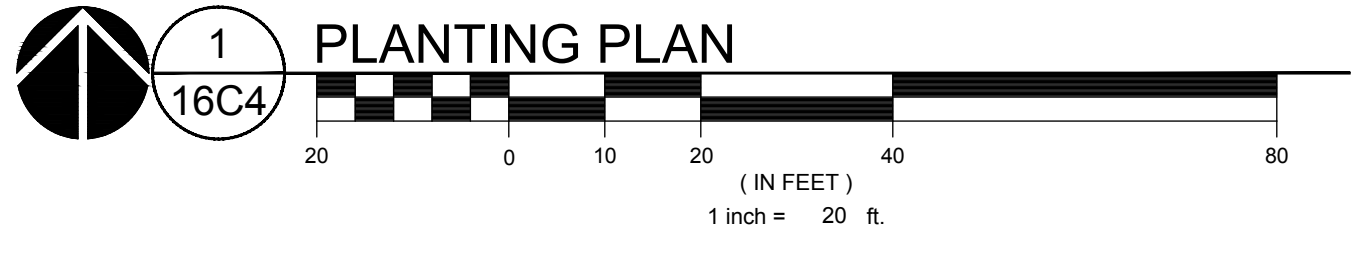


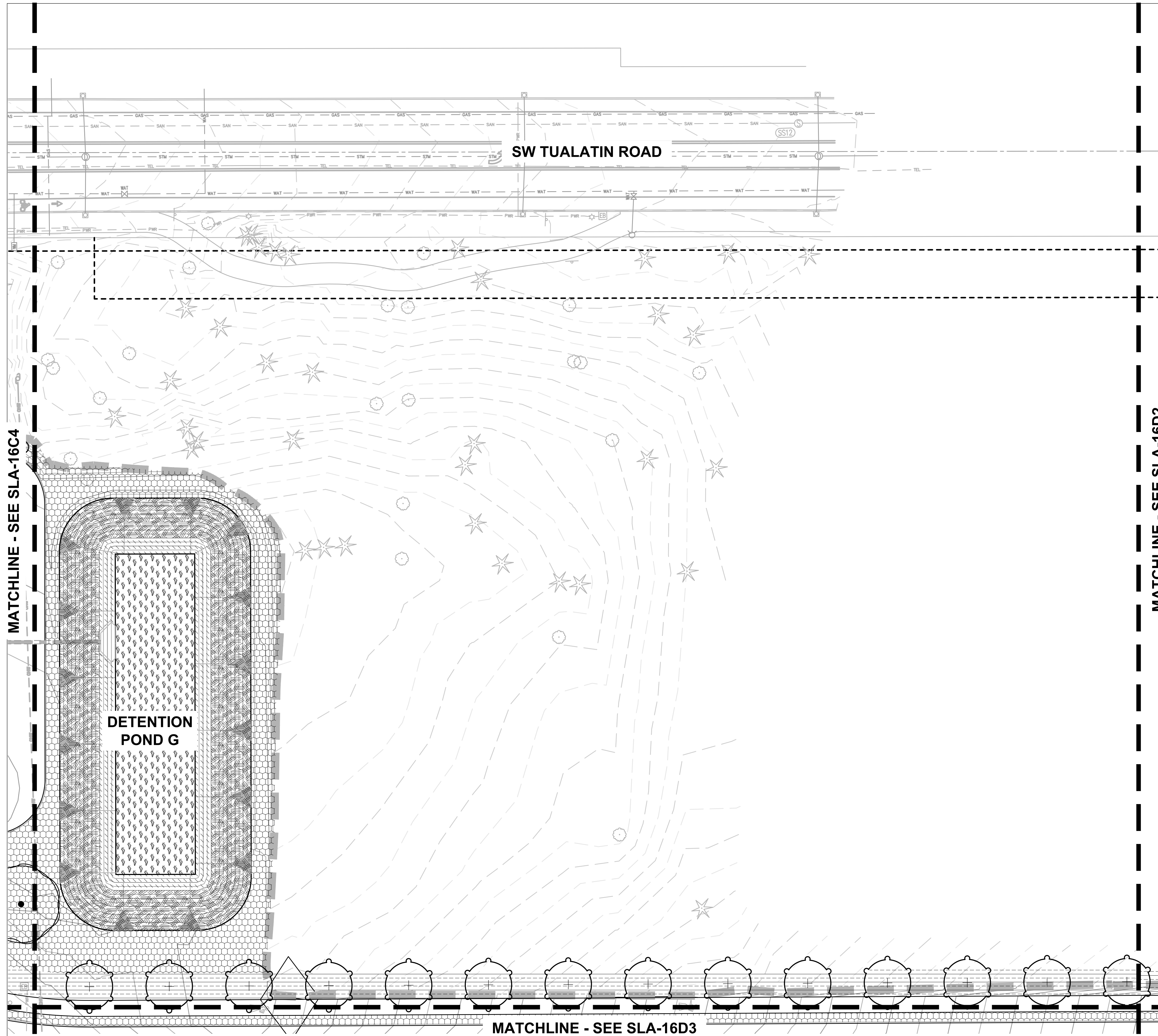
Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE:
PLANTING PLAN

DATE ISSUED: DRAWING SCALE: 1" = 20'
REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:
SLA-16C4

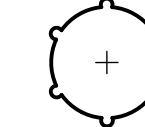




PLANT KEY LEGEND

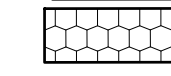
SYMBOL BOTANICAL / COMMON NAME

TREES



TILIA CORDATA 'GREENSPIRE'
GREENSPIRE LITTLELEAF LINDEN

GROUND COVERS

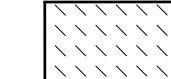


NATIVE INTERPLANTING MIX
GROUNDCOVER

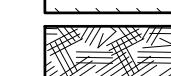
STORMWATER



STORMWATER ZONE A (BOTTOM)
HERBACEOUS PLANTS



STORMWATER ZONE B (SIDE SLOPES)
SHRUBS AND GROUNDCOVER



SWALE - ZONE B (FREEBOARD)
FREEBOARD AREA

Jacobs.

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M.
Architecture - Interiors
Planning - Engineering

CORBIN
CONSULTING ENGINEERS

Portland, OR
503.224.9560
Vancouver, WA
360.695.7679
Seattle, WA
206.749.9993

www.mackenzie.inc

MACKENZIE.

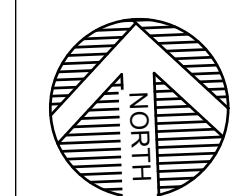
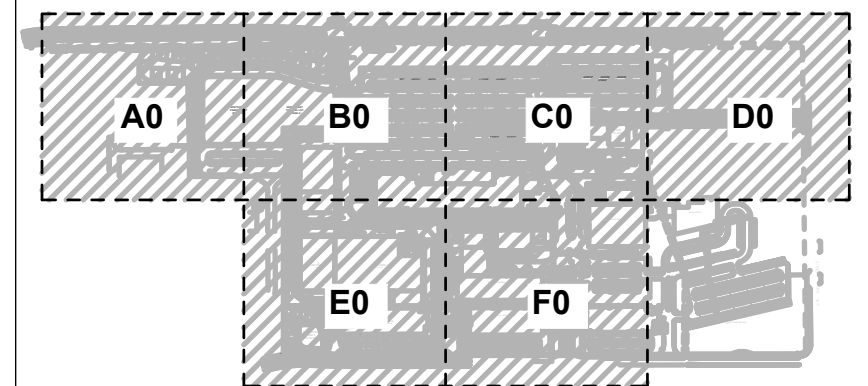
JACOBS PROJECT No.: CLIENT PROJECT No.:
D3822800

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO	REVISION OR ISSUE	DATE	BY



SITE

Lam
RESEARCH

Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE:
PLANTING PLAN

DATE ISSUED: DRAWING SCALE: 1" = 40'

REVIT FILE: BUILDING DESIGNATOR:

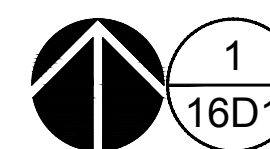
DRAWING NUMBER:

SLA-16D1

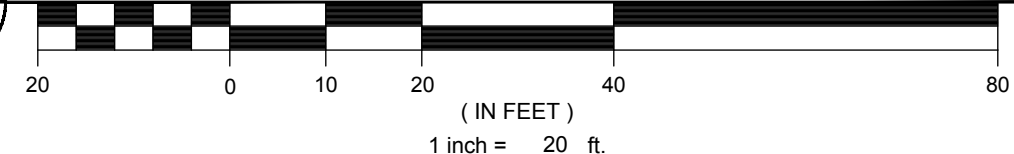
MATCHLINE - SEE SLA-16D2

MATCHLINE - SEE SLA-16C4

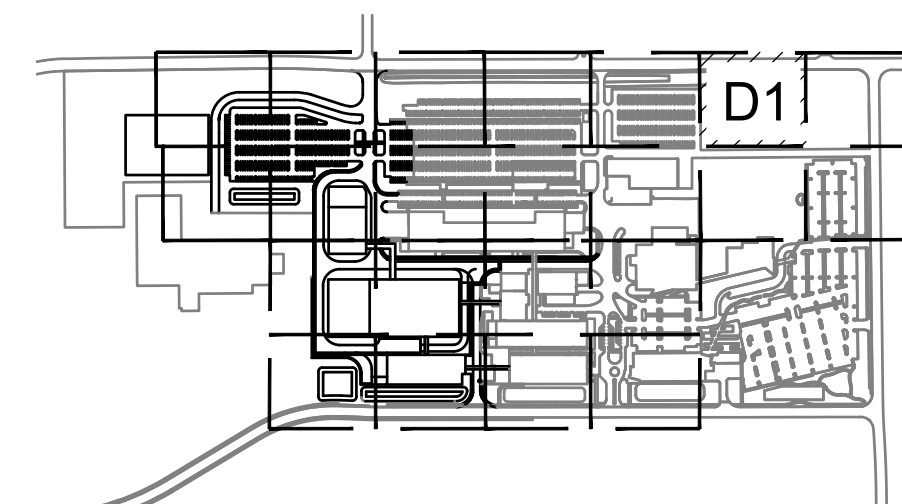
MATCHLINE - SEE SLA-16D3

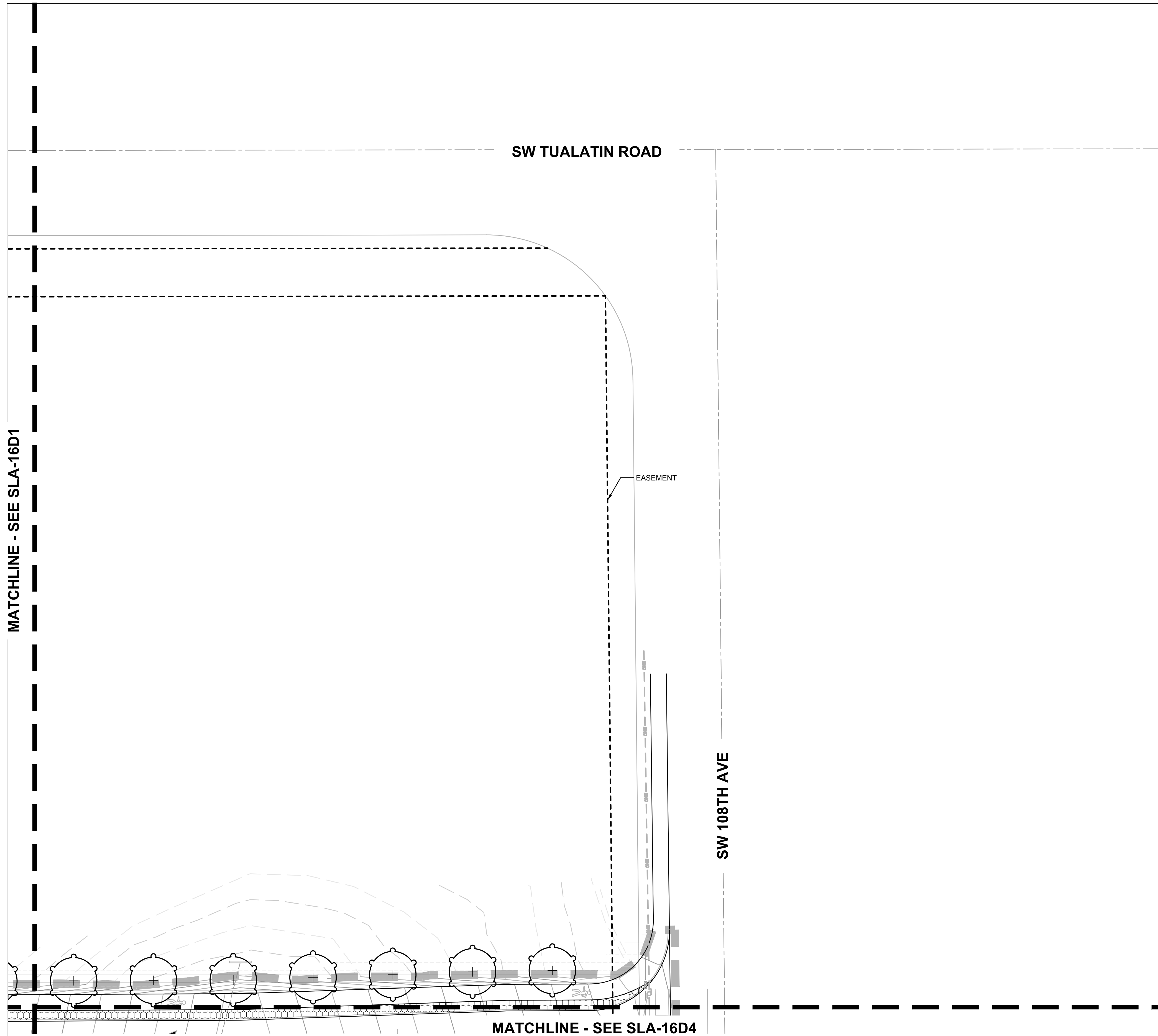


1
16D1 PLANTING PLAN



KEY MAP
SCALE: NTS

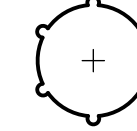




PLANT KEY LEGEND

SYMBOL BOTANICAL / COMMON NAME

TREES



TILIA CORDATA 'GREENSPIRE'
GREENSPIRE LITTLELEAF LINDEN

SEED MIX



NATIVE UPLANDS MIX
SUNMARK SEEDS

Jacobs.

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M.

Architecture - Interiors
Planning - Engineering



Portland, OR
503.224.9560
Vancouver, WA
360.695.7679
Seattle, WA
206.749.9993

www.mackenzie.inc

MACKENZIE.

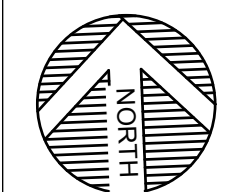
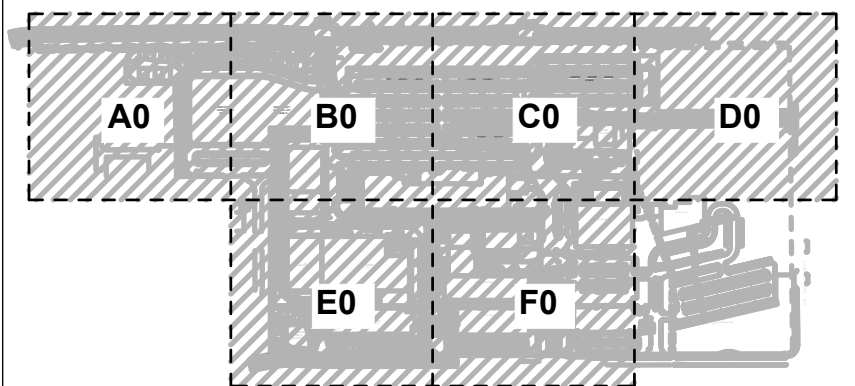
JACOBS PROJECT No.: D3822800 CLIENT PROJECT No.:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO	REVISION OR ISSUE	DATE	BY



SITE



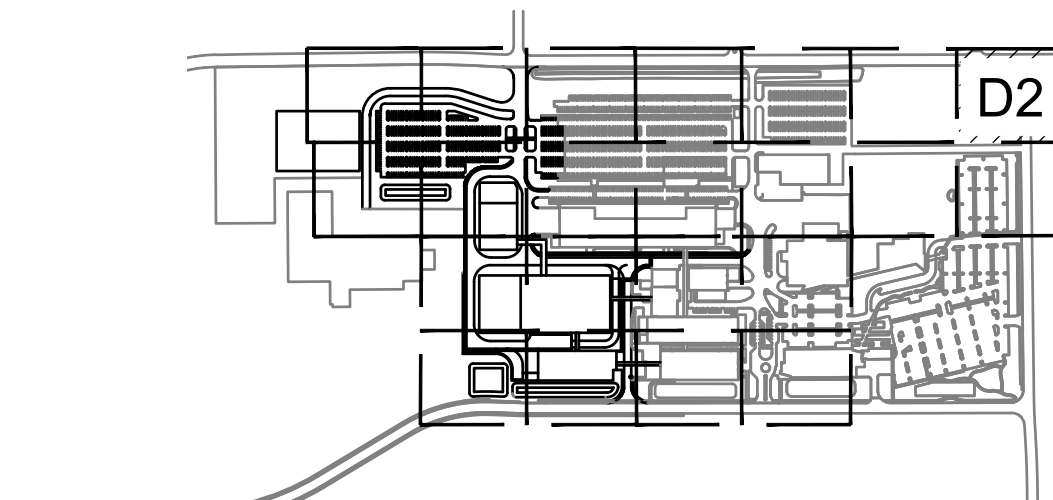
Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE:
PLANTING PLAN

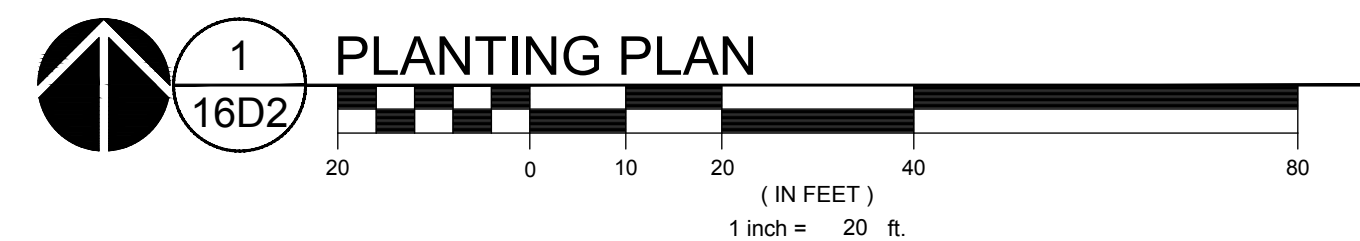
DATE ISSUED: DRAWING SCALE: 1" = 20'

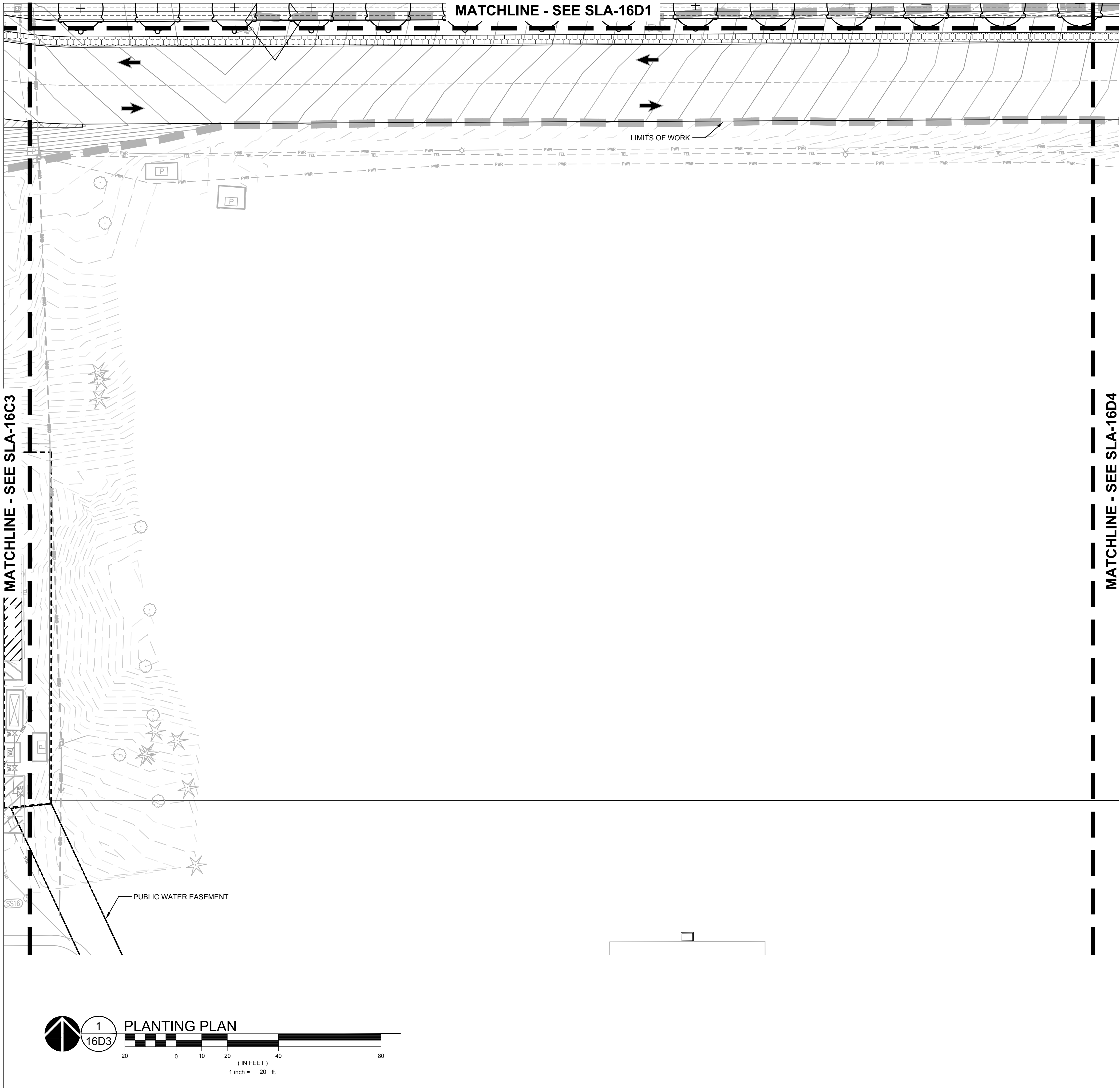
REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER: **SLA-16D2**



KEY MAP
SCALE: NTS





PLANT KEY LEGEND

SYMBOL BOTANICAL / COMMON NAME

GROUND COVERS
 NATIVE INTERPLANTING MIX
 GROUND COVER

Jacobs.

Portland Office
 2020 S.W. 4th Avenue, 3rd Floor
 Portland, Oregon 97201



Portland, OR
 503.224.9560
 Vancouver, WA
 360.695.7679
 Seattle, WA
 206.749.9993

www.mackenzie.inc

MACKENZIE.

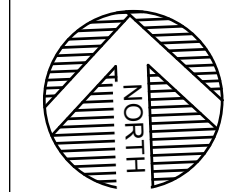
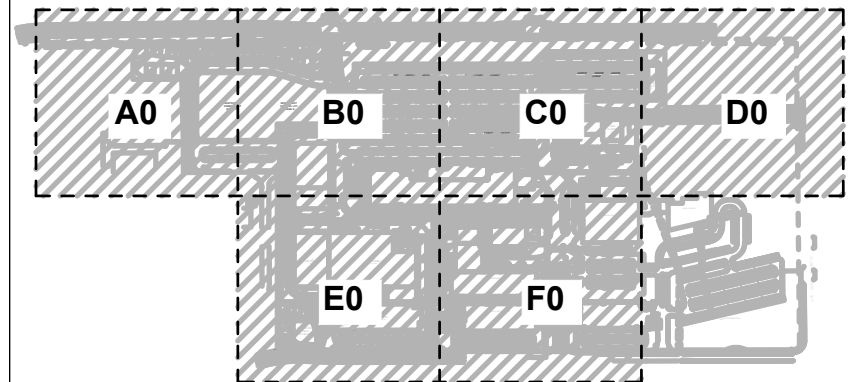
JACOBS PROJECT No.: D3822800 CLIENT PROJECT No.:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO	REVISION OR ISSUE	DATE	BY



SITE

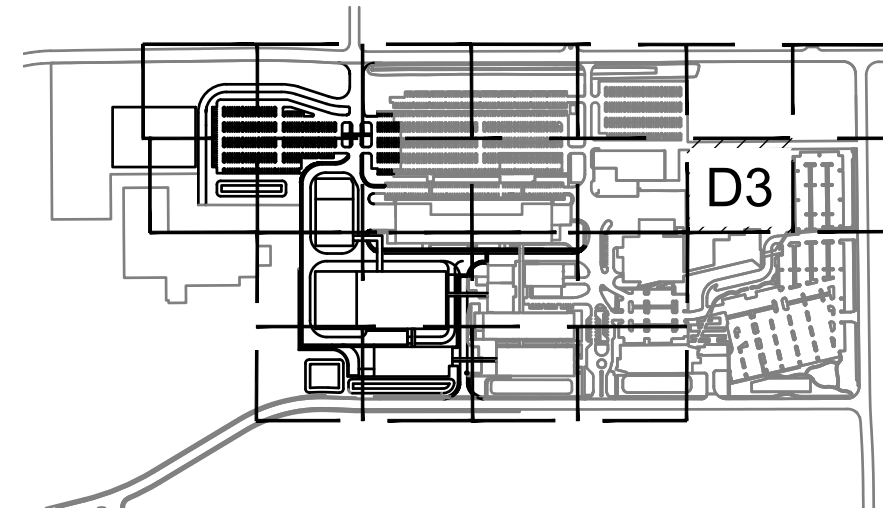


Lam Research
 C 4400 CUSHING PARKWAY
 FREMONT, CA 94538

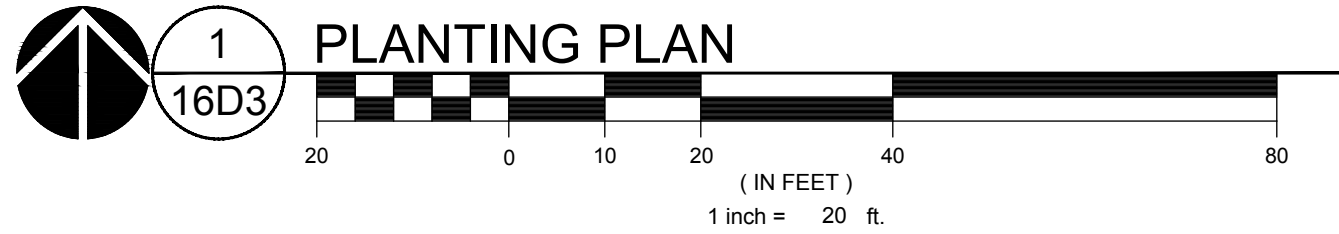
PLANTING PLAN

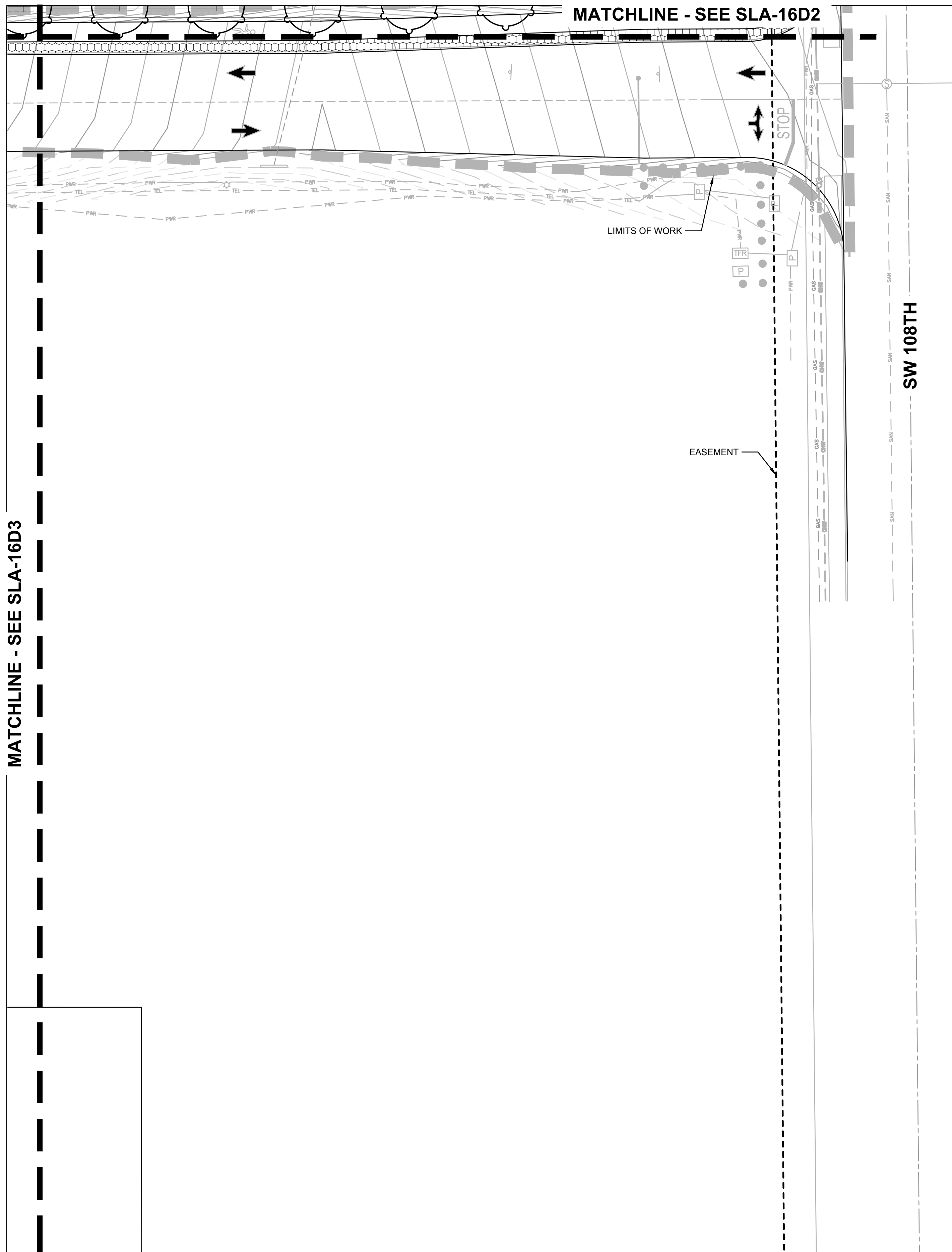
DATE ISSUED: DRAWING SCALE: 1" = 40'
 REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER: **SLA-16D3**



KEY MAP
 SCALE: NTS





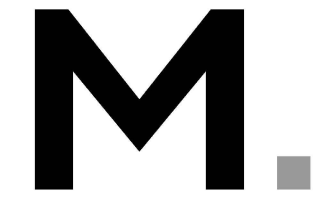
PLANT KEY LEGEND

SYMBOL BOTANICAL / COMMON NAME

GROUND COVERS



Portland Office
 2020 S.W. 4th Avenue, 3rd Floor
 Portland, Oregon 97201



Architecture - Interiors
 Planning - Engineering



Portland, OR
 503.224.9560
 Vancouver, WA
 360.695.7679
 Seattle, WA
 206.749.9993

www.mackenzie.inc

MACKENZIE.

JACOBS PROJECT No.:
D3822800

CLIENT PROJECT No.:

DRAWN:

REVIEWED:

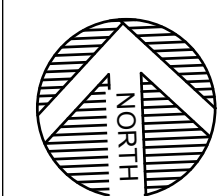
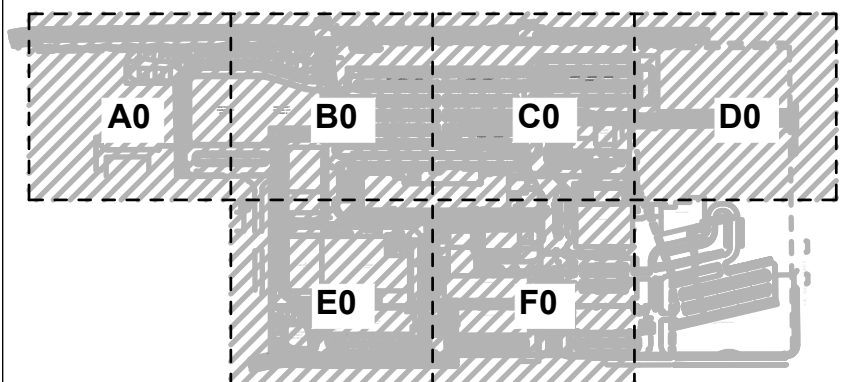
DESIGNED:

APPROVED:

NOTICE:

STAMP:

NO	REVISION OR ISSUE	DATE	BY



SITE



Lam Research
 C 4400 CUSHING PARKWAY
 FREMONT, CA 94538

TITLE:

PLANTING PLAN

DATE ISSUED:

DRAWING SCALE: 1" = 20'

REVIT FILE:

BUILDING DESIGNATOR:

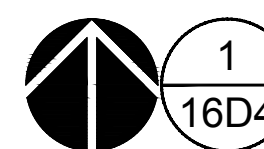
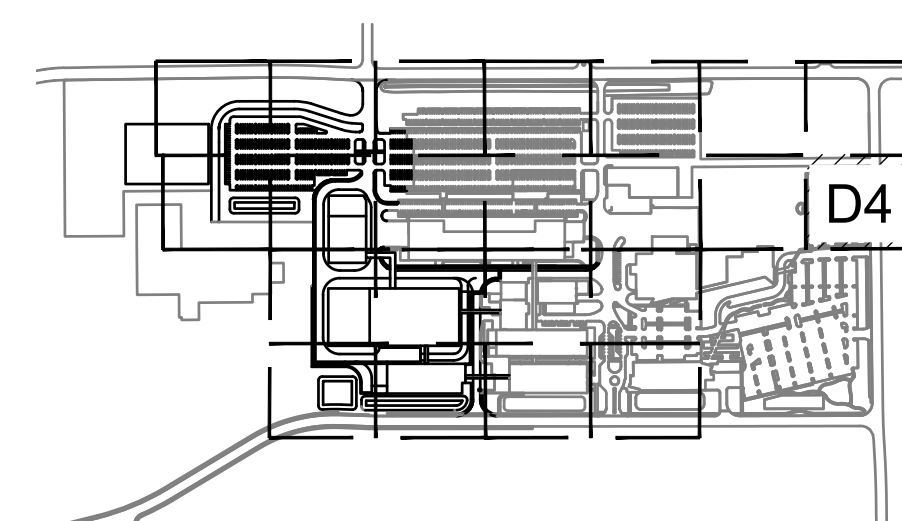
DRAWING NUMBER:

SLA-16D4

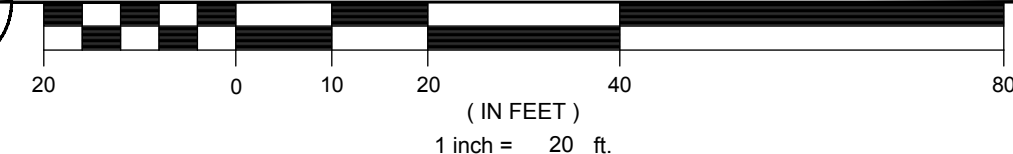


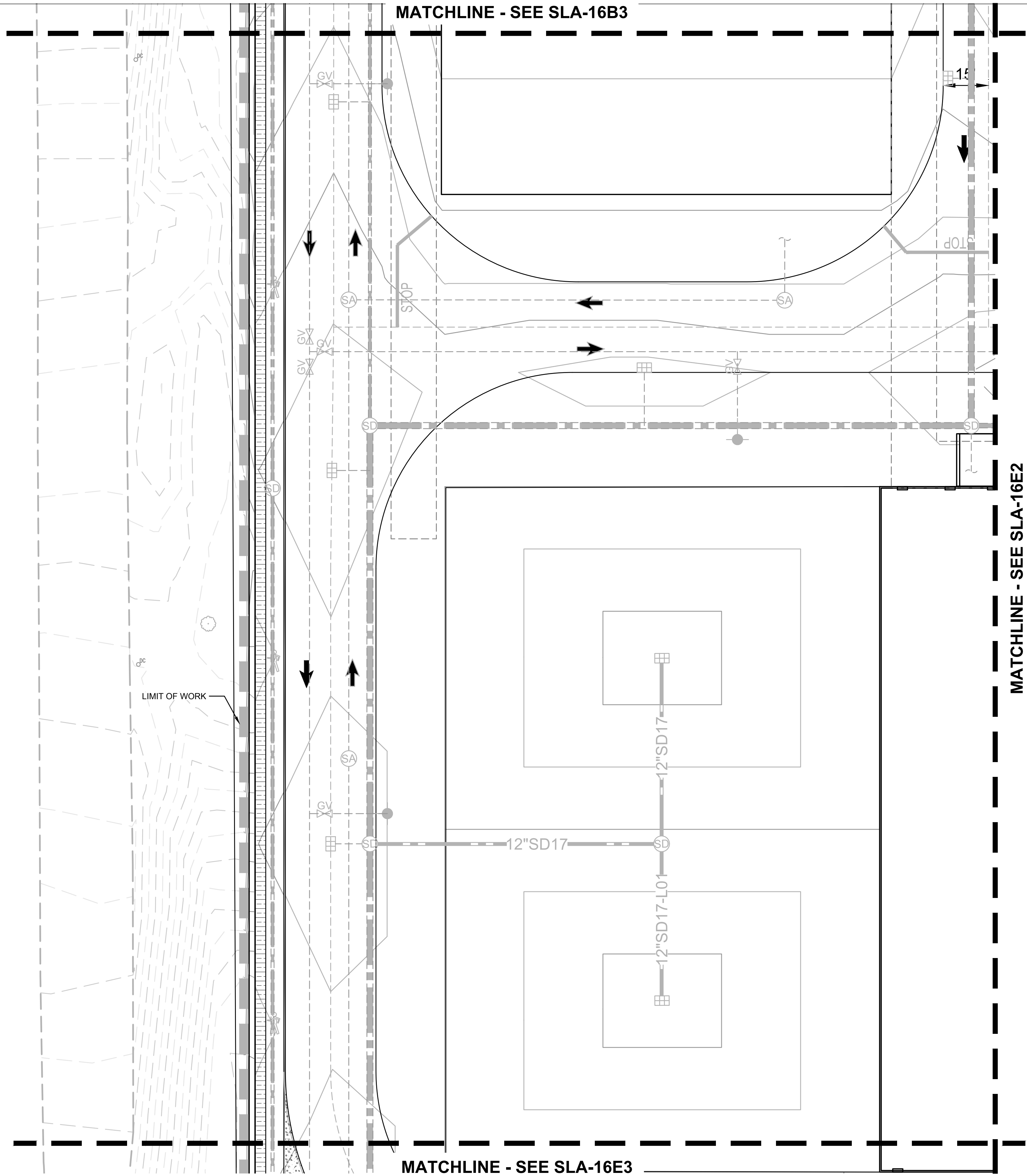
KEY MAP

SCALE: NTS



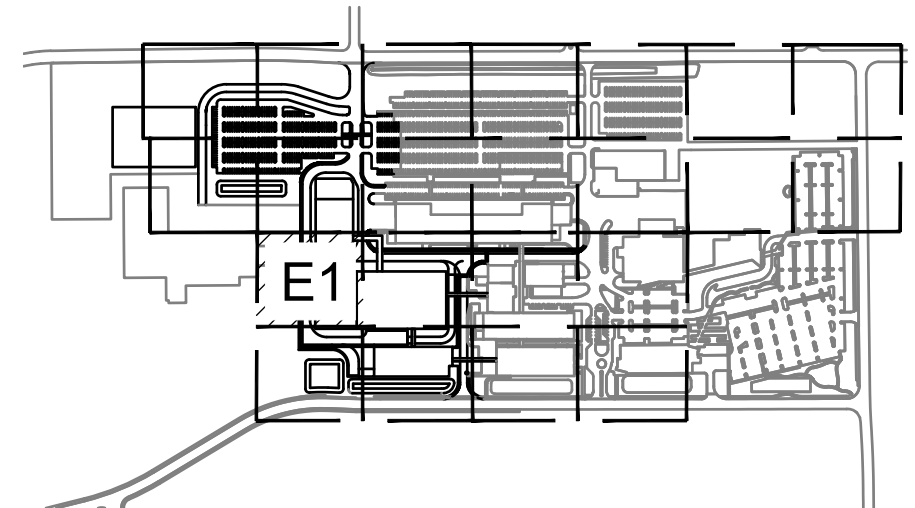
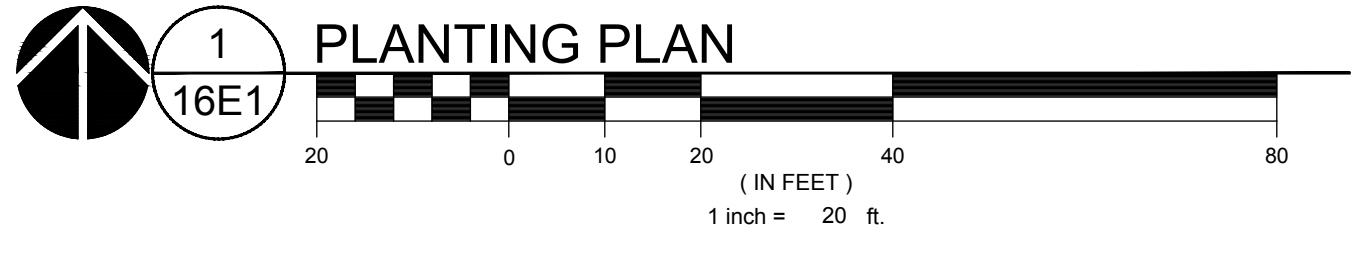
PLANTING PLAN





PLANT KEY LEGEND

SYMBOL	BOTANICAL / COMMON NAME
	SEED MIX
	NATIVE UPLANDS MIX
	SUNMARK SEEDS



Jacobs.
 Portland Office
 2020 S.W. 4th Avenue, 3rd Floor
 Portland, Oregon 97201

M.
 Architecture - Interiors
 Planning - Engineering

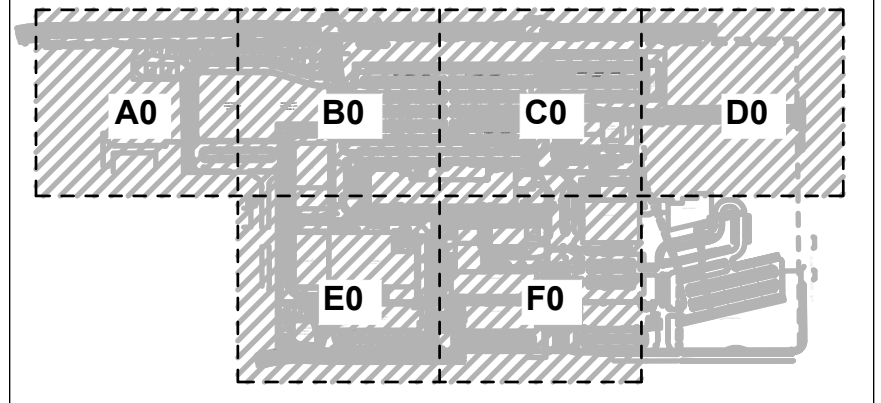
CORBIN
 CONSULTING ENGINEERS

Portland, OR
 503.224.9560
 Vancouver, WA
 360.695.7679
 Seattle, WA
 206.749.9993

www.mackenzie.inc
MACKENZIE.

JACOBS PROJECT No.: D3822800
 CLIENT PROJECT No.:
 DRAWN: REVIEWED:
 DESIGNED: APPROVED:
 NOTICE: STAMP:

NO	REVISION OR ISSUE	DATE	BY



NORTH

SITE

Lam
 RESEARCH

Lam Research
 C 4400 CUSHING PARKWAY
 FREMONT, CA 94538

TITLE: **PLANTING PLAN**

DATE ISSUED: DRAWING SCALE: 1" = 20'
 REVIT FILE: BUILDING DESIGNATOR:
 DRAWING NUMBER: **SLA-16E1**

MATCHLINE - SEE SLA-16B4

BUILDING F

BUILDING X

MATCHLINE - SEE SLA-16E4

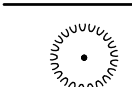


PLANT KEY LEGEND

SYMBOL BOTANICAL / COMMON NAME

TREES

-  PRUNUS SARGENTII 'JFS KW21PS' PINK MYST® SARGENT CHERRY

SHRUBS

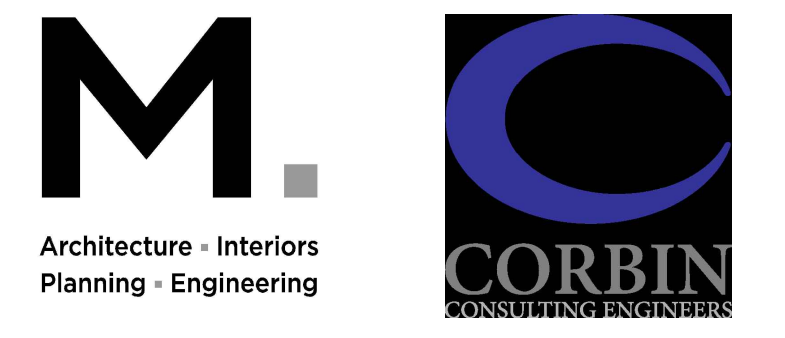
-  CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS
-  PEROVSKIA ATRIPLICIFOLIA 'BLUE SPIRES' BLUE SPIRES RUSSIAN SAGE
-  SALVIA ROSMARINUS 'TUSCAN BLUE' TUSCAN BLUE ROSEMARY

SEED MIX

-  URBAN MEADOW MIX HERITAGE SEEDLING, INC

Jacobs.

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201



Portland, OR
503.224.9560
Vancouver, WA
360.695.7679
Seattle, WA
206.749.9993

www.mackenzie.inc

MACKENZIE.

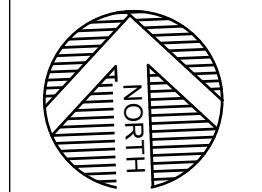
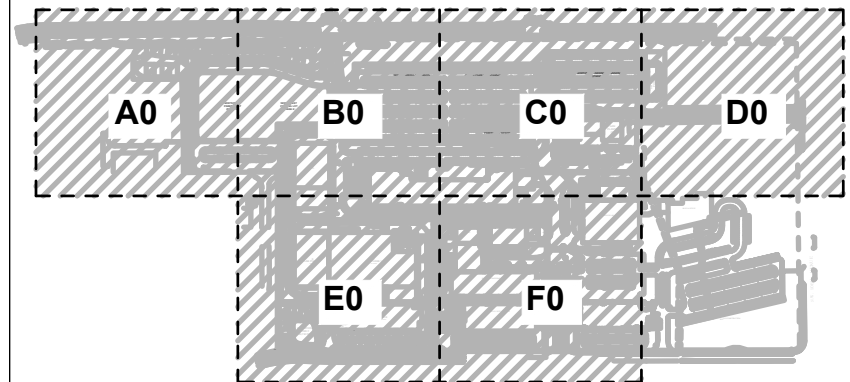
JACOBS PROJECT No.: D3822800 CLIENT PROJECT No.:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO	REVISION OR ISSUE	DATE	BY



SITE



Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE: PLANTING PLAN

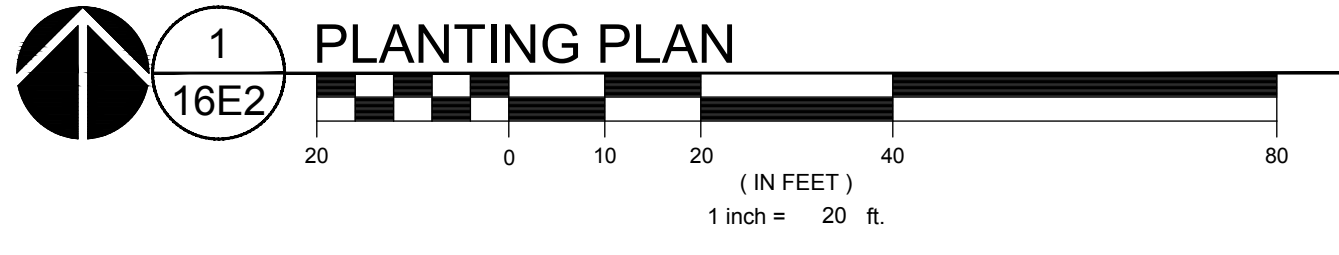
DATE ISSUED: DRAWING SCALE: 1" = 40'

REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER: SLA-16E2



KEY MAP
SCALE: NTS



MATCHLINE - SEESLA-16E1

MATCHLINE - SEE SLA-16F1

MATCHLINE - SEE SLA-16E1

PLANT KEY LEGEND

SYMBOL BOTANICAL / COMMON NAME

- TREES**
- AMELANCHIER ALNIFOLIA
 - REGENT SERVICEBERRY
 - LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'
 - SLENDER SILHOUETTE SWEET GUM
 - THUJA PLICATA 'HOGAN'
 - HOGAN WESTERN RED CEDAR
- SHRUBS**
- ACER CIRCINATUM
 - VINE MAPLE
 - IRIS DOUGLASIANA
 - DOUGLAS IRIS
 - MAHONIA NERVOSA
 - OREGON GRAPE
 - MISCANTHUS SINENSIS 'MALEPARTUS'
 - MALEPARTUS EULALIA GRASS
 - PHILADELPHUS LEWISII
 - WILD MOCKORANGE
 - RIBES SANGUINEUM
 - RED FLOWERING CURRANT
 - ROSA GYMNOCARPA
 - WOOD ROSE
 - ROSA NUTKANA
 - NOOTKA ROSE
 - SPIRAEA DOUGLASII
 - WESTERN SPIREA
 - SYMPHORICARPOS ALBUS
 - COMMON WHITE SNOWBERRY

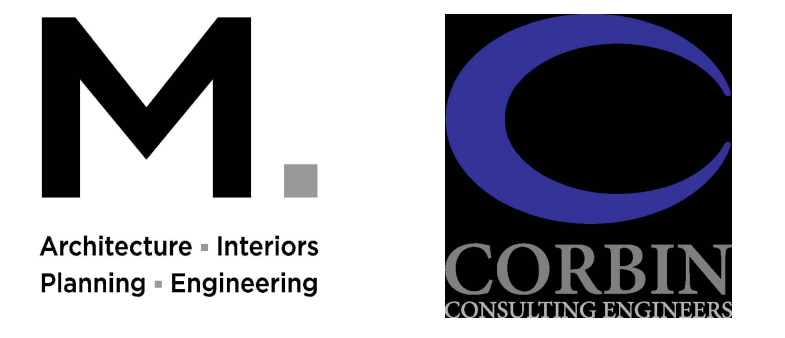
- MATERIALS**
- BARK MULCH

- SEED MIX**
- NATIVE UPLANDS MIX
 - SUNMARK SEEDS
 - OAK WOODLAND UNDERSTORY MIX
 - HERITAGE SEEDLING, INC
 - PT 310
 - PROTIME LUSH LAWN MIX

- STORMWATER**
- STORMWATER ZONE A (BOTTOM) HERBACEOUS PLANTS
 - STORMWATER ZONE B (SIDE SLOPES) SHRUBS AND GROUNDCOVER
 - SWALE - ZONE B (FREEBOARD) FREEBOARD AREA

Jacobs.

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

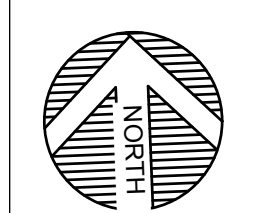
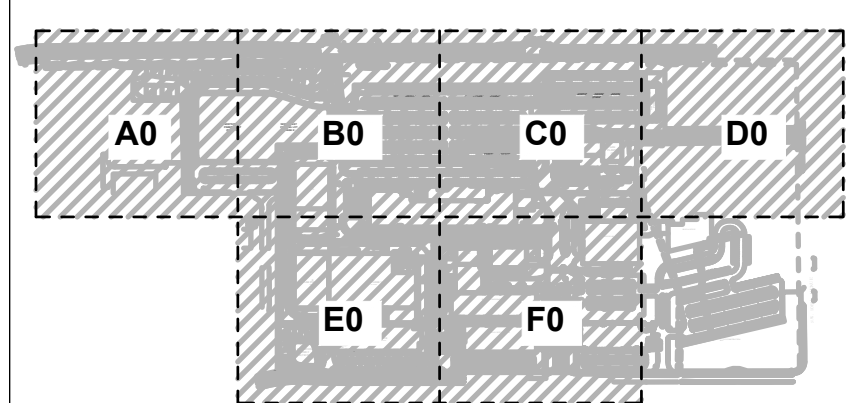


Portland, OR
503.224.9560
Vancouver, WA
360.695.7679
Seattle, WA
206.749.9993

www.mackenzie.inc
MACKENZIE.

JACOBS PROJECT No.: D3822800	CLIENT PROJECT No.:
DRAWN:	REVIEWED:
DESIGNED:	APPROVED:
NOTICE:	STAMP:

NO	REVISION OR ISSUE	DATE	BY



SITE

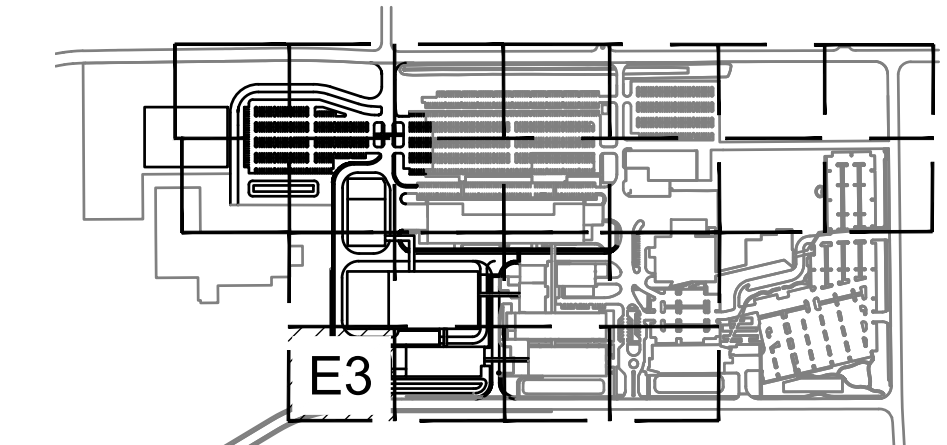
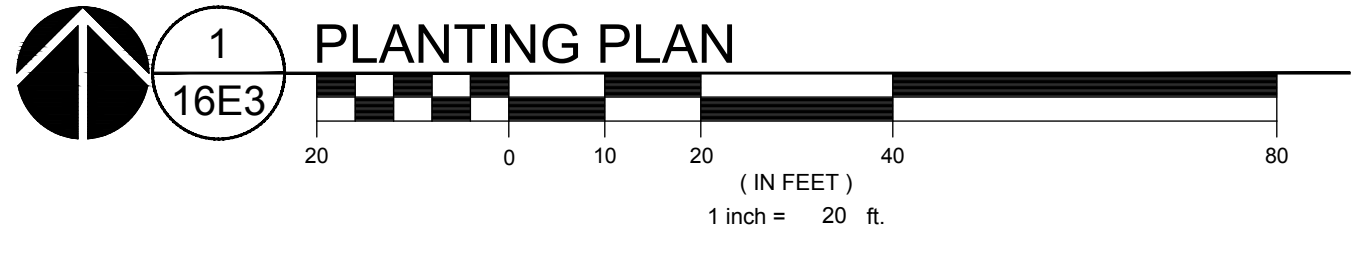
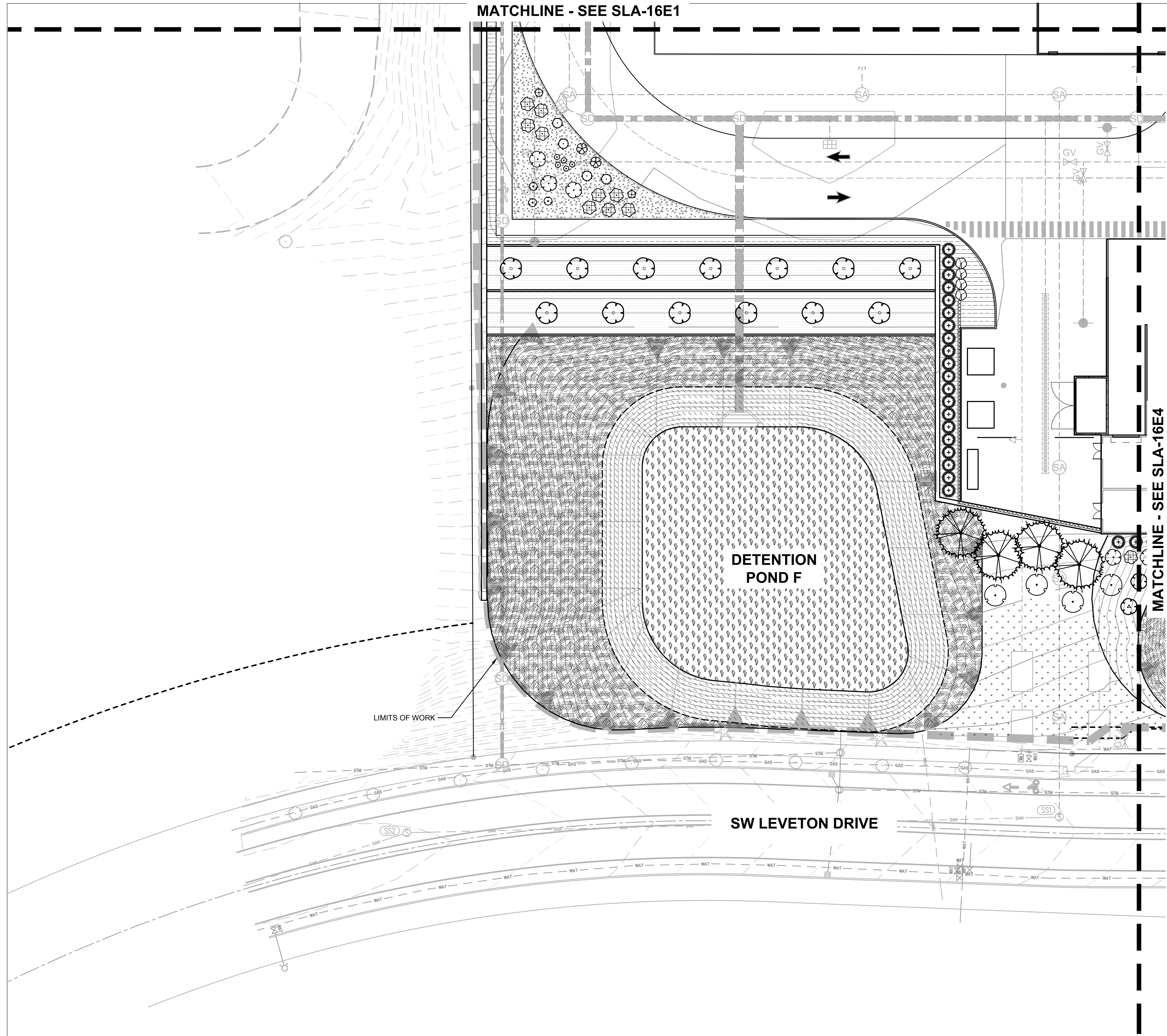


Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

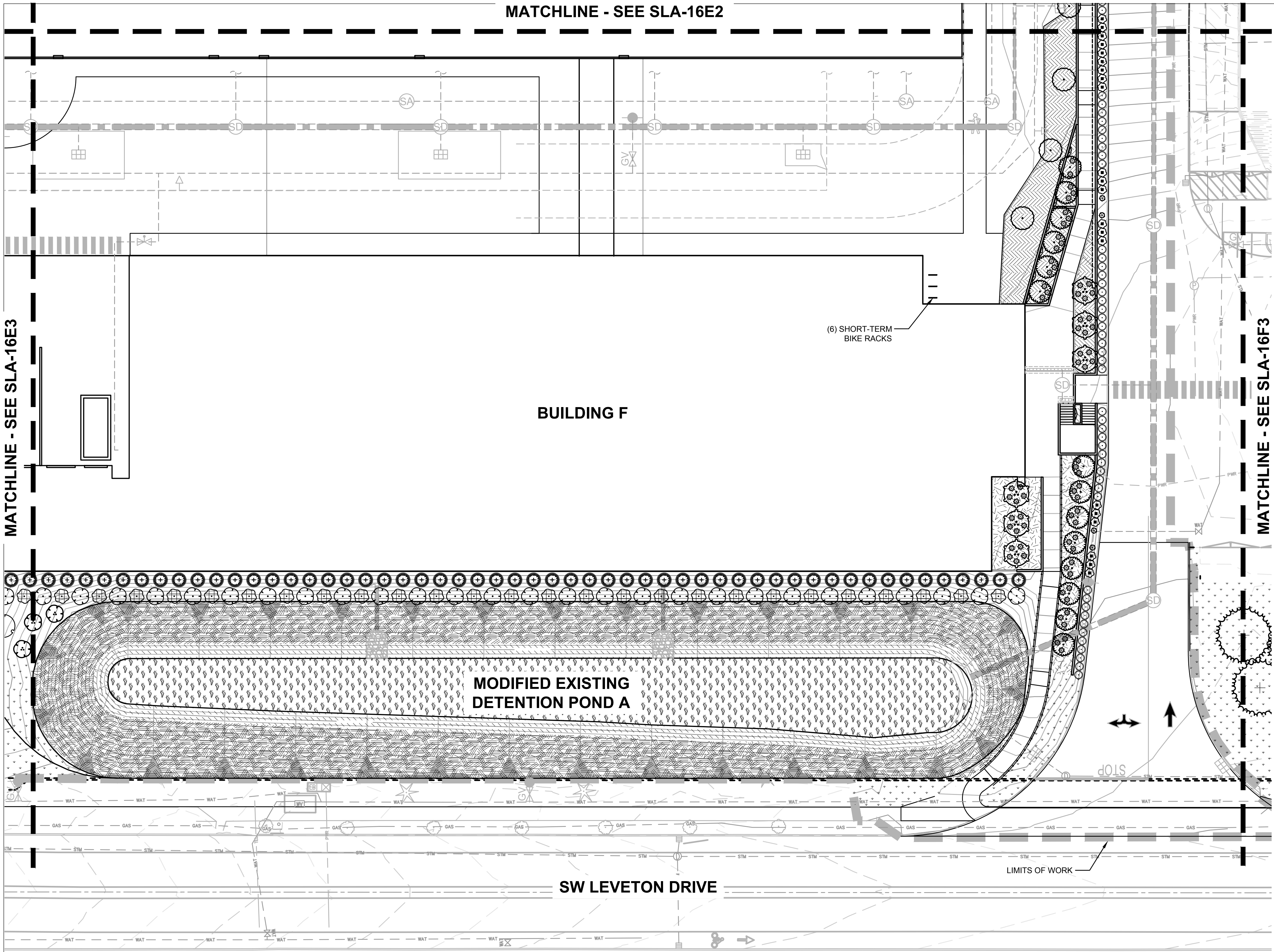
TITLE:
PLANTING PLAN

DATE ISSUED: DRAWING SCALE: 1" = 40'
REVIT FILE: BUILDING DESIGNATOR:
DRAWING NUMBER:

SLA-16E3



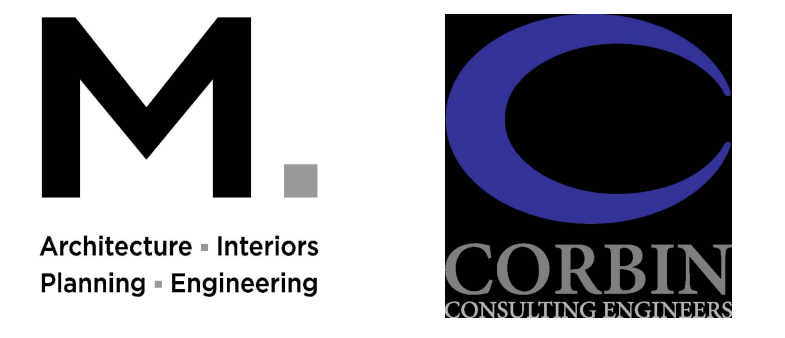
KEY MAP
SCALE: NTS



PLANT KEY LEGEND



Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

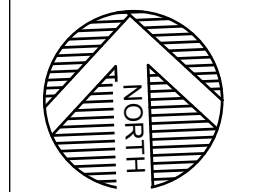
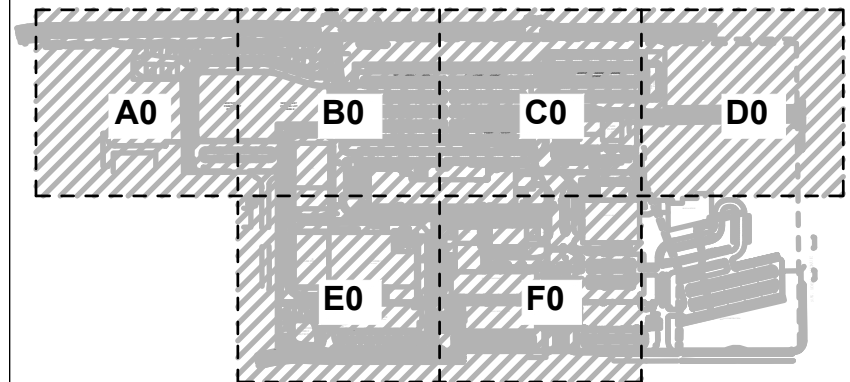


Portland, OR 503.224.9560
Vancouver, WA 360.695.7879
Seattle, WA 206.749.9993

www.mackenzie.inc
MACKENZIE.

JACOBS PROJECT No.: D3822800 CLIENT PROJECT No.:
DRAWN: REVIEWED:
DESIGNED: APPROVED:
NOTICE: STAMP:

NO	REVISION OR ISSUE	DATE	BY
----	-------------------	------	----

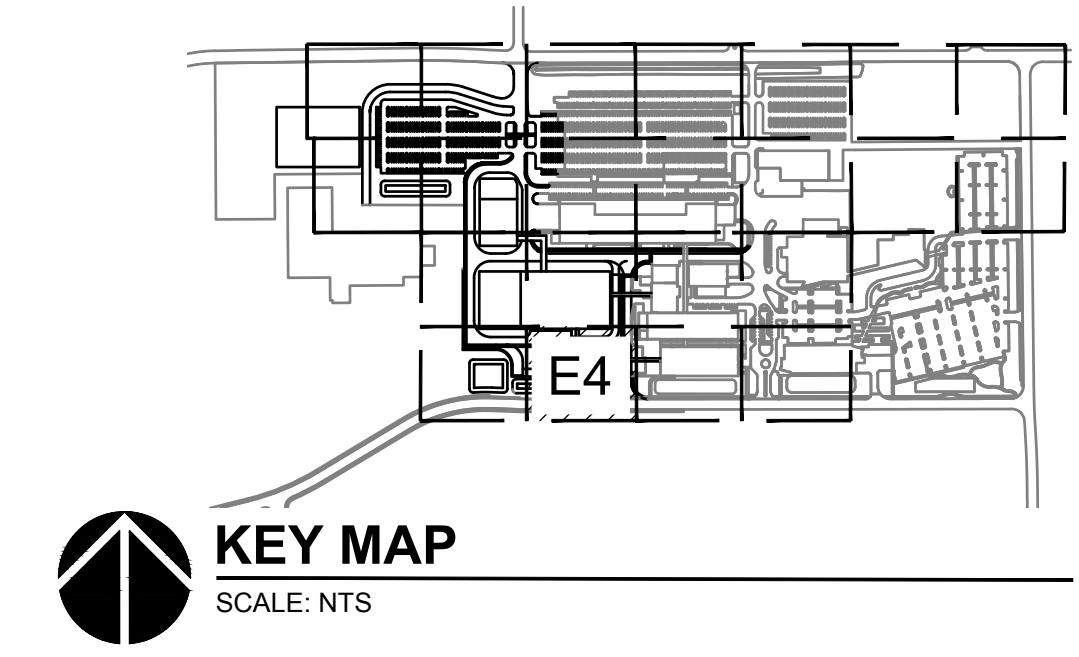


SITE

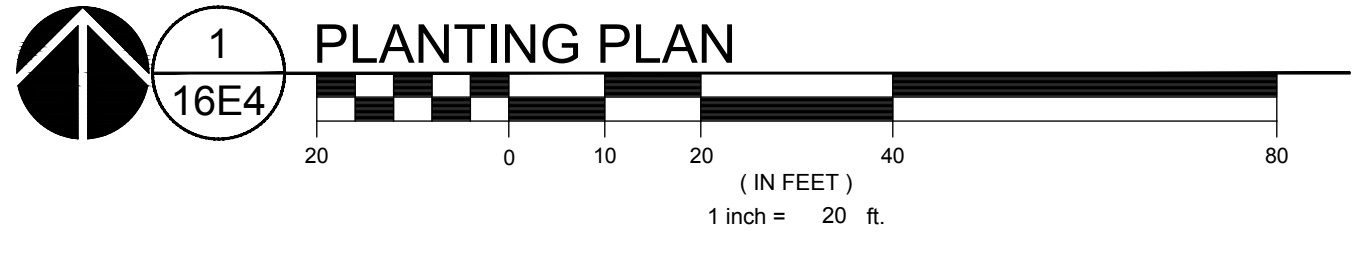


Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

PLANTING PLAN

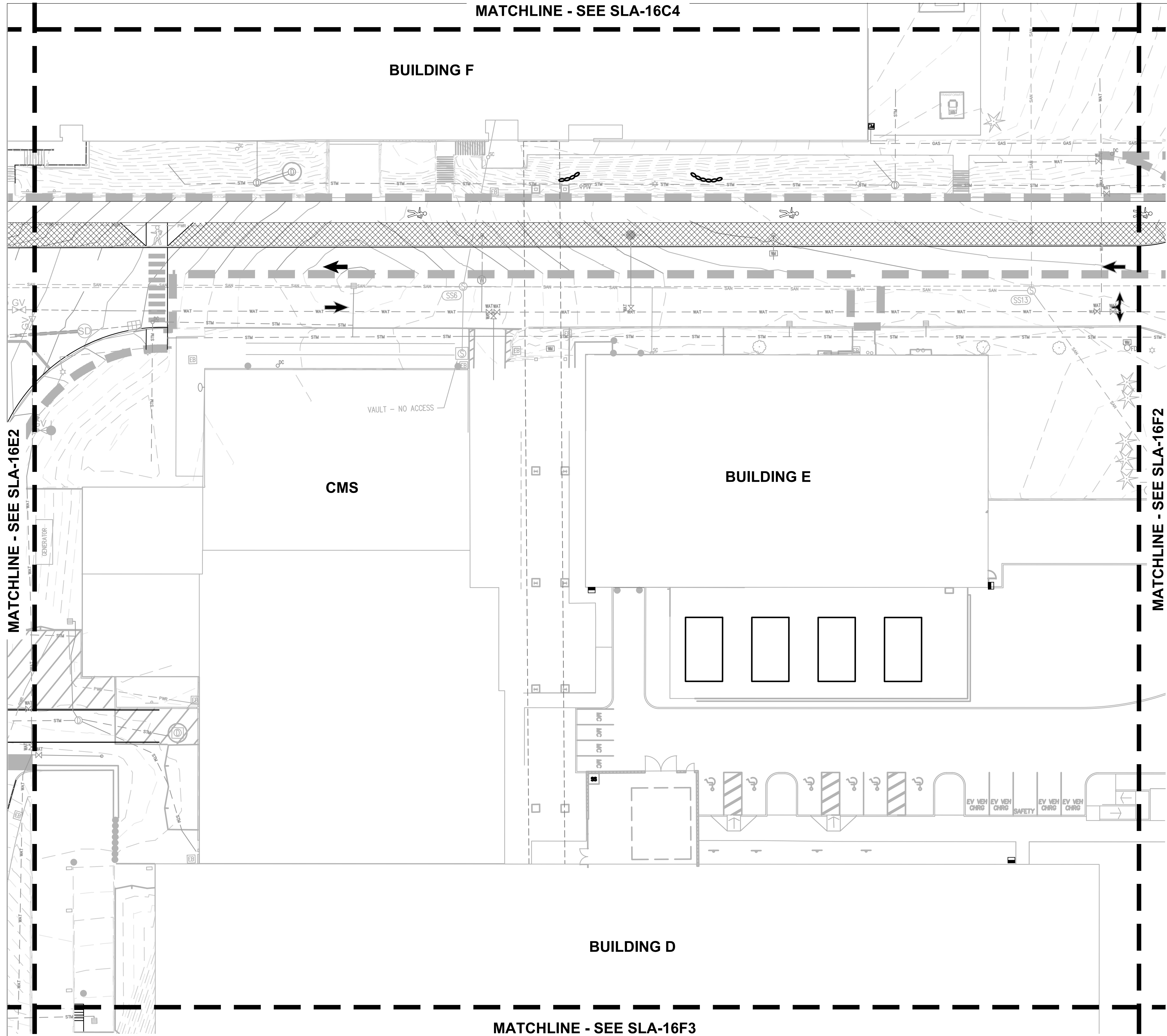


KEY MAP
SCALE: NTS



DATE ISSUED: DRAWING SCALE: 1" = 40'
REVIT FILE: BUILDING DESIGNATOR:
DRAWING NUMBER:

SLA-16E4



PLANT KEY LEGEND

SYMBOL	BOTANICAL / COMMON NAME
	SEED MIX
	URBAN MEADOW MIX
	HERITAGE SEEDLING, INC

Jacobs.
 Portland Office
 2020 S.W. 4th Avenue, 3rd Floor
 Portland, Oregon 97201

M.
 Architecture - Interiors
 Planning - Engineering

CORBIN
 CONSULTING ENGINEERS

Portland, OR
 503.224.9560
 Vancouver, WA
 360.695.7679
 Seattle, WA
 206.749.9993

www.mackenzie.inc

MACKENZIE.

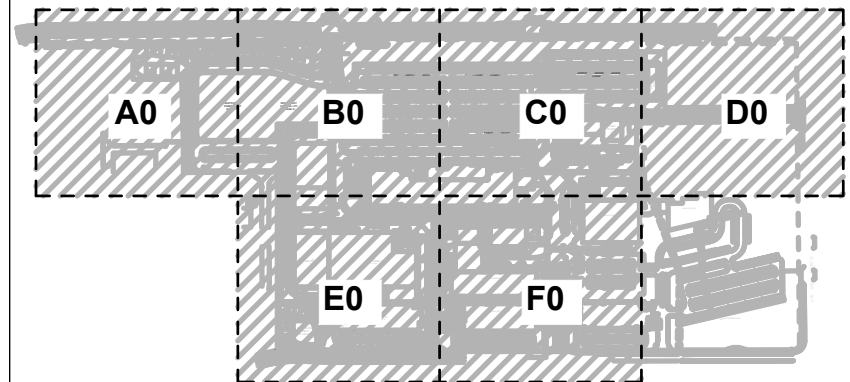
JACOBS PROJECT No.: D3822800 CLIENT PROJECT No.:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO	REVISION OR ISSUE	DATE	BY



NORTH

SITE

Lam
 RESEARCH

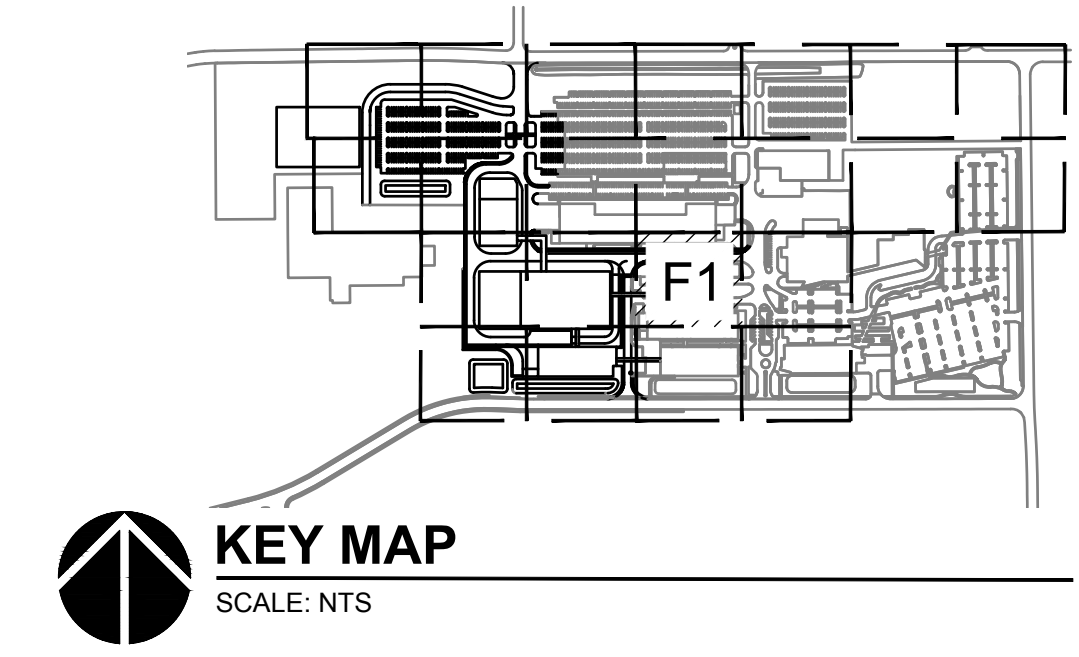
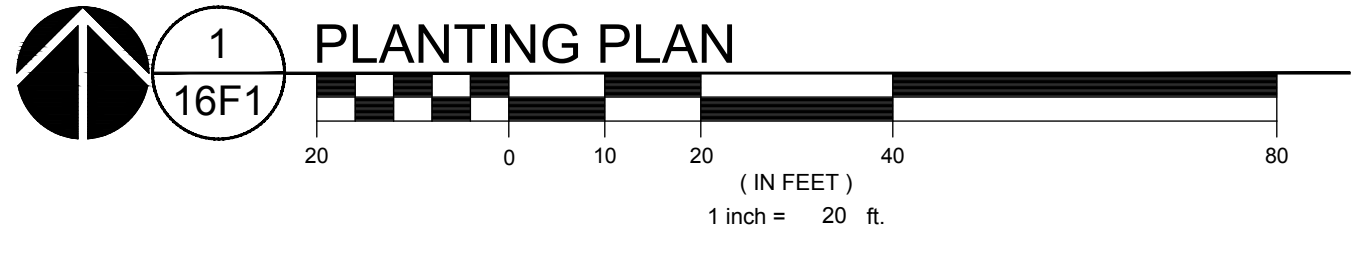
Lam Research
 C 4400 CUSHING PARKWAY
 FREMONT, CA 94538

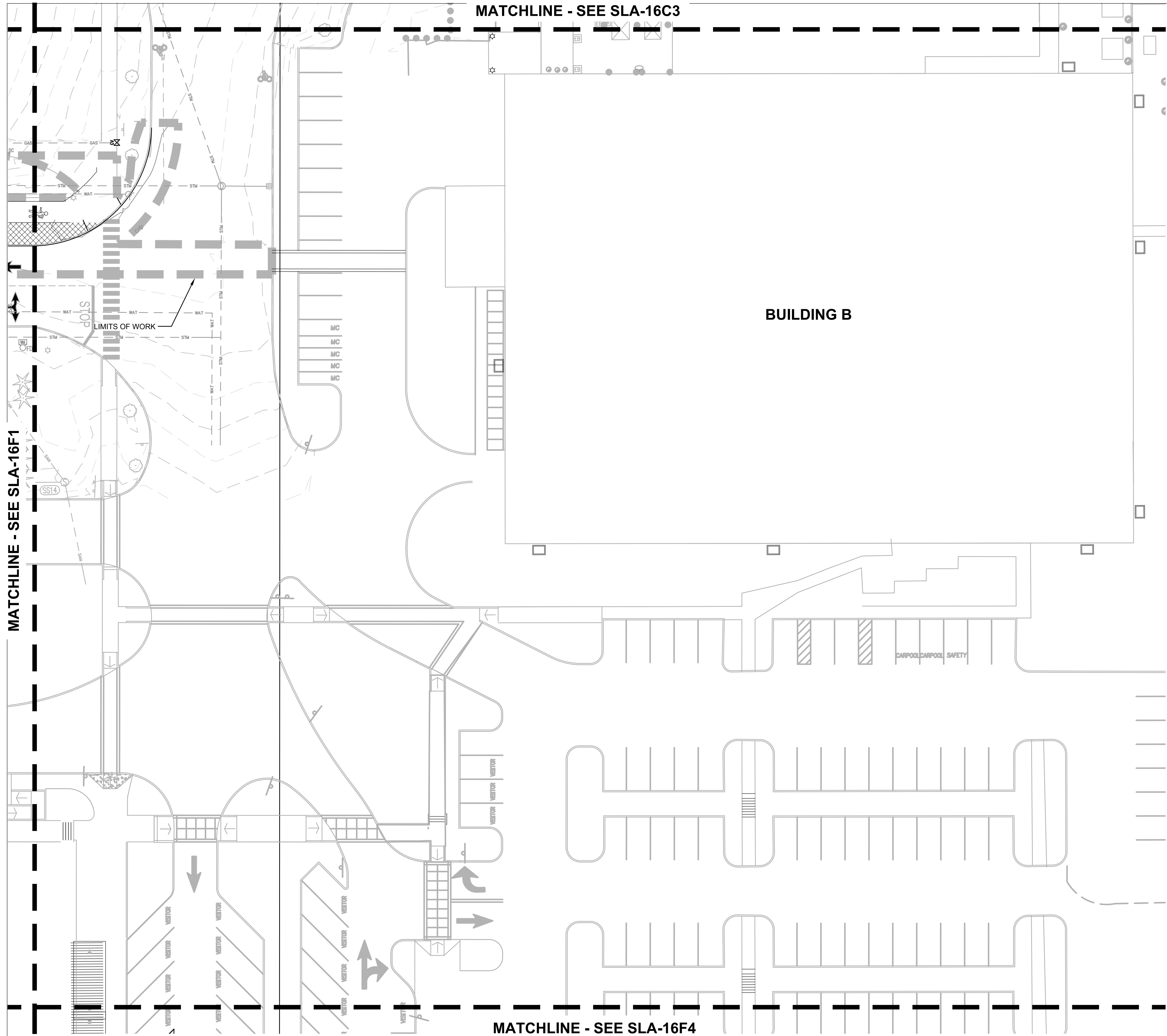
TITLE: **PLANTING PLAN**

DATE ISSUED: DRAWING SCALE: 1" = 20'

REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER: **SLA-16F1**



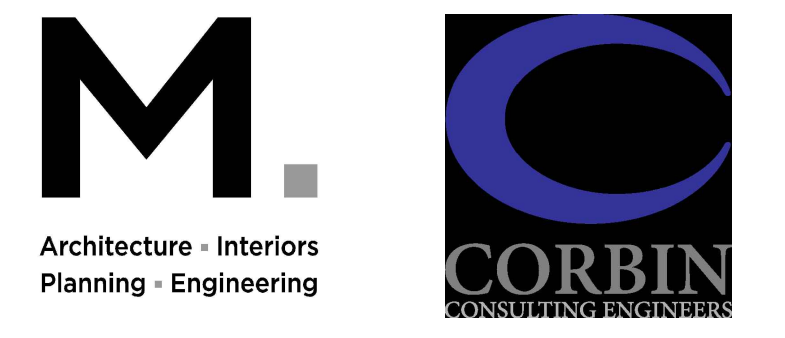


PLANT KEY LEGEND

SYMBOL	BOTANICAL / COMMON NAME
	SEED MIX
	URBAN MEADOW MIX
	HERITAGE SEEDLING, INC

Jacobs.

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

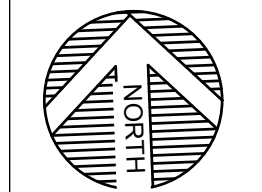
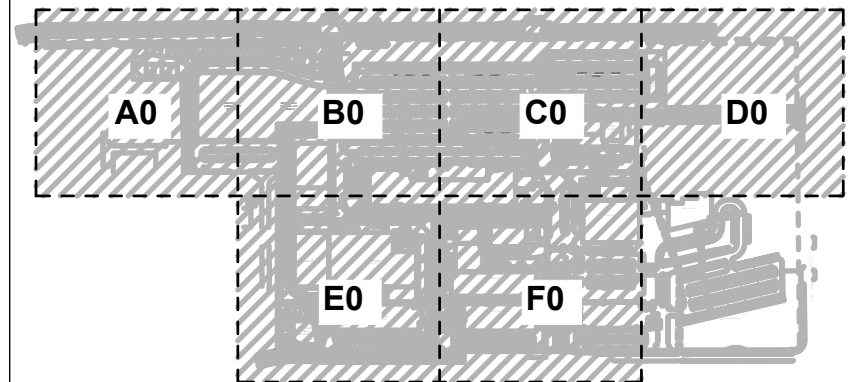


Portland, OR
503.224.9560
Vancouver, WA
360.695.7679
Seattle, WA
206.749.9993

www.mackenzie.inc
MACKENZIE.

JACOBS PROJECT No.: D3822800	CLIENT PROJECT No.:
DRAWN:	REVIEWED:
DESIGNED:	APPROVED:
NOTICE:	STAMP:

NO	REVISION OR ISSUE	DATE	BY



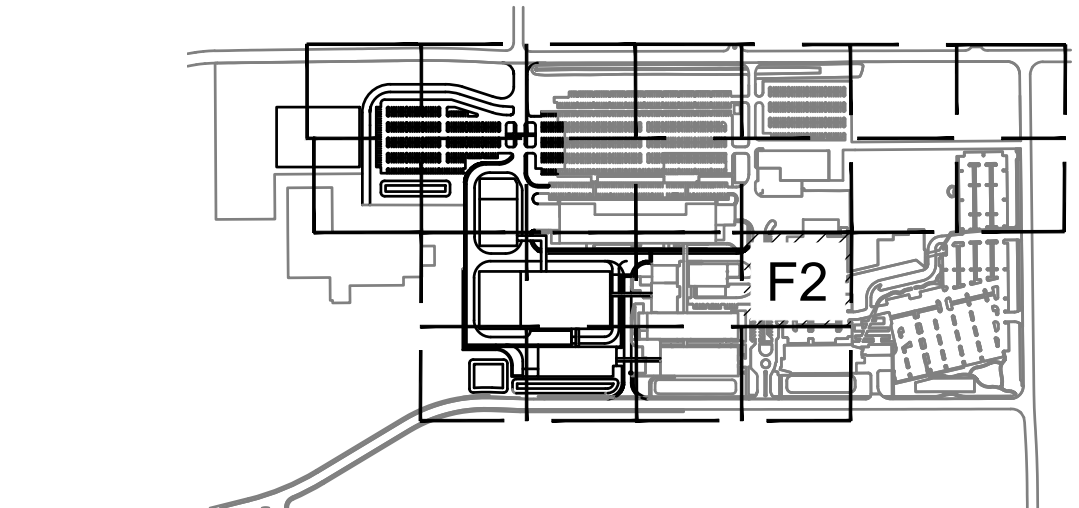
SITE



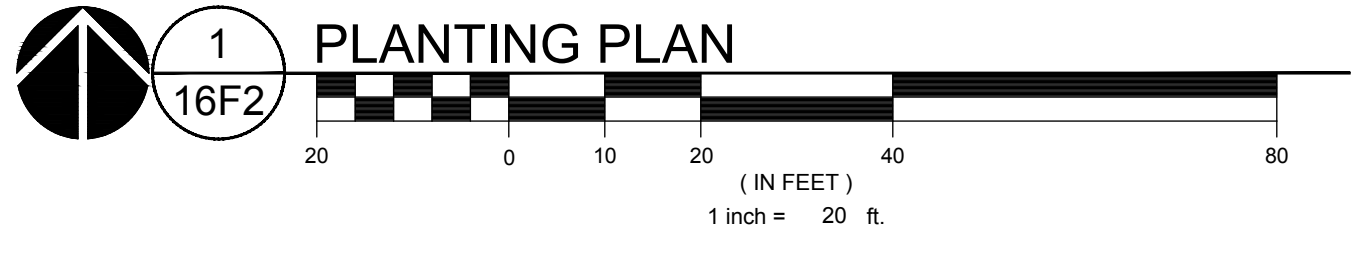
Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE:
PLANTING PLAN

DATE ISSUED:	DRAWING SCALE: 1" = 20'
REVIT FILE:	BUILDING DESIGNATOR:
DRAWING NUMBER:	SLA-16F2



KEY MAP
SCALE: NTS



MATCHLINE - SEESLA-16F1

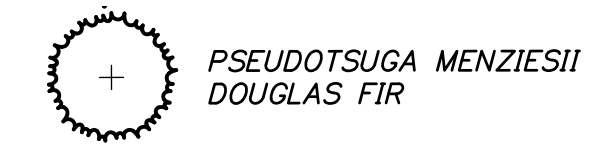
BUILDING D

BUILDING C

POND B

SW LEVETON DRIVE

PLANT KEY LEGEND



PSEUDOTSUGA MENZIESII
DOUGLAS FIR

Jacobs.

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M.

Architecture - Interiors
Planning - Engineering



Portland, OR
503.224.9560
Vancouver, WA
360.695.7679
Seattle, WA
206.749.9993

www.mackenzie.inc

MACKENZIE.

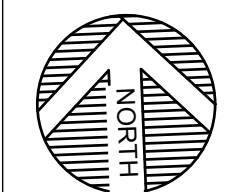
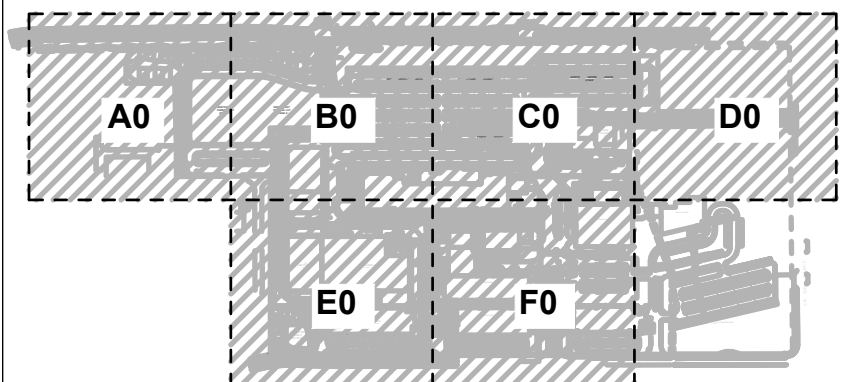
JACOBS PROJECT No.: D3822800 CLIENT PROJECT No.:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO REVISION OR ISSUE DATE BY



SITE



Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE:
PLANTING PLAN

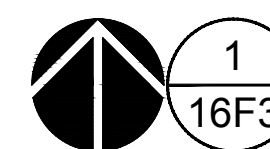
DATE ISSUED: DRAWING SCALE: 1" = 40'

REVIT FILE: BUILDING DESIGNATOR:

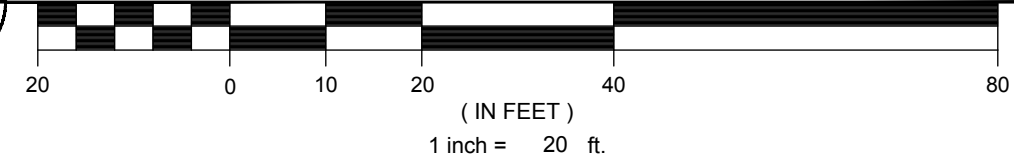
DRAWING NUMBER:
SLA-16F3

MATCHLINE - SEE SLA-16E4

MATCHLINE - SEE SLA-16F4

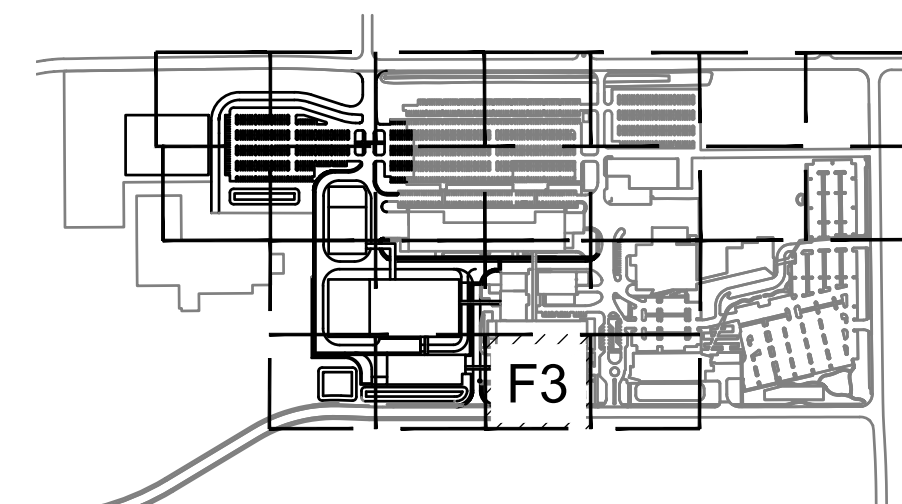


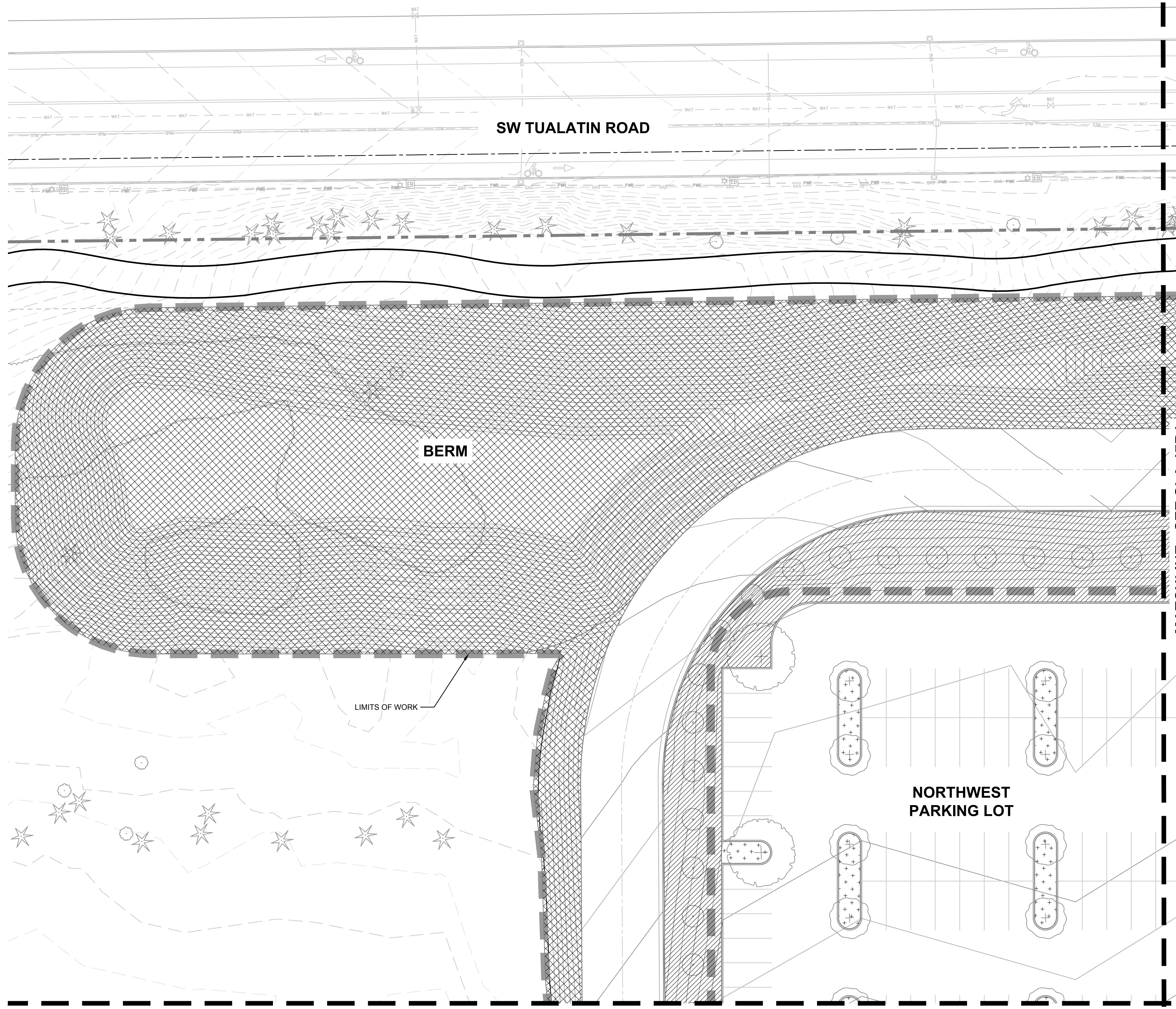
1
16F3 PLANTING PLAN



KEY MAP

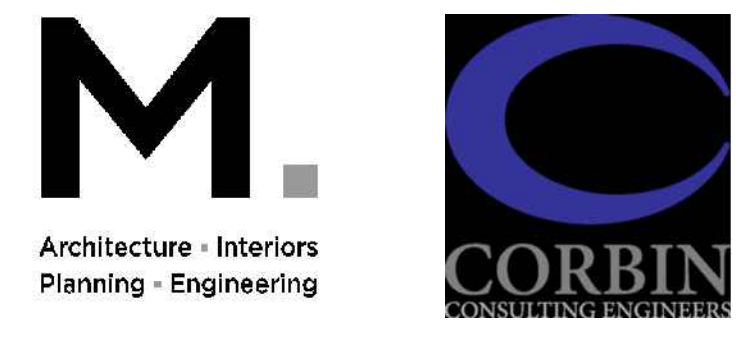
SCALE: NTS



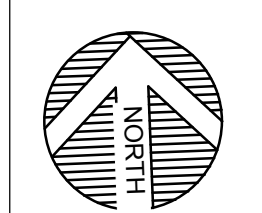
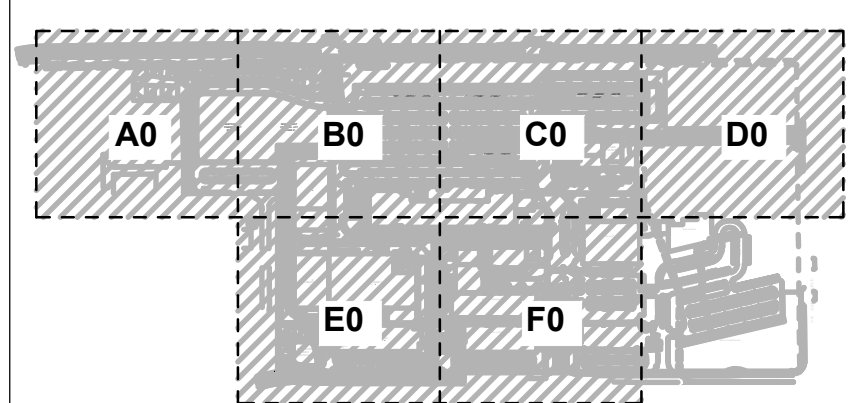


IRRIGATION LEGEND

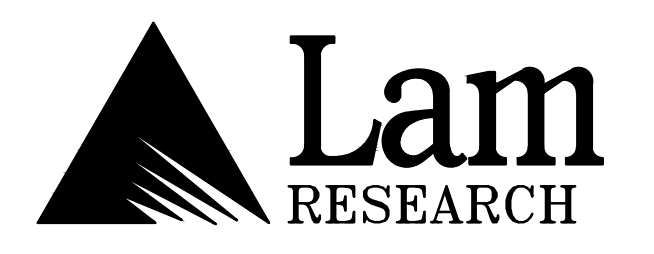
- HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - MODERATE WATER USE
- HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - LOW WATER USE
- HIGH-EFFICIENCY MATCHED PRECIPITATION RATE SPRAY - HIGH WATER USE
- SEEDED MEADOW - TEMPORARY SPRAY
- STORMWATER AREA - TEMPORARY SPRAY
- STORMWATER AREA - PERMANENT SPRAY



NO	REVISION OR ISSUE	DATE	BY



SITE



Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

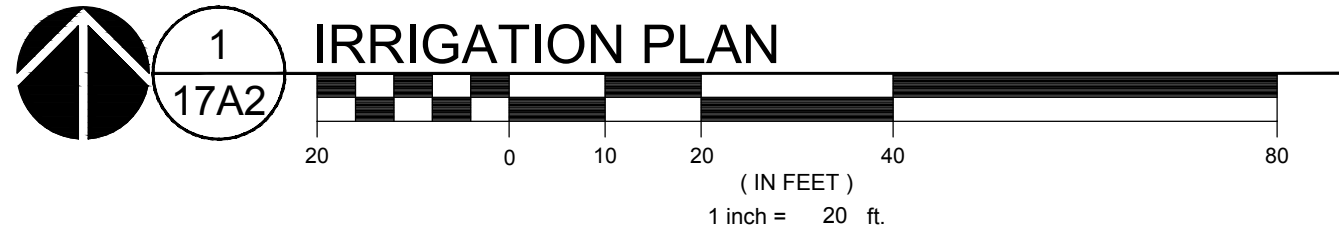
TITLE:
IRRIGATION PLAN

DATE ISSUED: DRAWING SCALE: 1" = 20'

REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:

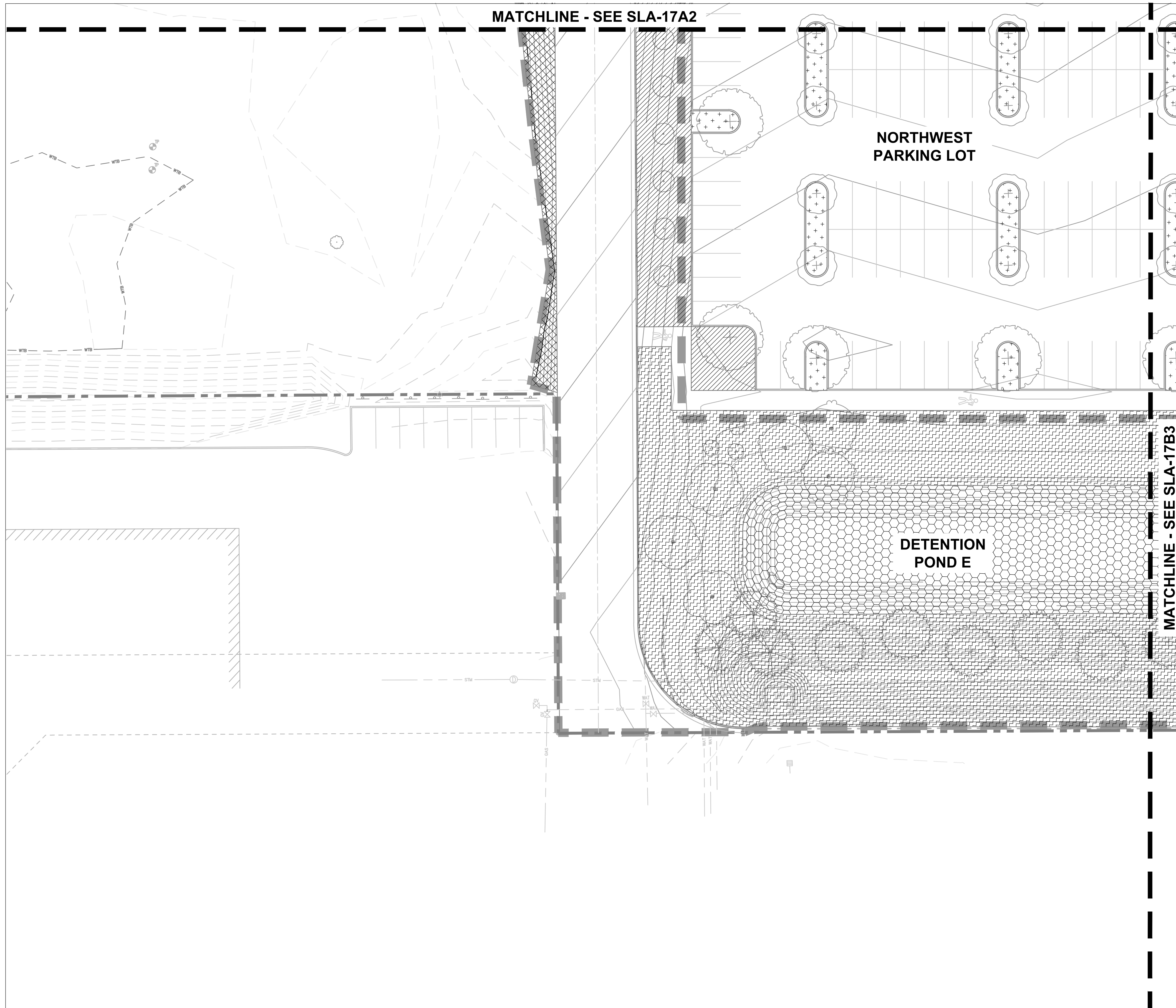
SLA-17A2



1 IRRIGATION PLAN
17A2



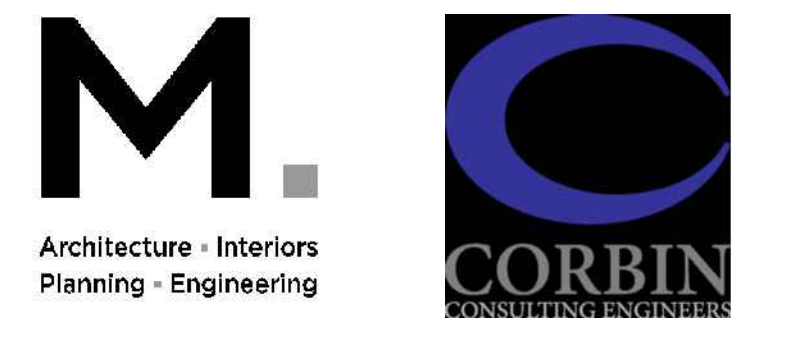
KEY MAP
SCALE: NTS



- IRRIGATION LEGEND**
- HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - MODERATE WATER USE
 - HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - LOW WATER USE
 - HIGH-EFFICIENCY MATCHED PRECIPITATION RATE SPRAY - HIGH WATER USE
 - SEEDED MEADOW - TEMPORARY SPRAY
 - STORMWATER AREA - TEMPORARY SPRAY
 - STORMWATER AREA - PERMANENT SPRAY

Jacobs.

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201



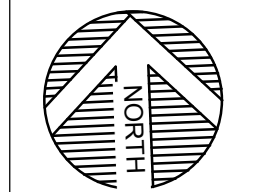
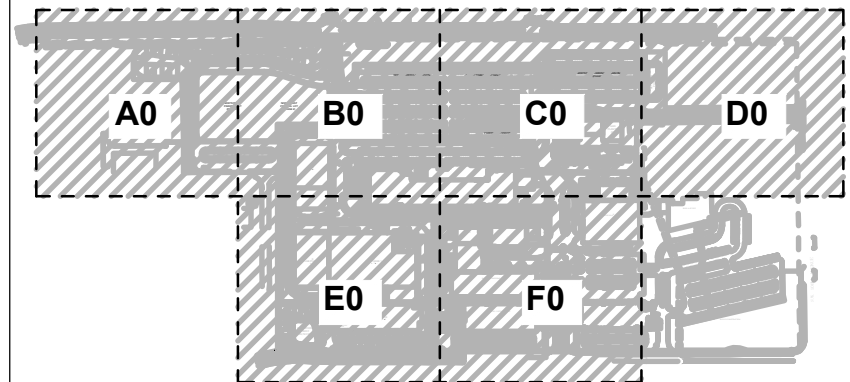
Portland, OR
503.224.9560
Vancouver, WA
360.685.7679
Seattle, WA
206.493.9395

www.mackenzie.inc

MACKENZIE.

JACOBS PROJECT No.: D3822800	CLIENT PROJECT No.:
DRAWN:	REVIEWED:
DESIGNED:	APPROVED:
NOTICE:	STAMP:

NO	REVISION OR ISSUE	DATE	BY



SITE

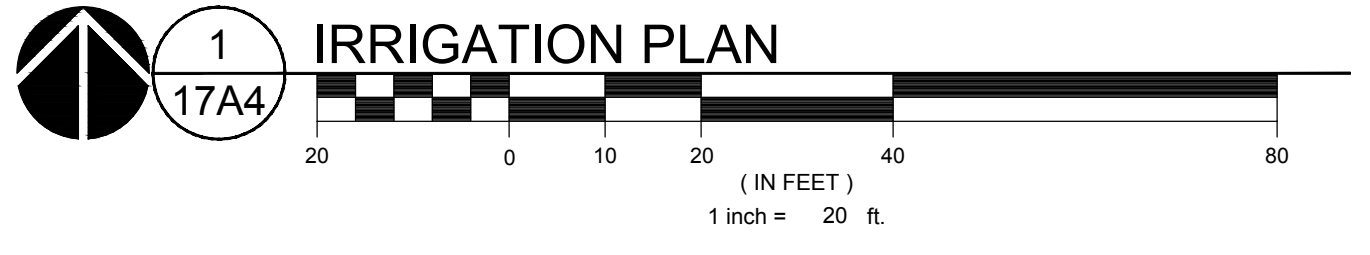


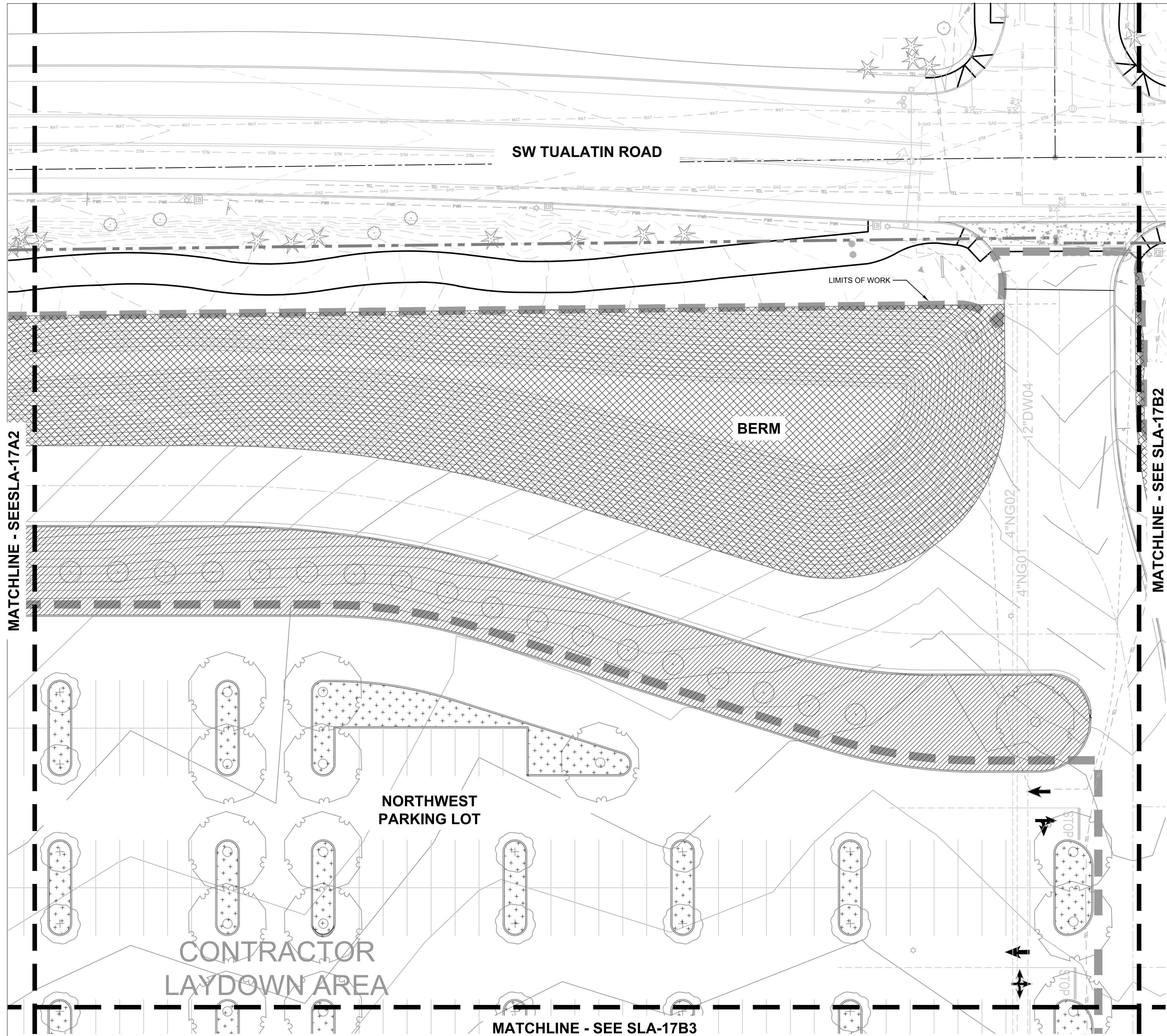
Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE:
IRRIGATION PLAN

DATE ISSUED: DRAWING SCALE: 1" = 20'
REVIT FILE: BUILDING DESIGNATOR:
DRAWING NUMBER:

SLA-17A4





IRRIGATION LEGEND

	HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - MODERATE WATER USE
	HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - LOW WATER USE
	HIGH-EFFICIENCY MATCHED PRECIPITATION RATE SPRAY - HIGH WATER USE
	SEEDED MEADOW - TEMPORARY SPRAY
	STORMWATER AREA - TEMPORARY SPRAY
	STORMWATER AREA - PERMANENT SPRAY

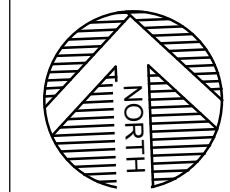
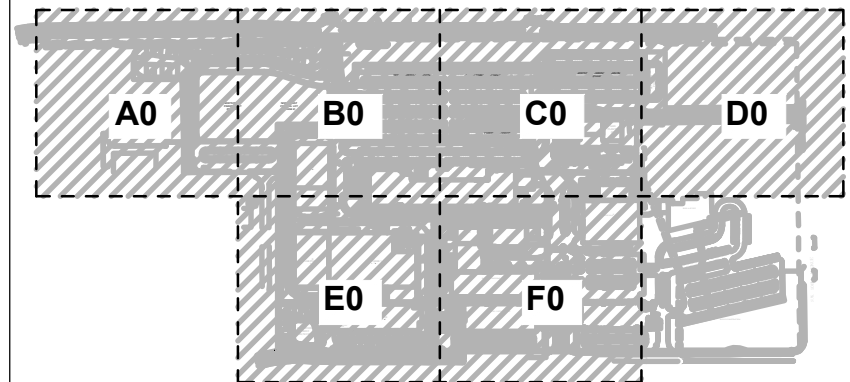


Portland, OR
503.224.9560
Vancouver, WA
360.685.7679
Seattle, WA
206.493.9395
www.mackenzieinc

MACKENZIE

JACOBS PROJECT No.: D3822800	CLIENT PROJECT No.:
DRAWN:	REVIEWED:
DESIGNED:	APPROVED:
NOTICE:	STAMP:

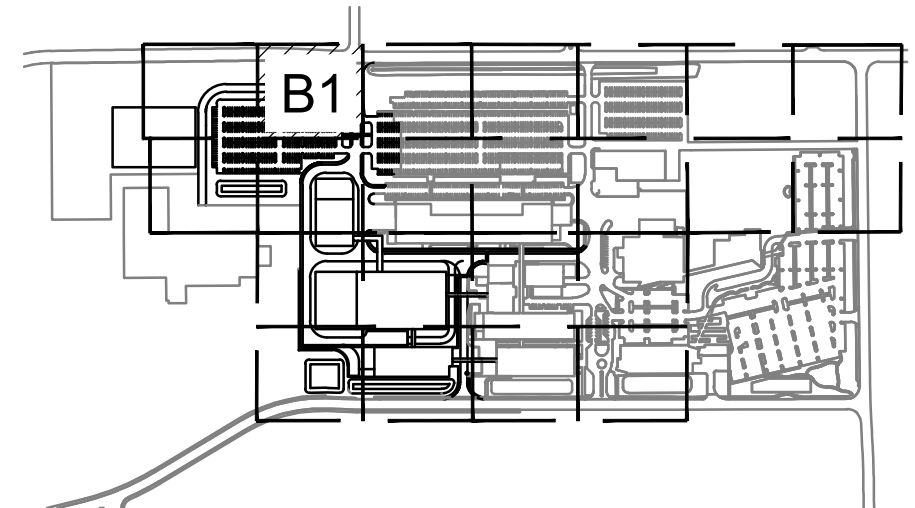
NO	REVISION OR ISSUE	DATE	BY



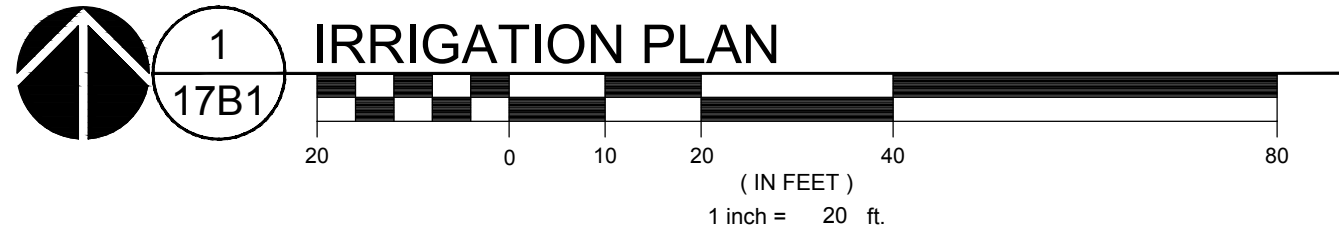
SITE



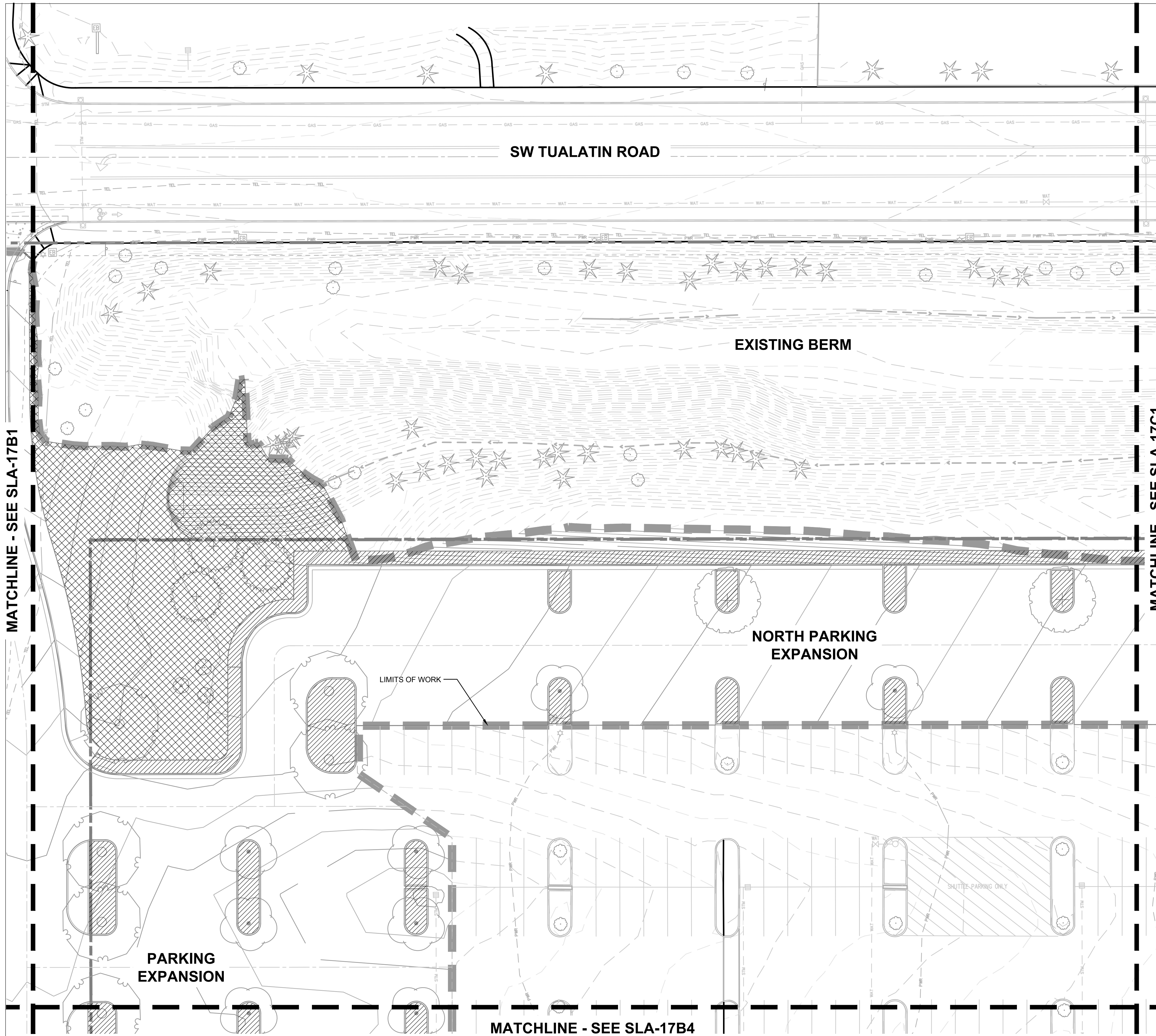
IRRIGATION PLAN



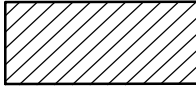
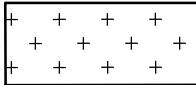
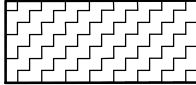

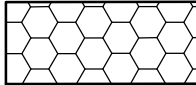

KEY MAP
SCALE: NTS



DATE ISSUED: DRAWING SCALE: 1" = 20'
REVIT FILE: BUILDING DESIGNATOR:
DRAWING NUMBER: **SLA-17B1**

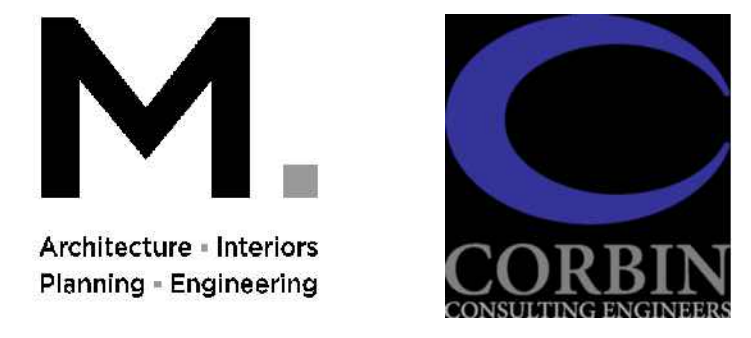


IRRIGATION LEGEND

-  HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - MODERATE WATER USE
-  HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - LOW WATER USE
-  HIGH-EFFICIENCY MATCHED PRECIPITATION RATE SPRAY - HIGH WATER USE
-  SEEDED MEADOW - TEMPORARY SPRAY
-  STORMWATER AREA - TEMPORARY SPRAY
-  STORMWATER AREA - PERMANENT SPRAY

Jacobs.

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201



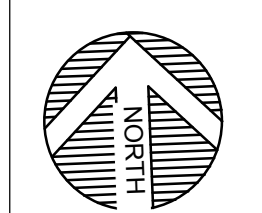
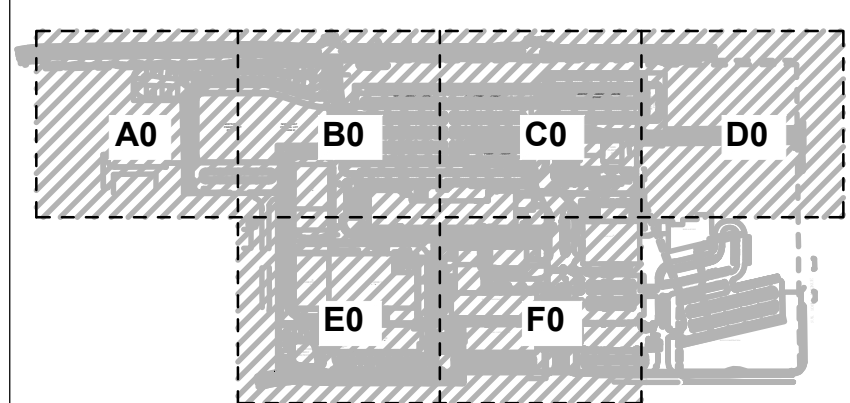
Portland, OR
503.224.9560
Vancouver, WA
360.685.7679
Seattle, WA
206.493.9395

www.mackenzie.inc

MACKENZIE.

JACOBS PROJECT No.: D3822800	CLIENT PROJECT No.:
DRAWN:	REVIEWED:
DESIGNED:	APPROVED:
NOTICE:	STAMP:

NO	REVISION OR ISSUE	DATE	BY



SITE



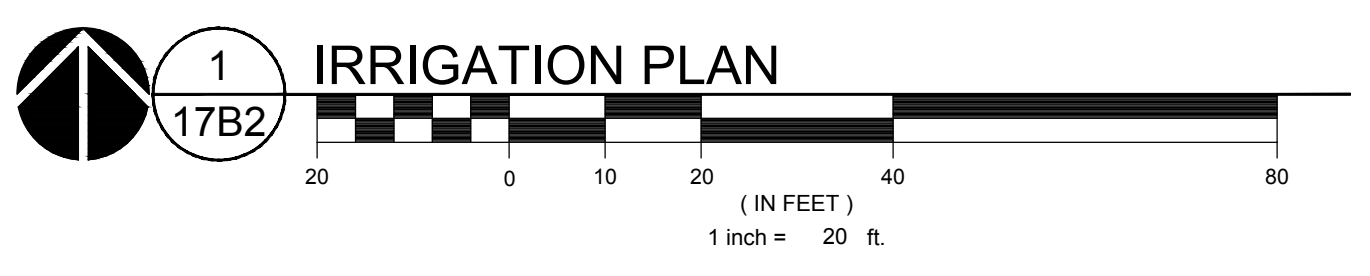
Lam RESEARCH
Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE:
IRRIGATION PLAN

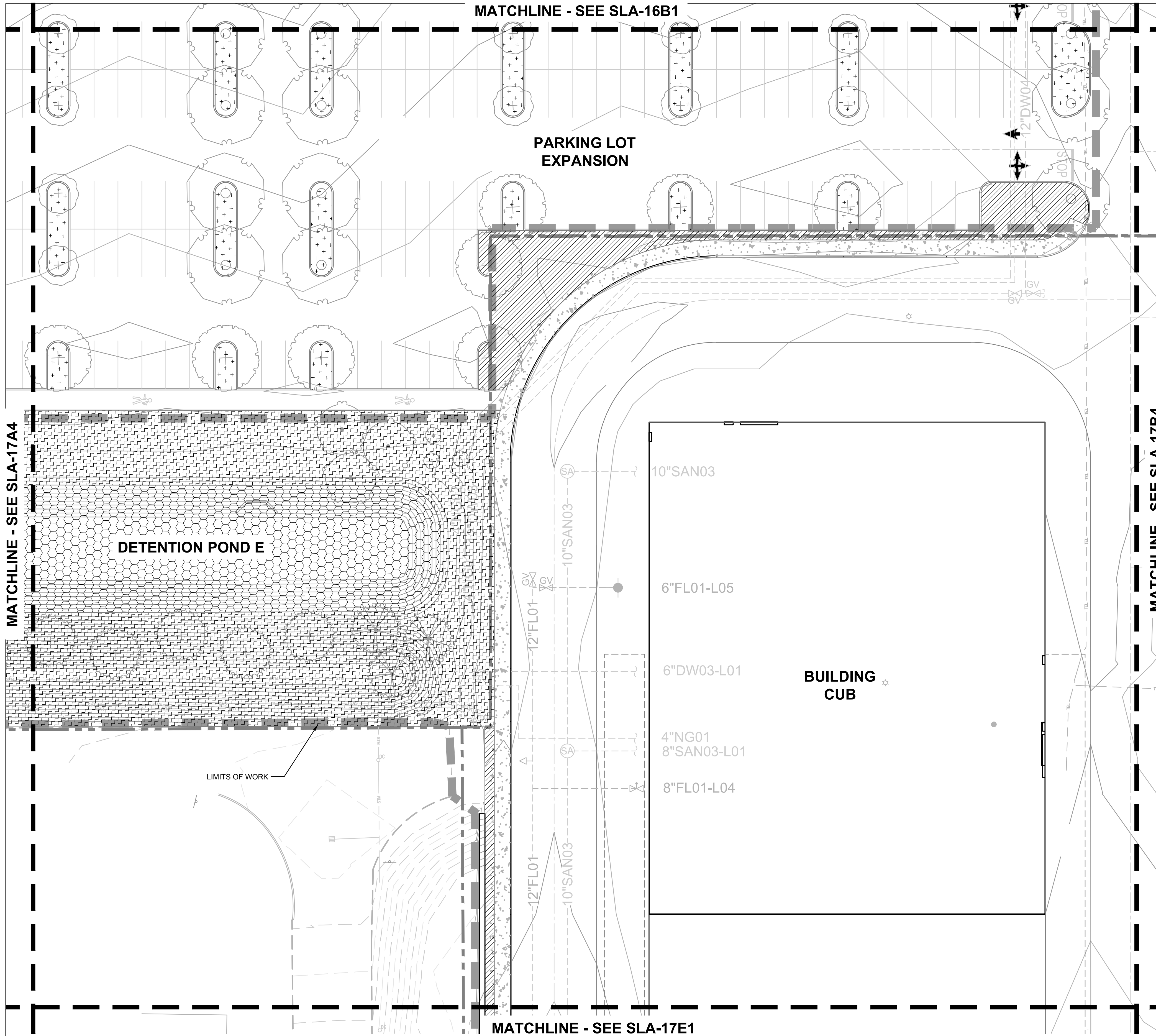
DATE ISSUED: DRAWING SCALE: 1" = 20'

REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:
SLA-17B2



KEY MAP
SCALE: NTS



- IRRIGATION LEGEND**
- HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - MODERATE WATER USE
 - HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - LOW WATER USE
 - HIGH-EFFICIENCY MATCHED PRECIPITATION RATE SPRAY - HIGH WATER USE
 - SEEDED MEADOW - TEMPORARY SPRAY
 - STORMWATER AREA - TEMPORARY SPRAY
 - STORMWATER AREA - PERMANENT SPRAY

Jacobs.
 Portland Office
 2020 S.W. 4th Avenue, 3rd Floor
 Portland, Oregon 97201

M.
 Architecture - Interiors
 Planning - Engineering

CORBIN
 CONSULTING ENGINEERS

Portland, OR 503.224.9560
 Vancouver, WA 360.682.7679
 Seattle, WA 206.493.9395
 www.mackenzie.inc

MACKENZIE.

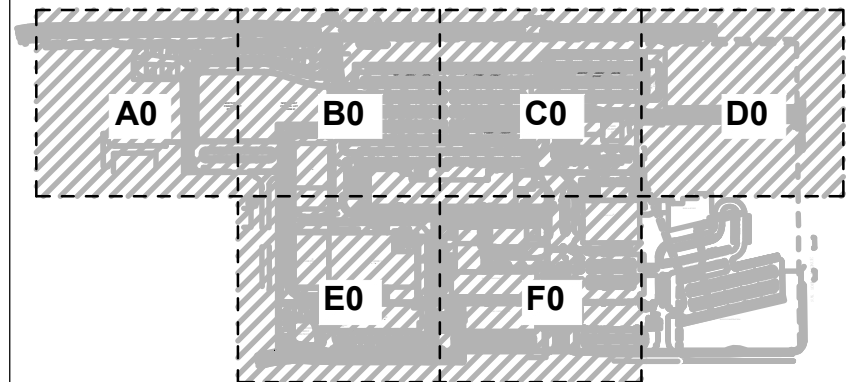
JACOBS PROJECT No.: D3822800 CLIENT PROJECT No.: _____

DRAWN: _____ REVIEWED: _____

DESIGNED: _____ APPROVED: _____

NOTICE: _____ STAMP: _____

NO	REVISION OR ISSUE	DATE	BY



NORTH

SITE

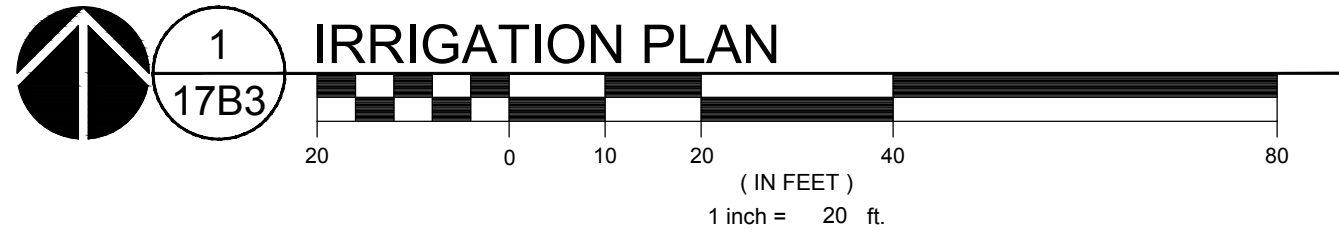
Lam RESEARCH

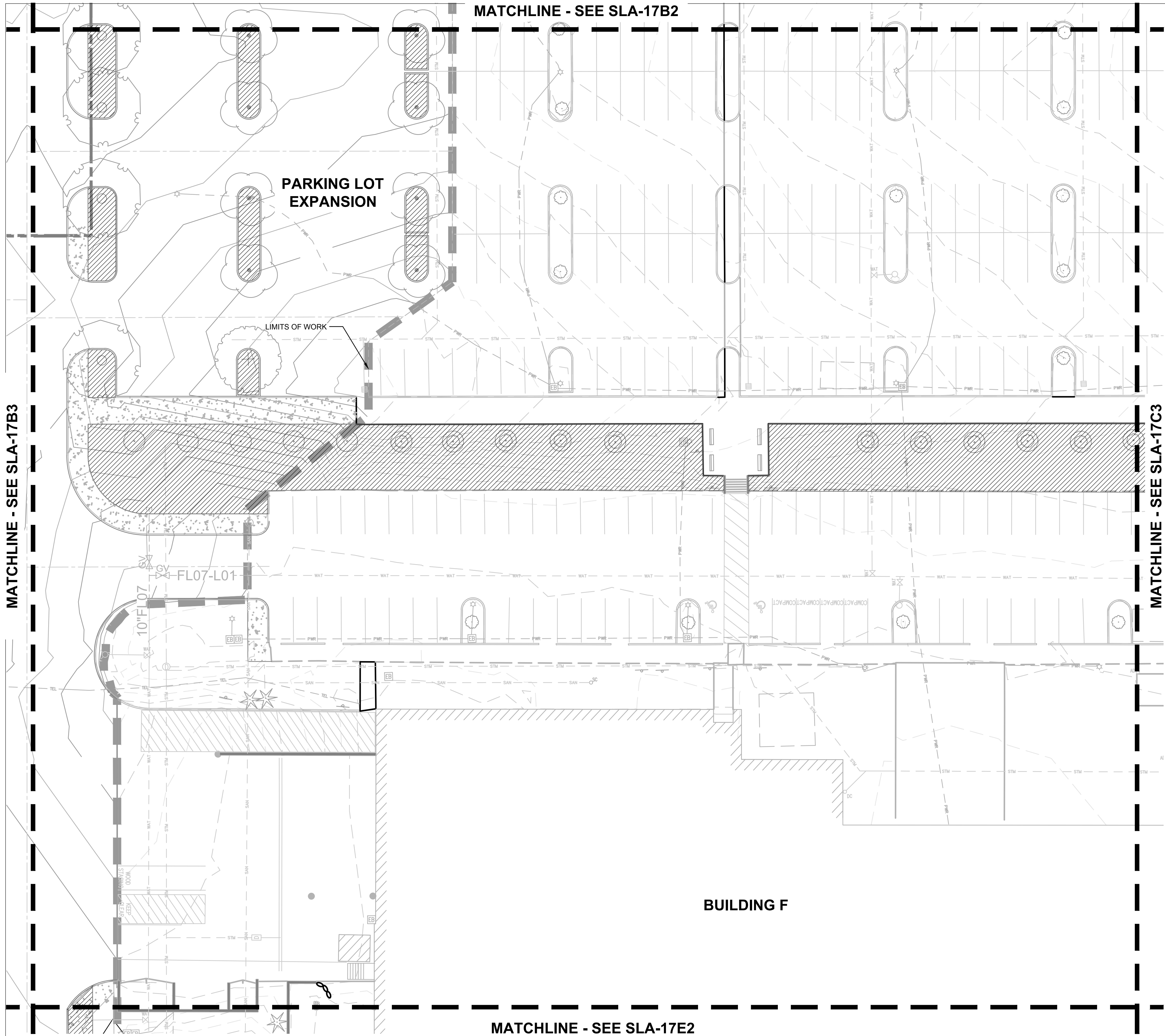
Lam Research
 C 4400 CUSHING PARKWAY
 FREMONT, CA 94538

TITLE: **IRRIGATION PLAN**

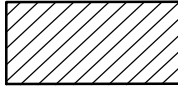
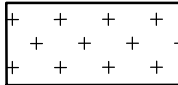
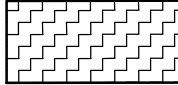
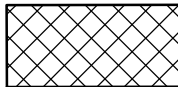
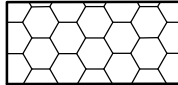

DATE ISSUED: _____ DRAWING SCALE: 1" = 20'
 REVIT FILE: _____ BUILDING DESIGNATOR: _____

DRAWING NUMBER: **SLA-17B3**



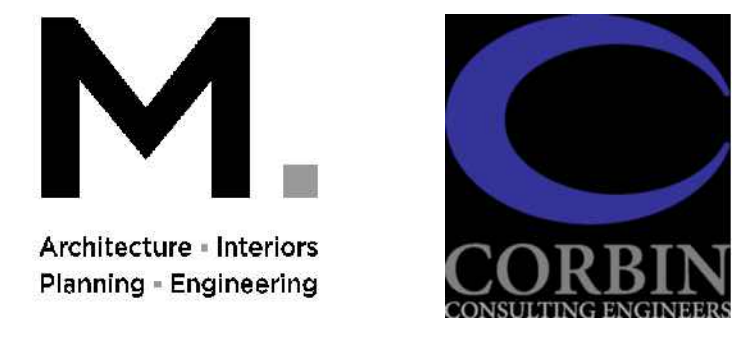


IRRIGATION LEGEND

-  HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - MODERATE WATER USE
-  HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - LOW WATER USE
-  HIGH-EFFICIENCY MATCHED PRECIPITATION RATE SPRAY - HIGH WATER USE
-  SEEDED MEADOW - TEMPORARY SPRAY
-  STORMWATER AREA - TEMPORARY SPRAY
-  STORMWATER AREA - PERMANENT SPRAY

Jacobs

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

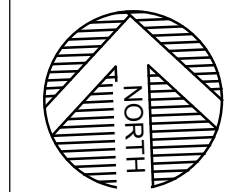
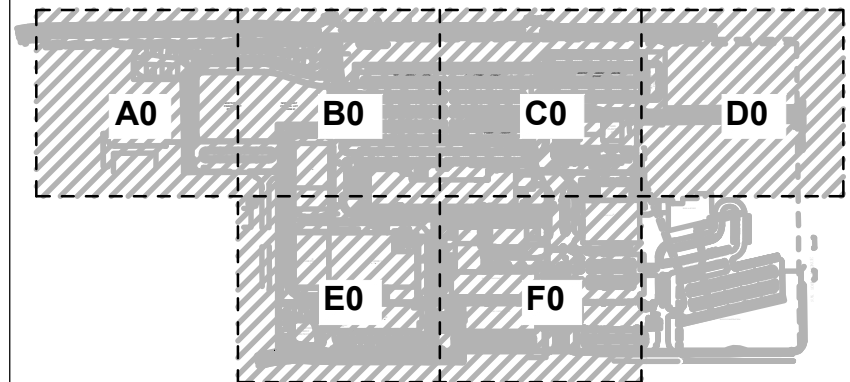


Portland, OR 503.224.9560
Vancouver, WA 360.682.7679
Seattle, WA 206.493.9395
www.mackenzie.inc

MACKENZIE

JACOBS PROJECT No.: D3822800	CLIENT PROJECT No.:
DRAWN:	REVIEWED:
DESIGNED:	APPROVED:
NOTICE:	STAMP:

NO	REVISION OR ISSUE	DATE	BY
----	-------------------	------	----



SITE



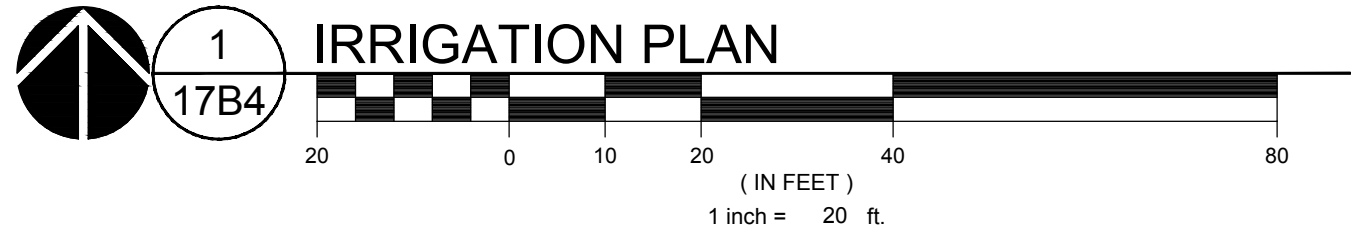
Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

IRRIGATION PLAN

DATE ISSUED: DRAWING SCALE: 1" = 20'
REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:

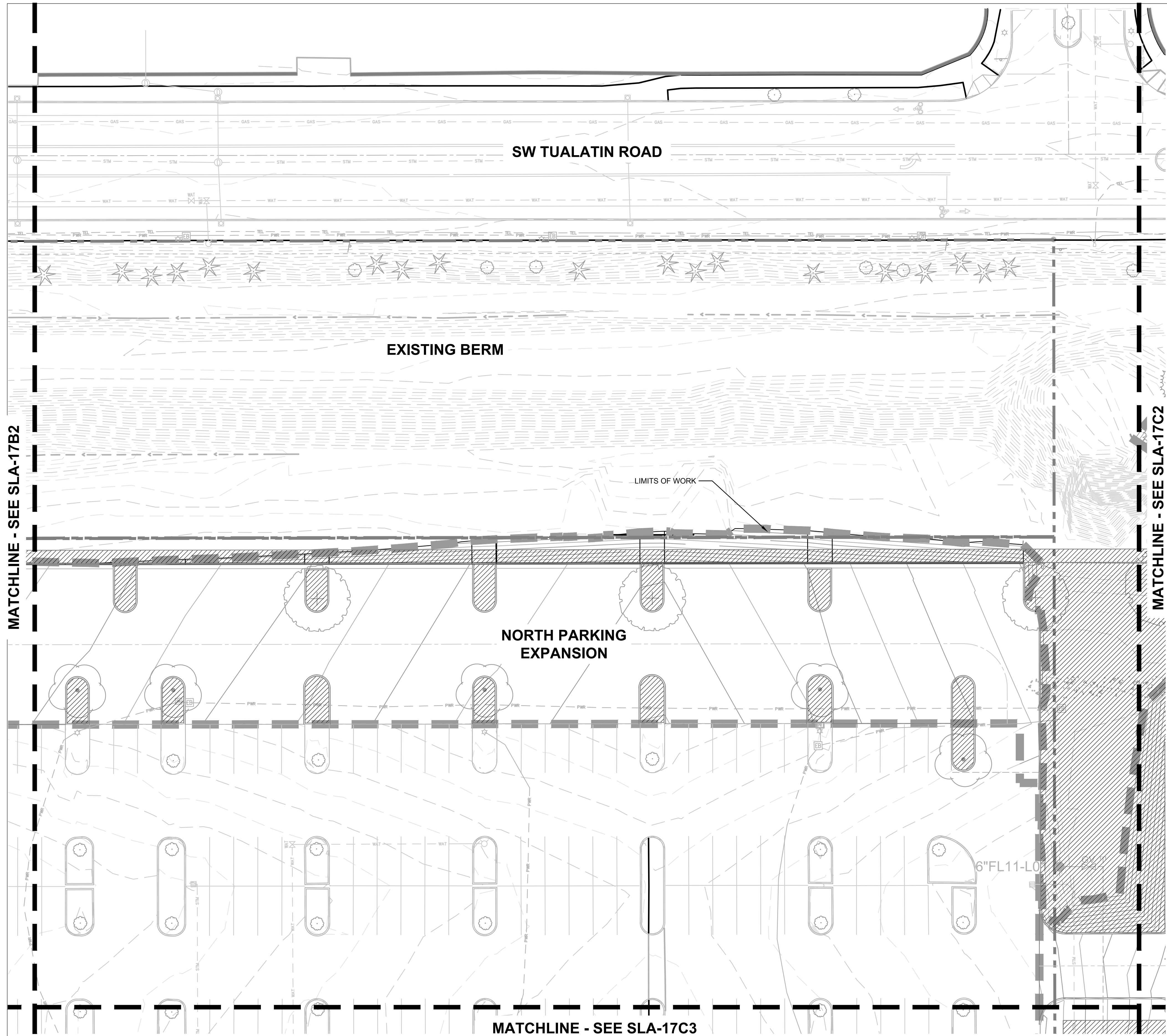
SLA-17B4



1 IRRIGATION PLAN
17B4



KEY MAP
SCALE: NTS



IRRIGATION LEGEND

	HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - MODERATE WATER USE
	HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - LOW WATER USE
	HIGH-EFFICIENCY MATCHED PRECIPITATION RATE SPRAY - HIGH WATER USE
	SEEDED MEADOW - TEMPORARY SPRAY
	STORMWATER AREA - TEMPORARY SPRAY
	STORMWATER AREA - PERMANENT SPRAY

Jacobs.

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M.
Architecture - Interiors
Planning - Engineering

CORBIN
CONSULTING ENGINEERS

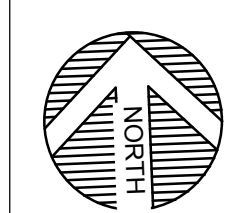
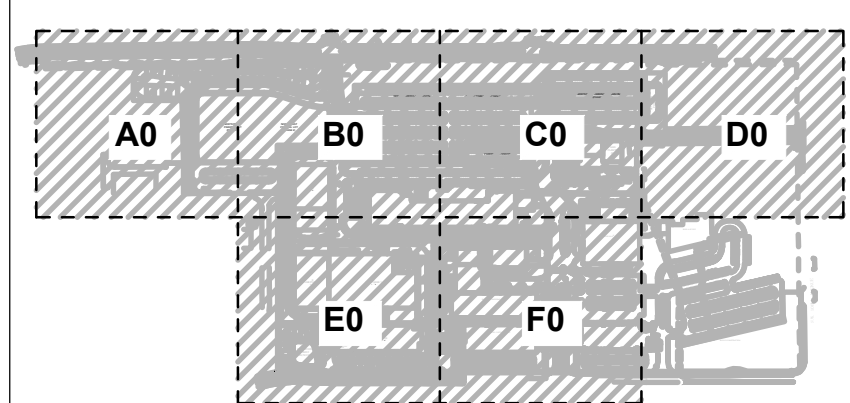
Portland, OR
503.224.9560
Vancouver, WA
360.685.7679
Seattle, WA
206.493.9395

www.mackenzie.inc

MACKENZIE.

JACOBS PROJECT No.: D3822800 CLIENT PROJECT No.:
DRAWN: REVIEWED:
DESIGNED: APPROVED:
NOTICE: STAMP:

NO	REVISION OR ISSUE	DATE	BY
----	-------------------	------	----



SITE

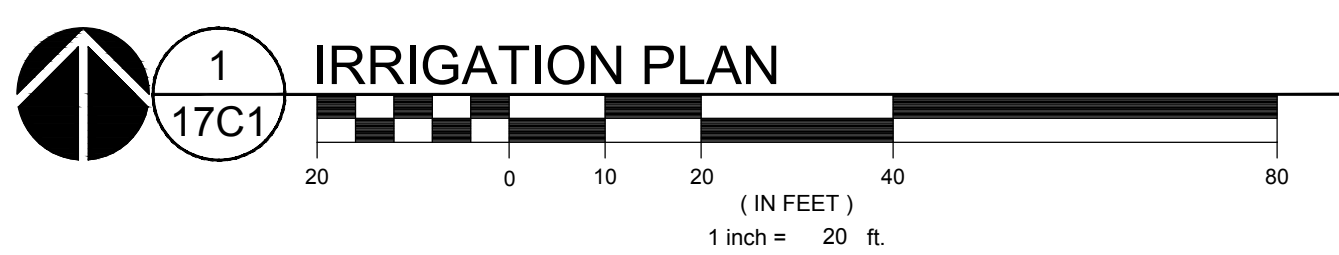
Lam
RESEARCH

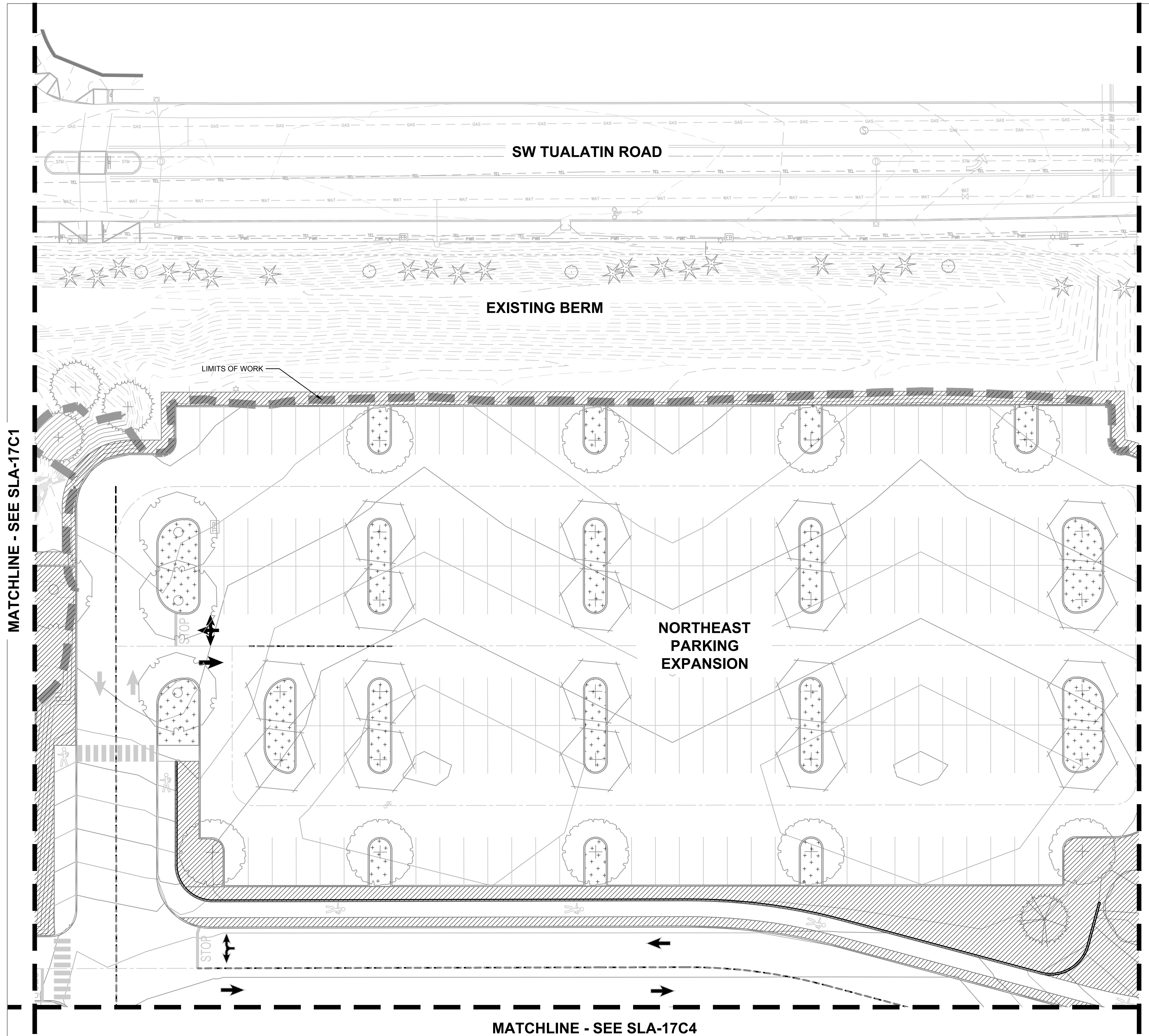
Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE:
IRRIGATION PLAN

DATE ISSUED: DRAWING SCALE: 1" = 20'
REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:
SLA-17C1





- IRRIGATION LEGEND**
- HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - MODERATE WATER USE
 - HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - LOW WATER USE
 - HIGH-EFFICIENCY MATCHED PRECIPITATION RATE SPRAY - HIGH WATER USE
 - SEEDED MEADOW - TEMPORARY SPRAY
 - STORMWATER AREA - TEMPORARY SPRAY
 - STORMWATER AREA - PERMANENT SPRAY

Jacobs.
 Portland Office
 2020 S.W. 4th Avenue, 3rd Floor
 Portland, Oregon 97201

M.
 Architecture - Interiors
 Planning - Engineering

CORBIN
 CONSULTING ENGINEERS

Portland, OR 503.224.9560
 Vancouver, WA 360.682.7679
 Seattle, WA 206.493.9395
 www.mackenzie.inc

MACKENZIE.

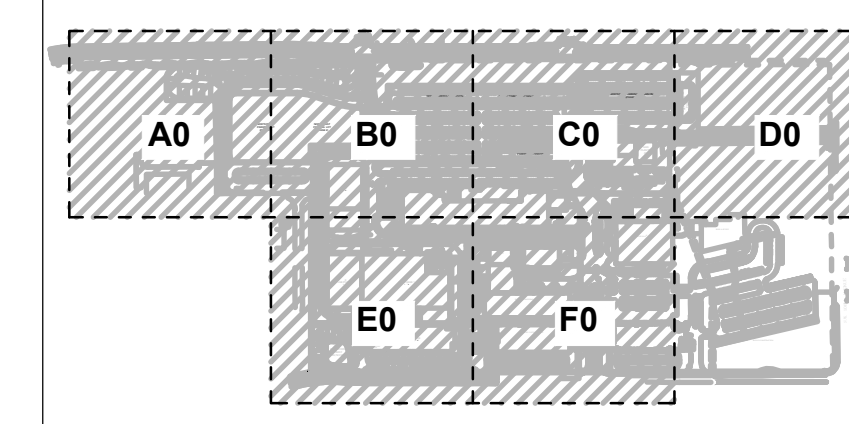
JACOBS PROJECT No.: D3822800 CLIENT PROJECT No.: _____

DRAWN: _____ REVIEWED: _____

DESIGNED: _____ APPROVED: _____

NOTICE: _____ STAMP: _____

NO	REVISION OR ISSUE	DATE	BY



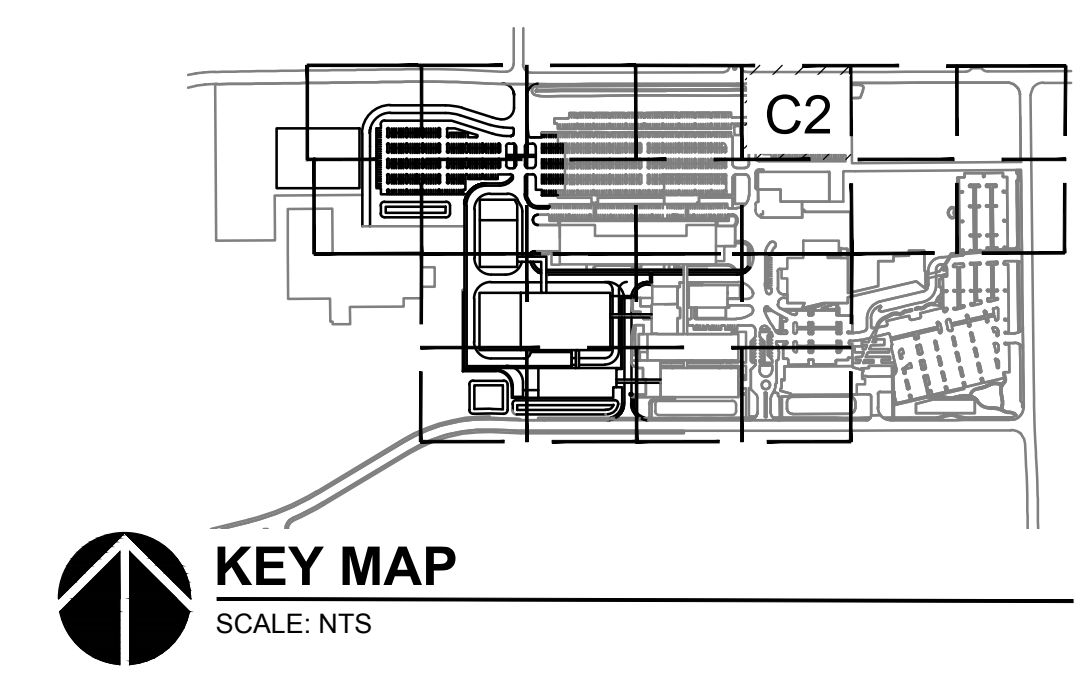
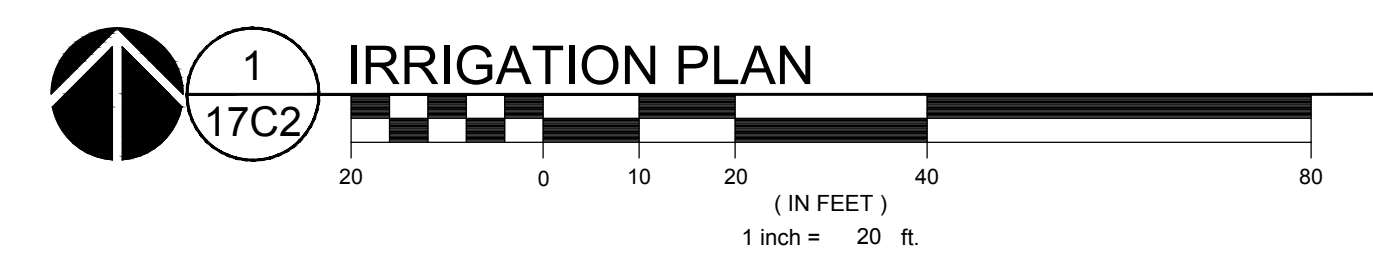
NORTH

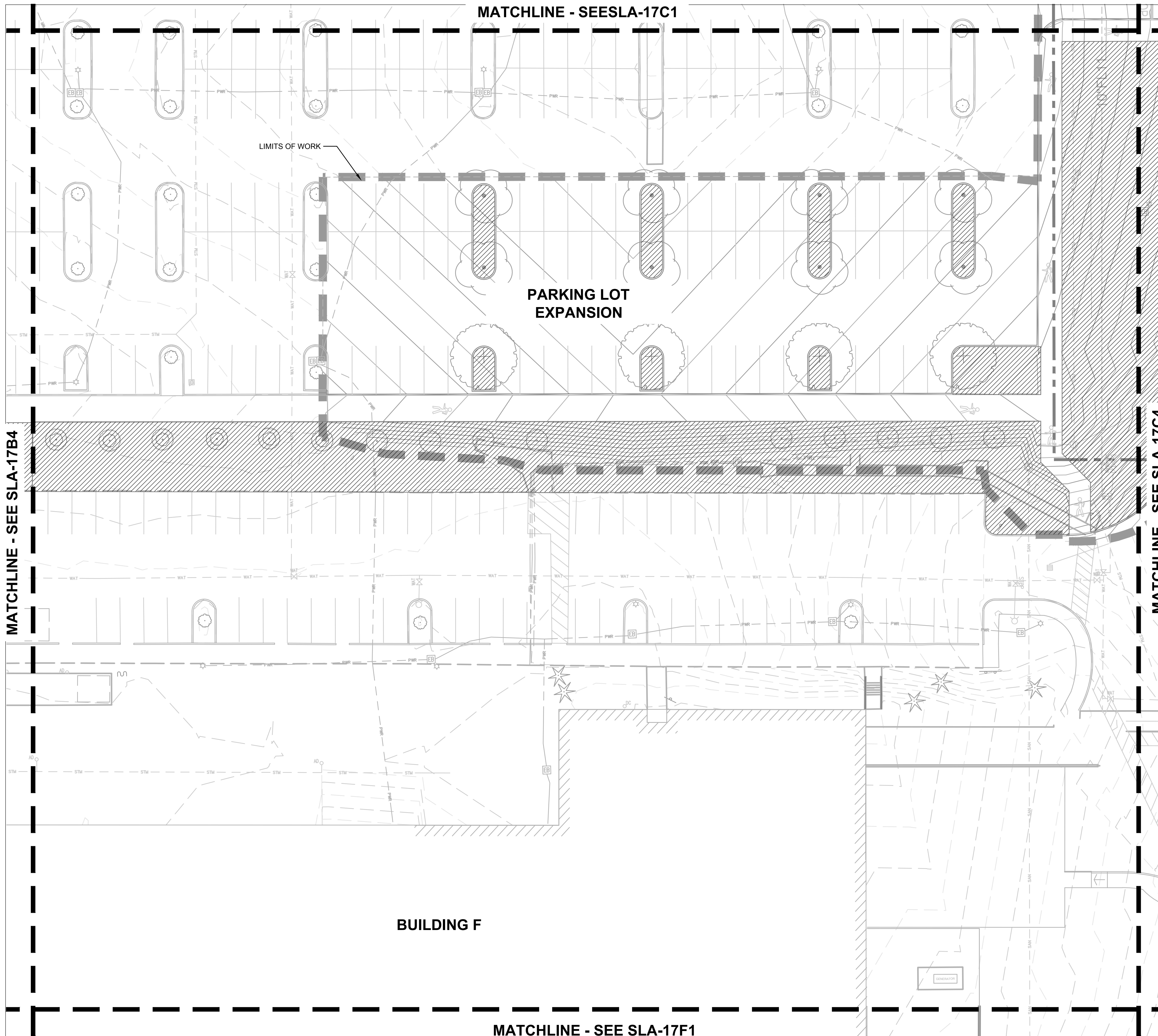
SITE

Lam RESEARCH
 Lam Research
 C 4400 CUSHING PARKWAY
 FREMONT, CA 94538

TITLE: **IRRIGATION PLAN**

DATE ISSUED: _____ DRAWING SCALE: 1" = 20'
 REVIT FILE: _____ BUILDING DESIGNATOR: _____
 DRAWING NUMBER: **SLA-17C2**



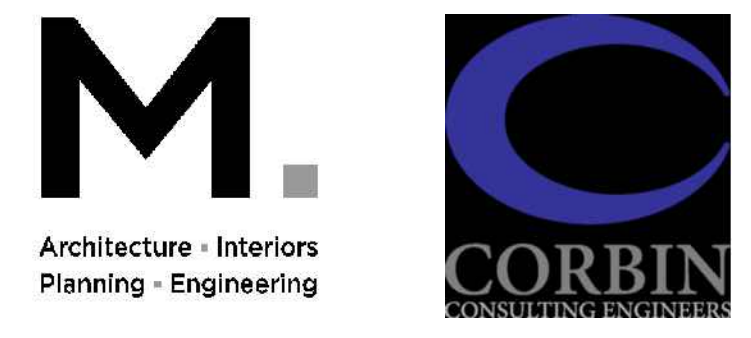


IRRIGATION LEGEND

- HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - MODERATE WATER USE
- HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - LOW WATER USE
- HIGH-EFFICIENCY MATCHED PRECIPITATION RATE SPRAY - HIGH WATER USE
- SEEDED MEADOW - TEMPORARY SPRAY
- STORMWATER AREA - TEMPORARY SPRAY
- STORMWATER AREA - PERMANENT SPRAY

Jacobs.

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

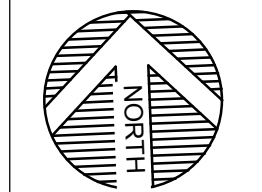
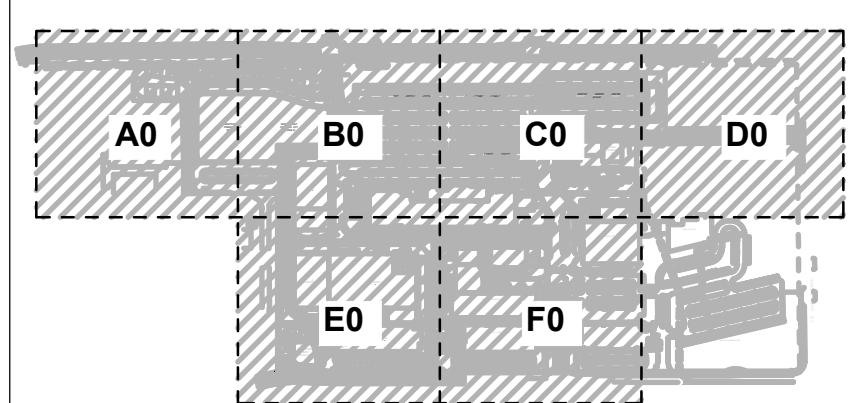


Portland, OR 503.224.9560
Vancouver, WA 360.682.7679
Seattle, WA 206.493.9395
www.mackenzie.inc

MACKENZIE.

JACOBS PROJECT No.: _____ CLIENT PROJECT No.: _____
D3822800
DRAWN: _____ REVIEWED: _____
DESIGNED: _____ APPROVED: _____
NOTICE: _____ STAMP: _____

NO	REVISION OR ISSUE	DATE	BY



SITE

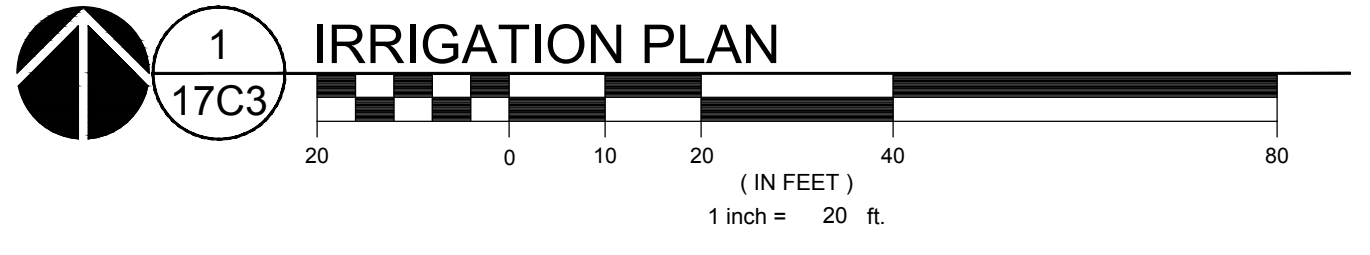


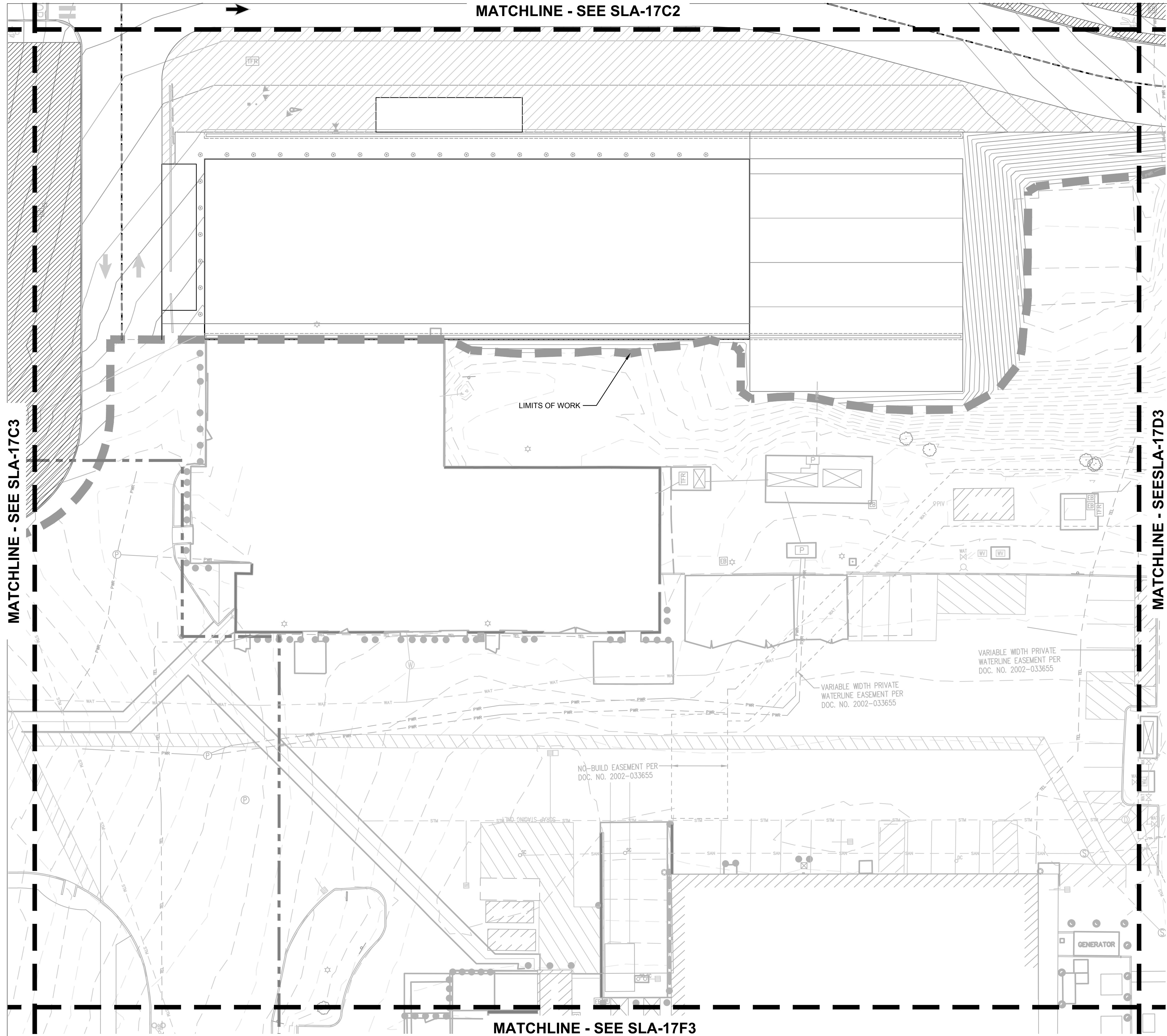
Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE:
IRRIGATION PLAN

DATE ISSUED: _____ DRAWING SCALE: 1" = 20'
REVIT FILE: _____ BUILDING DESIGNATOR: _____

DRAWING NUMBER: **SLA-17C3**





IRRIGATION LEGEND

- HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - MODERATE WATER USE
- HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - LOW WATER USE
- HIGH-EFFICIENCY MATCHED PRECIPITATION RATE SPRAY - HIGH WATER USE
- SEEDED MEADOW - TEMPORARY SPRAY
- STORMWATER AREA - TEMPORARY SPRAY
- STORMWATER AREA - PERMANENT SPRAY

Jacobs.
 Portland Office
 2020 S.W. 4th Avenue, 3rd Floor
 Portland, Oregon 97201

M.
 Architecture - Interiors
 Planning - Engineering

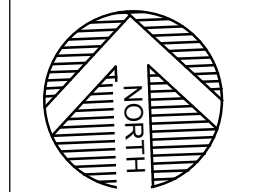
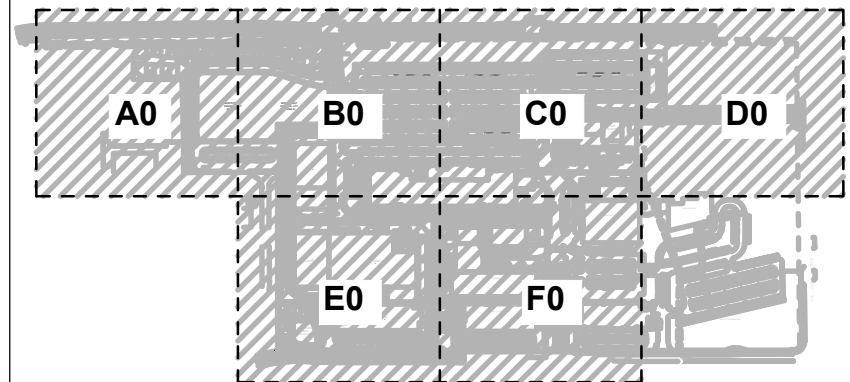
CORBIN
 CONSULTING ENGINEERS

Portland, OR
 503.224.9560
 Vancouver, WA
 360.685.7679
 Seattle, WA
 206.493.9395

www.mackenzie.inc
MACKENZIE.

JACOBS PROJECT No.: D3822800 CLIENT PROJECT No.:
 DRAWN: REVIEWED:
 DESIGNED: APPROVED:
 NOTICE: STAMP:

NO	REVISION OR ISSUE	DATE	BY



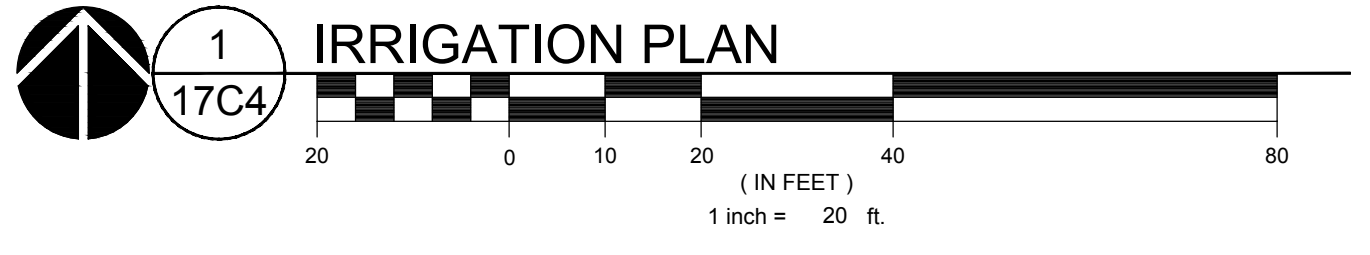
SITE

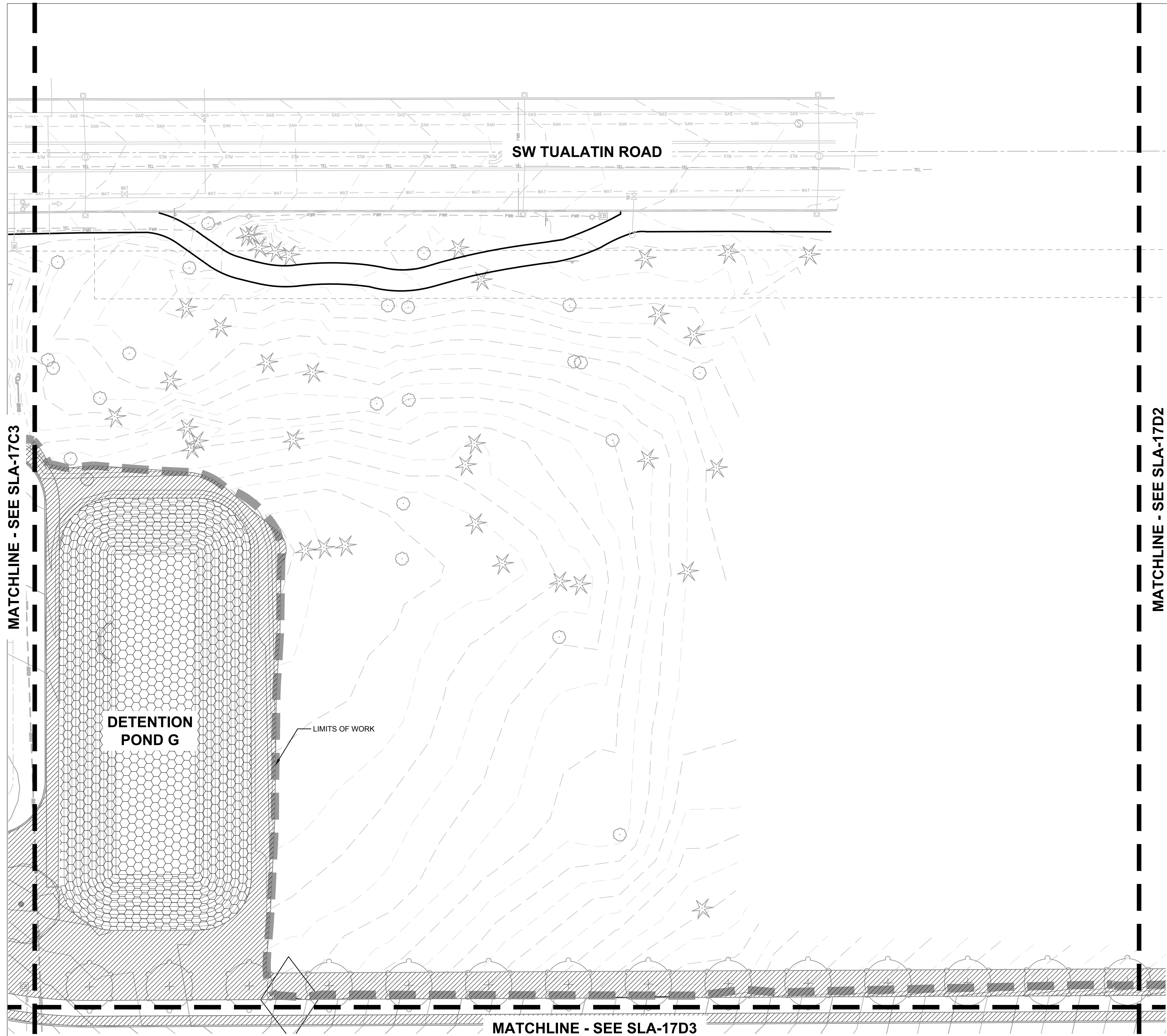
Lam
 RESEARCH
 Lam Research
 C 4400 CUSHING PARKWAY
 FREMONT, CA 94538

TITLE:
IRRIGATION PLAN

DATE ISSUED: DRAWING SCALE: 1" = 20'
 REVIT FILE: BUILDING DESIGNATOR:
 DRAWING NUMBER:

SLA-17C4



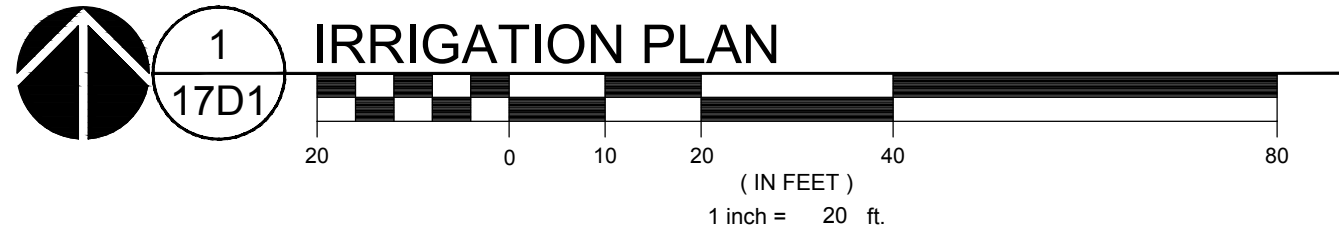


- IRRIGATION LEGEND**
- HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - MODERATE WATER USE
 - HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - LOW WATER USE
 - HIGH-EFFICIENCY MATCHED PRECIPITATION RATE SPRAY - HIGH WATER USE
 - SEEDED MEADOW - TEMPORARY SPRAY
 - STORMWATER AREA - TEMPORARY SPRAY
 - STORMWATER AREA - PERMANENT SPRAY

MATCHLINE - SEE SLA-17C3

MATCHLINE - SEE SLA-17D2

MATCHLINE - SEE SLA-17D3



IRRIGATION PLAN

1
17D1

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

Architecture - Interiors
Planning - Engineering

CORBIN
CONSULTING ENGINEERS

Portland, OR 503.224.9560
Vancouver, WA 360.682.7079
Seattle, WA 206.493.9395
www.mackenzieinc.com

MACKENZIE

JACOBS PROJECT No.: D3822800	CLIENT PROJECT No.:
DRAWN:	REVIEWED:
DESIGNED:	APPROVED:
NOTICE:	STAMP:

NO	REVISION OR ISSUE	DATE	BY

SITE

Lam RESEARCH
Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE:

IRRIGATION PLAN

DATE ISSUED:

DRAWING SCALE: 1" = 40'

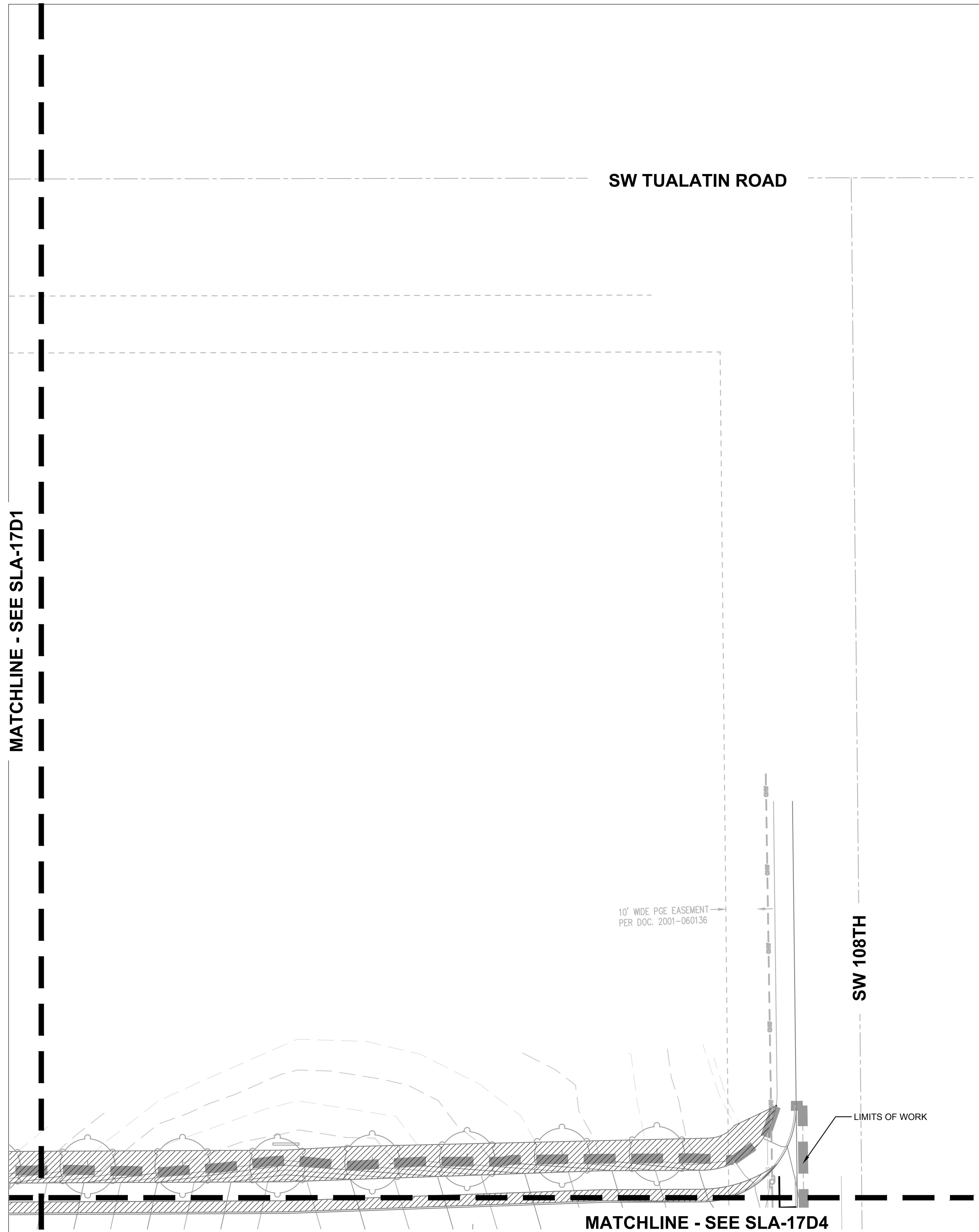
REVIT FILE:

BUILDING DESIGNATOR:

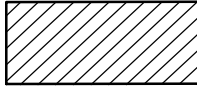
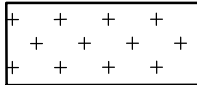
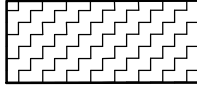

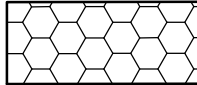

DRAWING NUMBER:

SLA-17D1

KEY MAP
SCALE: NTS



IRRIGATION LEGEND

-  HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - MODERATE WATER USE
-  HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - LOW WATER USE
-  HIGH-EFFICIENCY MATCHED PRECIPITATION RATE SPRAY - HIGH WATER USE
-  SEEDED MEADOW - TEMPORARY SPRAY
-  STORMWATER AREA - TEMPORARY SPRAY
-  STORMWATER AREA - PERMANENT SPRAY

Jacobs.

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M.
Architecture - Interiors
Planning - Engineering

CORBIN
CONSULTING ENGINEERS

Portland, OR
503.224.9560
Vancouver, WA
360.685.7679
Seattle, WA
206.493.9395

www.mackenzie.inc

MACKENZIE.

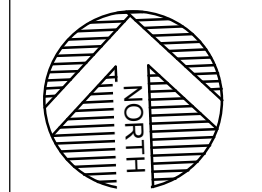
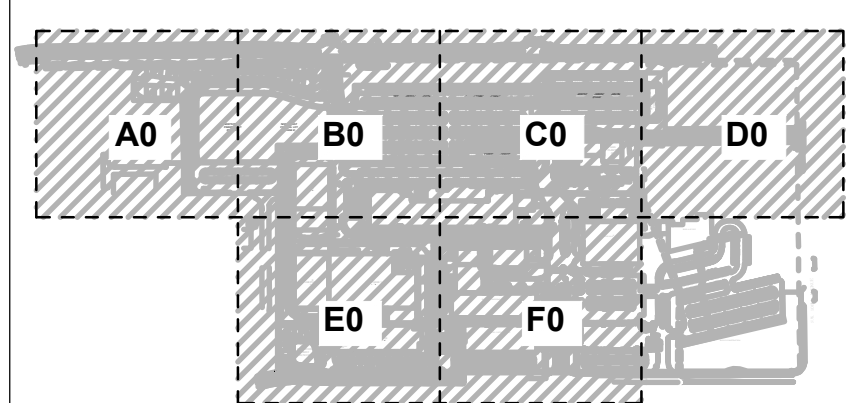
JACOBS PROJECT No.: D3822800
CLIENT PROJECT No.:

DRAWN: _____ REVIEWED: _____

DESIGNED: _____ APPROVED: _____

NOTICE: _____ STAMP: _____

NO	REVISION OR ISSUE	DATE	BY



SITE

Lam
RESEARCH

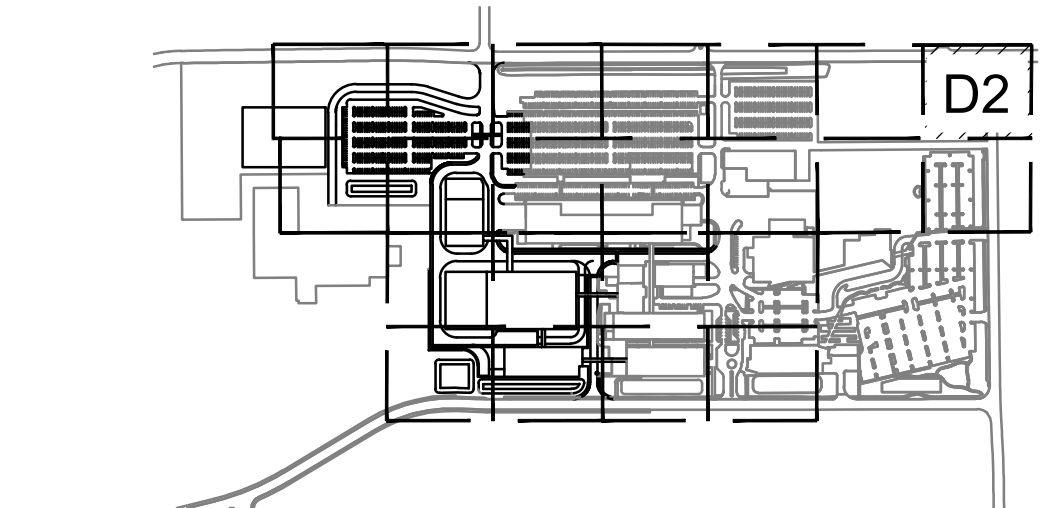
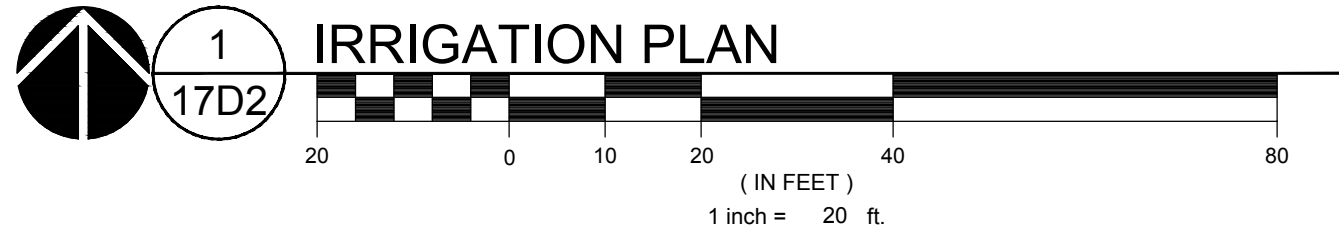
Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE:
IRRIGATION PLAN

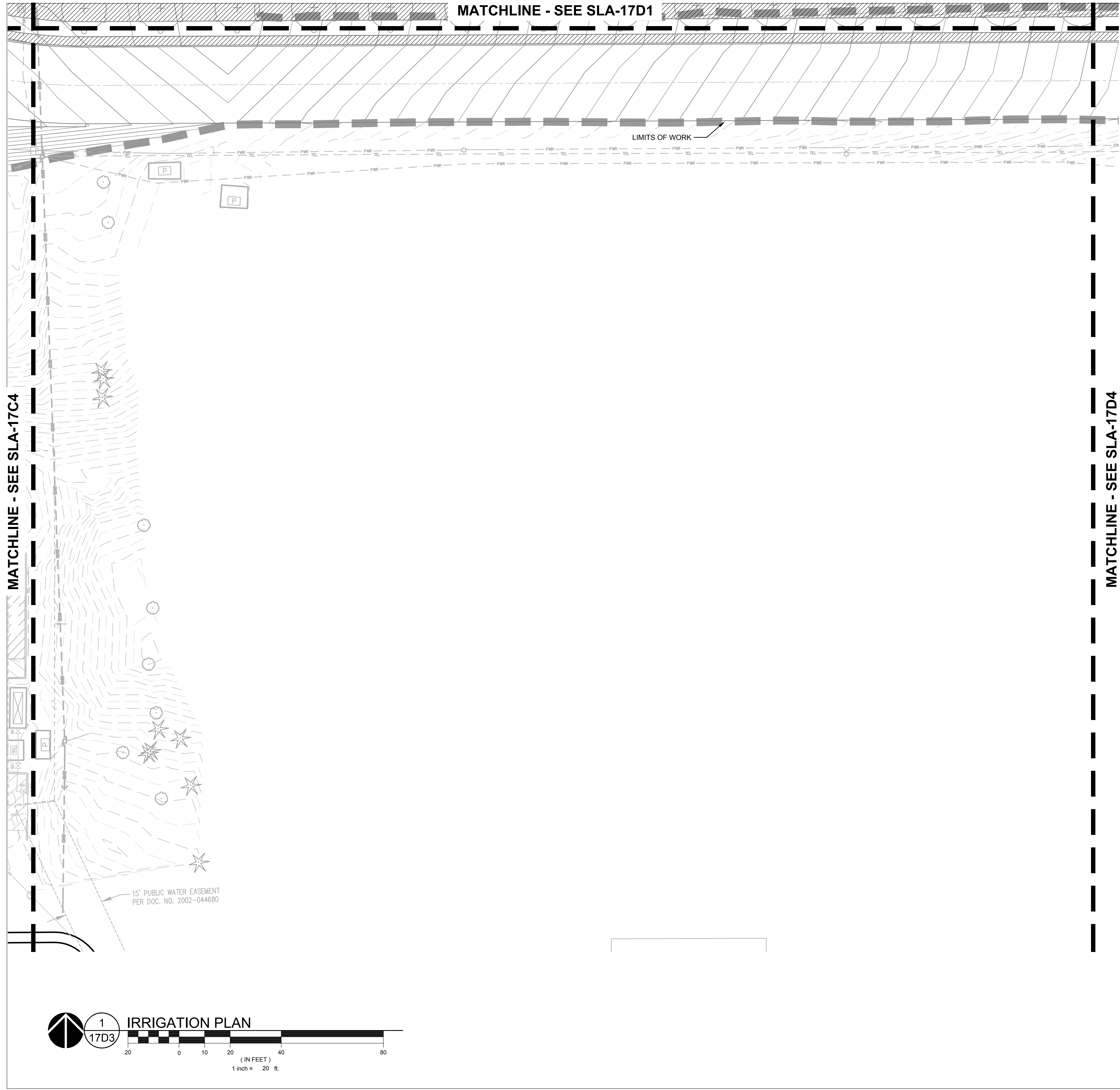
DATE ISSUED: _____ DRAWING SCALE: 1" = 20'

REVIT FILE: _____ BUILDING DESIGNATOR: _____


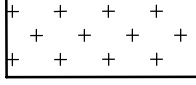
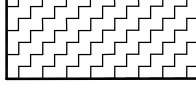

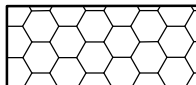
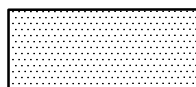
DRAWING NUMBER: **SLA-17D2**



KEY MAP
SCALE: NTS



IRRIGATION LEGEND

-  HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - MODERATE WATER USE
-  HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - LOW WATER USE
-  HIGH-EFFICIENCY MATCHED PRECIPITATION RATE SPRAY - HIGH WATER USE
-  SEEDED MEADOW - TEMPORARY SPRAY
-  STORMWATER AREA - TEMPORARY SPRAY
-  STORMWATER AREA - PERMANENT SPRAY

Jacobs.
 Portland Office
 2020 S.W. 4th Avenue, 3rd Floor
 Portland, Oregon 97201

M.
 Architecture • Interiors
 Planning • Engineering

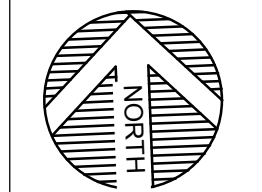
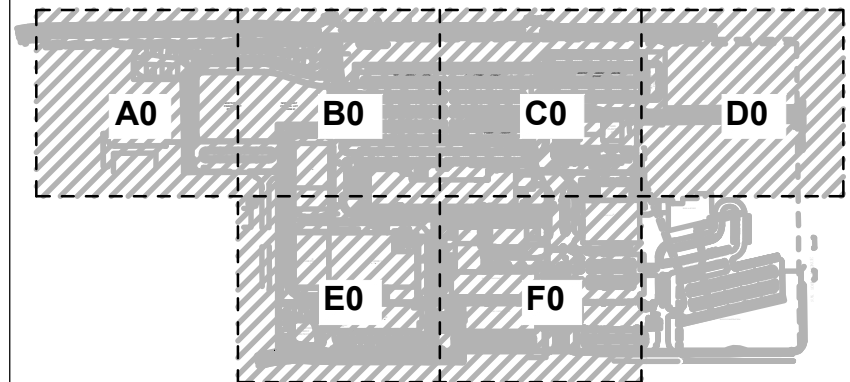
CORBIN
 CONSULTING ENGINEERS

Portland, OR
 503.224.9560
 Vancouver, WA
 360.685.7679
 Seattle, WA
 206.493.9395

www.mackenzie.inc
MACKENZIE.

JACOBS PROJECT No.: D3822800	CLIENT PROJECT No.:
DRAWN:	REVIEWED:
DESIGNED:	APPROVED:
NOTICE:	STAMP:

NO	REVISION OR ISSUE	DATE	BY
----	-------------------	------	----



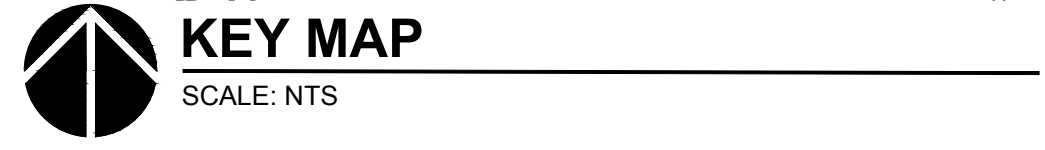
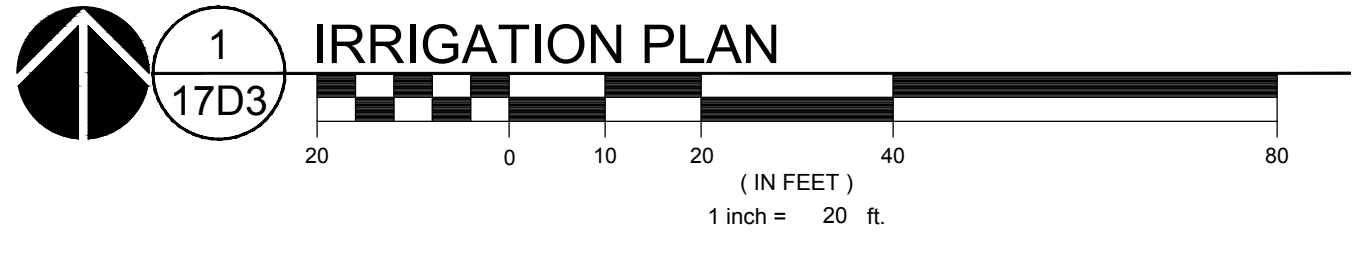
SITE

Lam
 RESEARCH
 Lam Research
 C 4400 CUSHING PARKWAY
 FREMONT, CA 94538

TITLE:
IRRIGATION PLAN

DATE ISSUED: DRAWING SCALE: **1" = 40'**
 REVIT FILE: BUILDING DESIGNATOR:
 DRAWING NUMBER:

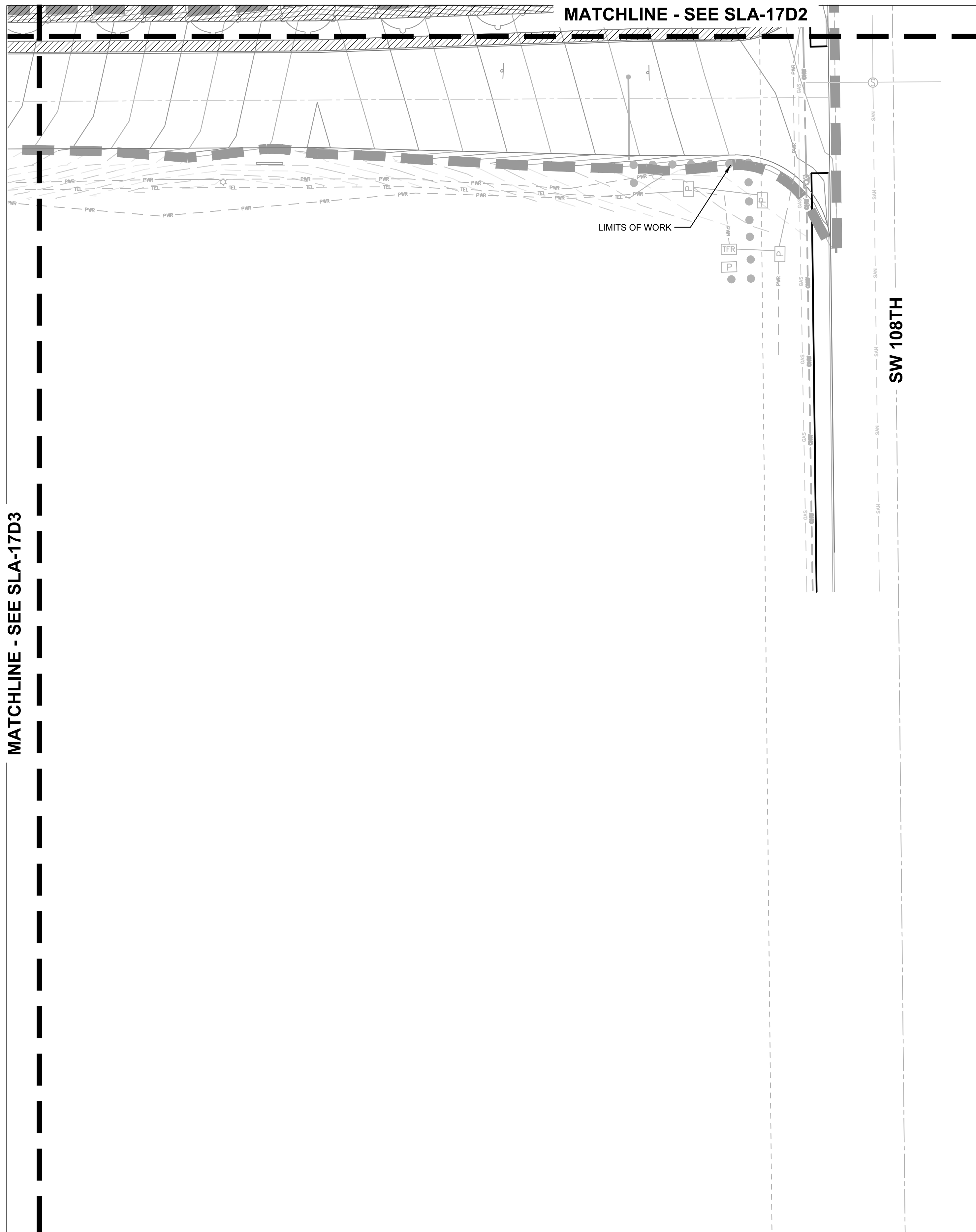
SLA-17D3



KEY MAP
 SCALE: NTS

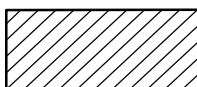
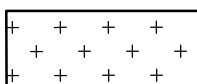
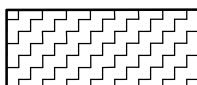

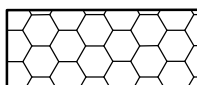

MATCHLINE - SEE SLA-17D3

MATCHLINE - SEE SLA-17D2



SW 108TH

IRRIGATION LEGEND

-  HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - MODERATE WATER USE
-  HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - LOW WATER USE
-  HIGH-EFFICIENCY MATCHED PRECIPITATION RATE SPRAY - HIGH WATER USE
-  SEEDED MEADOW - TEMPORARY SPRAY
-  STORMWATER AREA - TEMPORARY SPRAY
-  STORMWATER AREA - PERMANENT SPRAY

Jacobs.

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M.

Architecture • Interiors
Planning • Engineering

CORBIN
CONSULTING ENGINEERS

Portland, OR
503.224.9560
Vancouver, WA
360.685.7679
Seattle, WA
206.493.9395

www.mackenzie.inc

MACKENZIE.

JACOBS PROJECT No.:
D3822800

CLIENT PROJECT No.:

DRAWN:

REVIEWED:

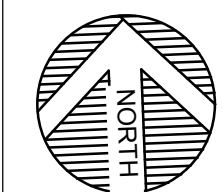
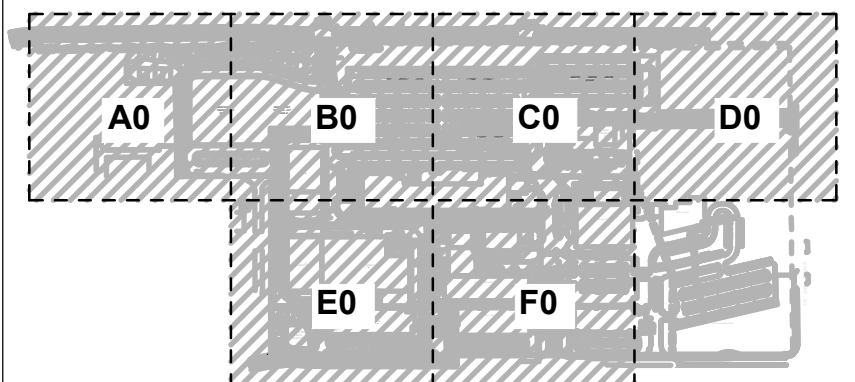
DESIGNED:

APPROVED:

NOTICE:

STAMP:

NO	REVISION OR ISSUE	DATE	BY



SITE

Lam
RESEARCH

Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE:

IRRIGATION PLAN

DATE ISSUED:

DRAWING SCALE: 1" = 20'

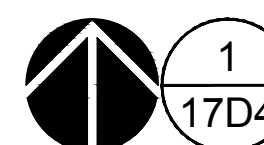
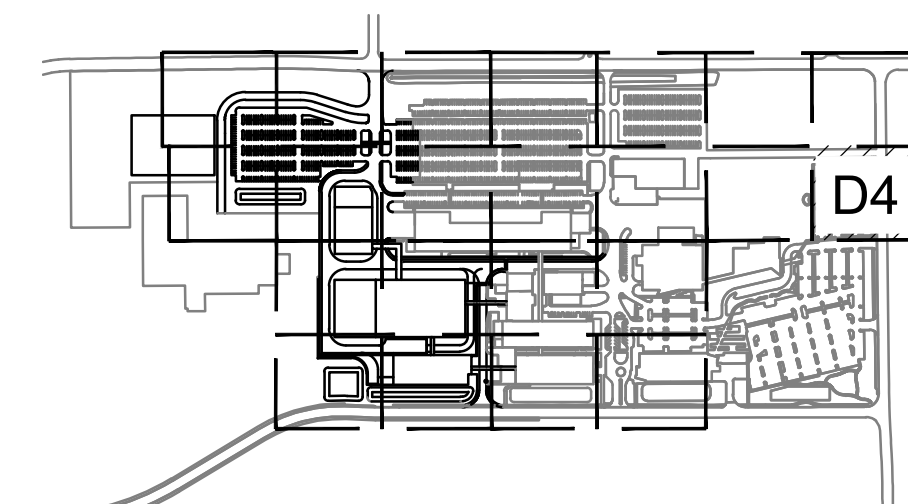
REVIT FILE:

BUILDING DESIGNATOR:

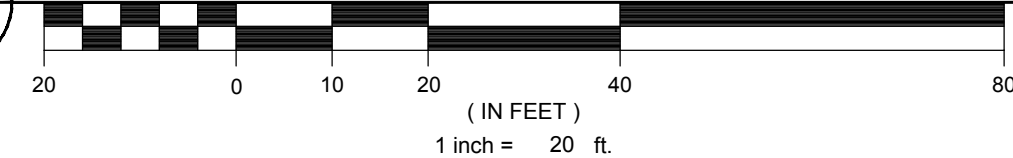
DRAWING NUMBER:

SLA-17D4

KEY MAP
SCALE: NTS



IRRIGATION PLAN



1 inch = 20 ft.

Jacobs.

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M.
Architecture - Interiors
Planning - Engineering

CORBIN
CONSULTING ENGINEERS

Portland, OR
503.224.9560
Vancouver, WA
360.685.7679
Seattle, WA
206.493.9395

www.mackenzieinc.com

MACKENZIE.

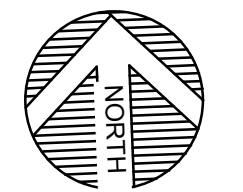
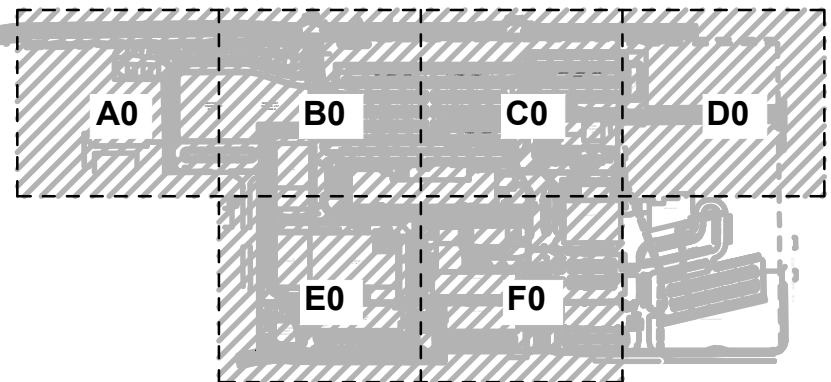
JACOBS PROJECT No.: D3822800 CLIENT PROJECT No.:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO	REVISION OR ISSUE	DATE	BY



SITE

Lam RESEARCH

Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE:
IRRIGATION PLAN

DATE ISSUED: DRAWING SCALE: 1" = 20'
REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER: **SLA-17E1**

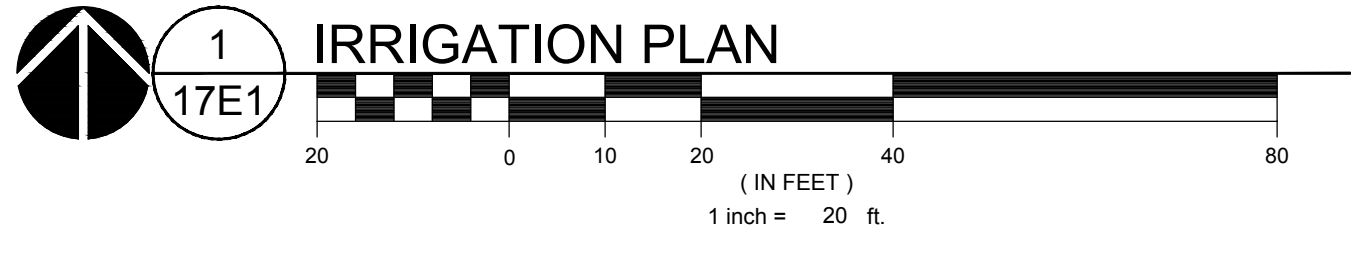
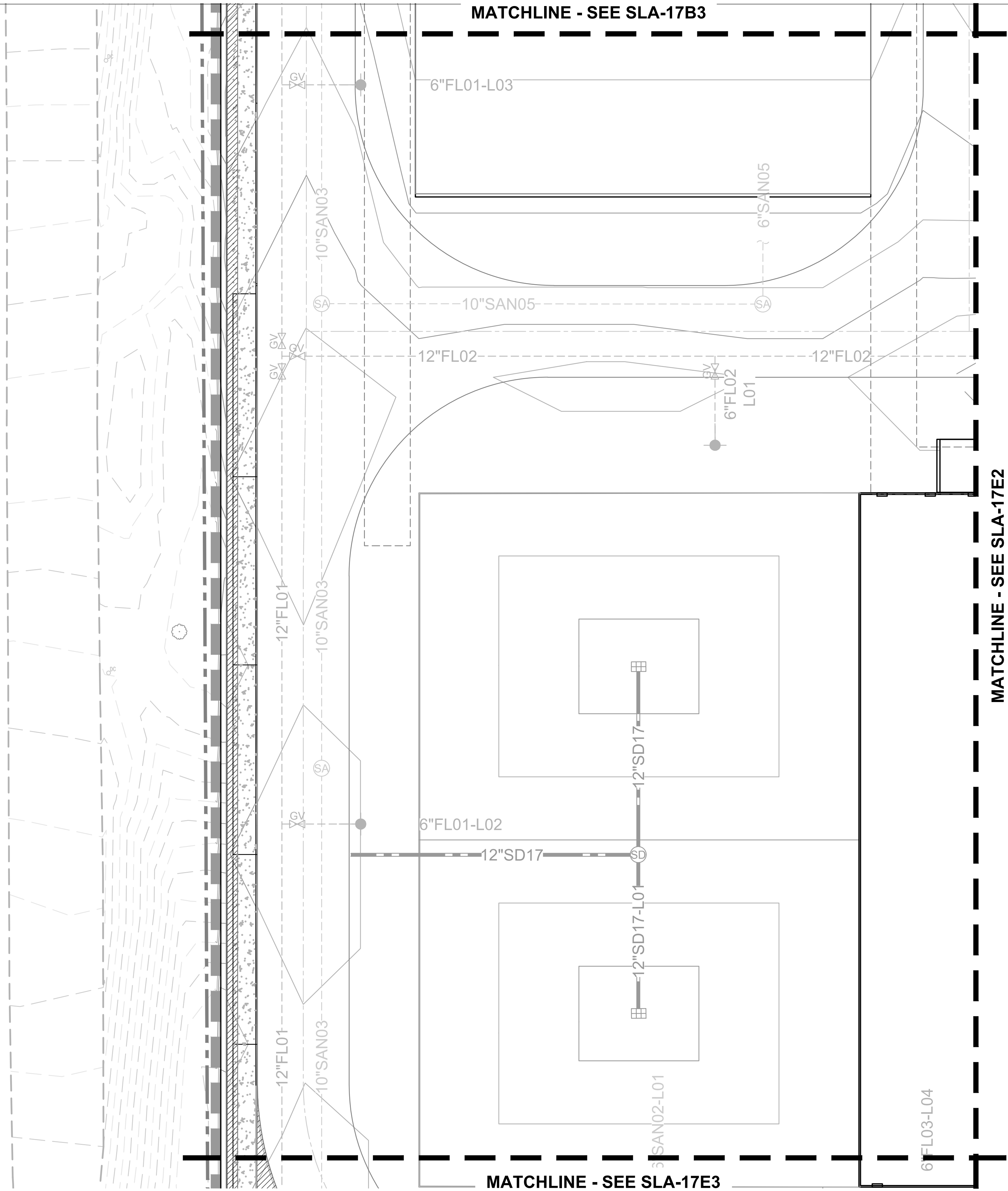
IRRIGATION LEGEND

- HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - MODERATE WATER USE
- HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - LOW WATER USE
- HIGH-EFFICIENCY MATCHED PRECIPITATION RATE SPRAY - HIGH WATER USE
- SEEDED MEADOW - TEMPORARY SPRAY
- STORMWATER AREA - TEMPORARY SPRAY
- STORMWATER AREA - PERMANENT SPRAY

MATCHLINE - SEE SLA-17B3

MATCHLINE - SEE SLA-17E2

MATCHLINE - SEE SLA-17E3



MATCHLINE - SEE SLA-17B4

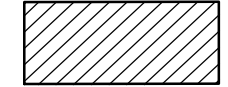
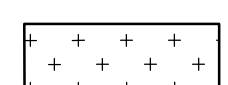
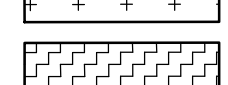
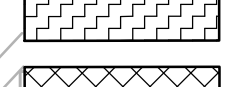

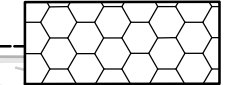
BUILDING F

BUILDING X

MATCHLINE - SEE SLA-17E4

MATCHLINE - SEESLA-17E1

IRRIGATION LEGEND

-  HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - MODERATE WATER USE
-  HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - LOW WATER USE
-  HIGH-EFFICIENCY MATCHED PRECIPITATION RATE SPRAY - HIGH WATER USE
-  SEEDED MEADOW - TEMPORARY SPRAY
-  STORMWATER AREA - TEMPORARY SPRAY
-  STORMWATER AREA - PERMANENT SPRAY

Jacobs.

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M.
Architecture - Interiors
Planning - Engineering

CORBIN
CONSULTING ENGINEERS

Portland, OR
503.224.9560
Vancouver, WA
360.682.7679
Seattle, WA
206.493.9395

www.mackenzie.inc

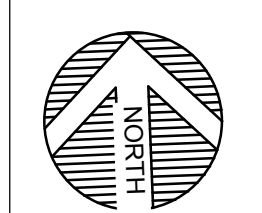
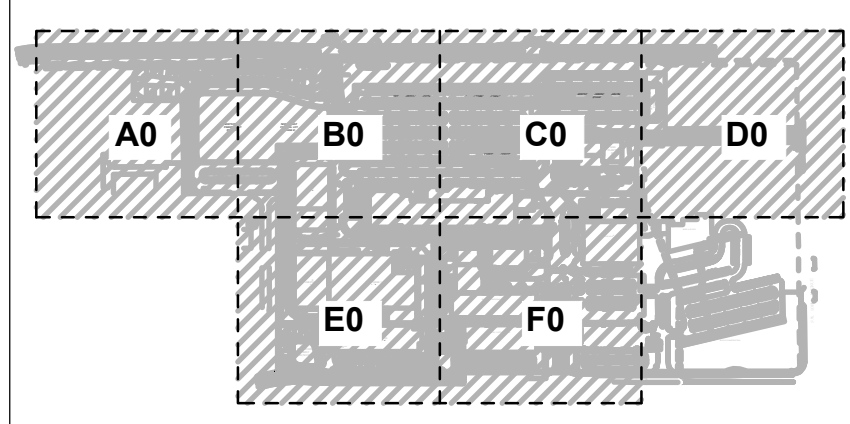
MACKENZIE.

JACOBS PROJECT No.: D3822800 CLIENT PROJECT No.:
DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO	REVISION OR ISSUE	DATE	BY



SITE

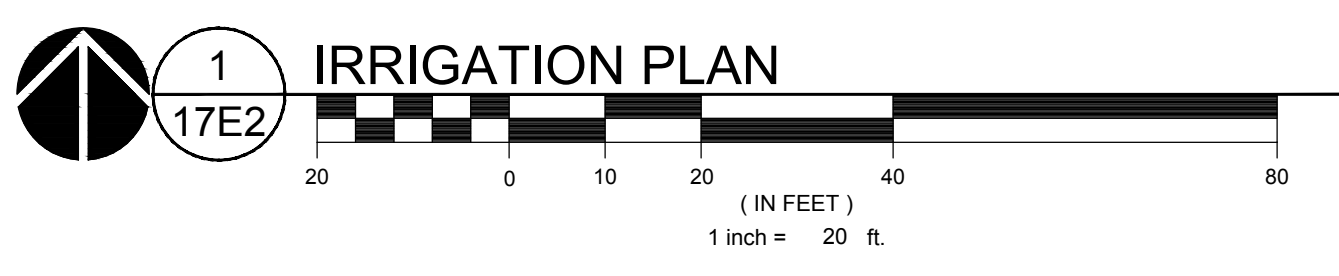
Lam
RESEARCH

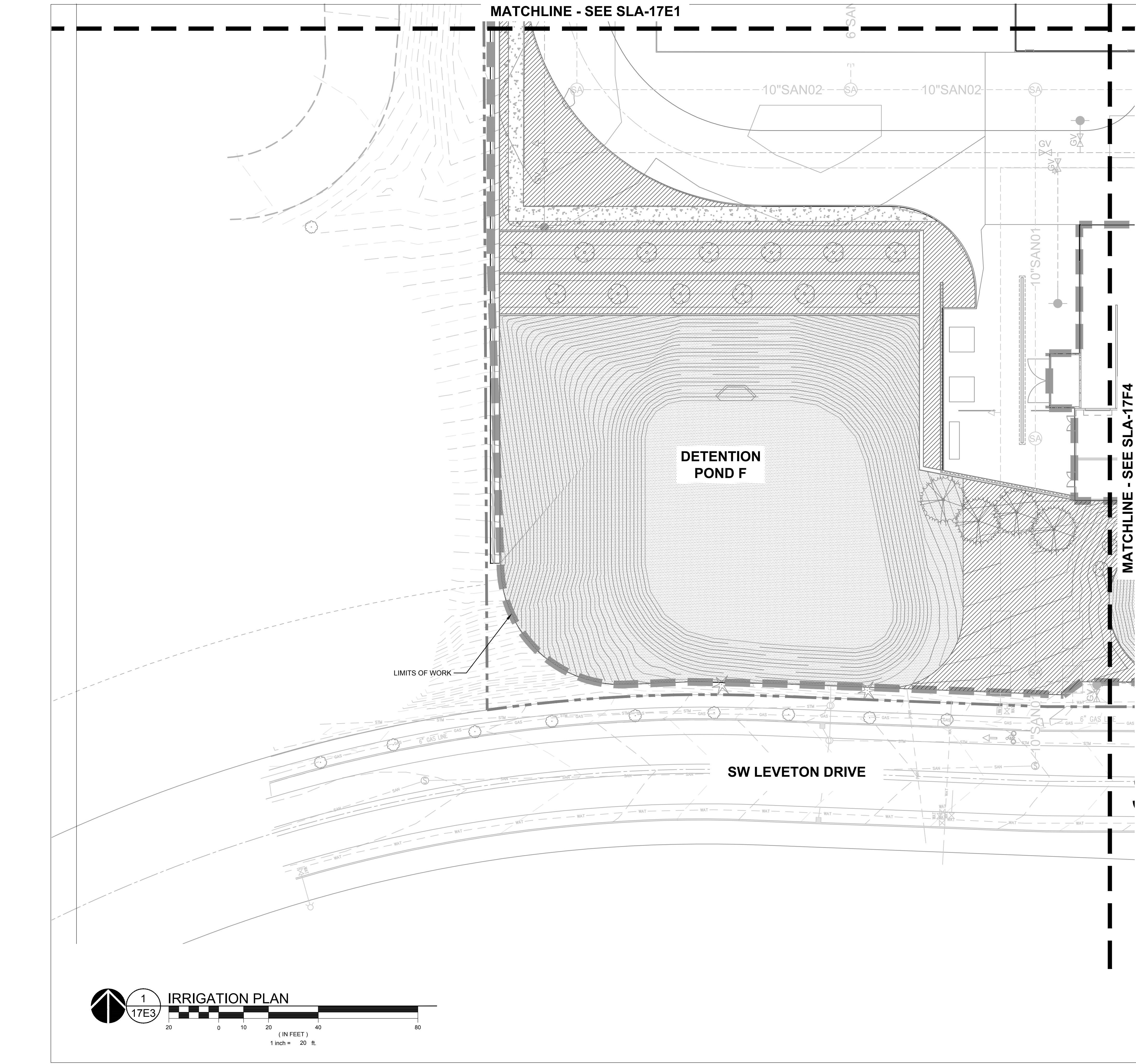
Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE:
**IRRIGATION
PLAN**

DATE ISSUED: DRAWING SCALE: 1" = 40'
REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER: **SLA-17E2**



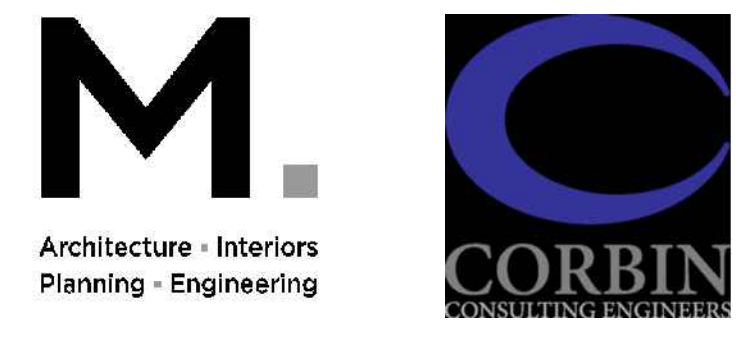


IRRIGATION LEGEND

[Diagonal lines pattern]	HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - MODERATE WATER USE
[Cross-hatch pattern]	HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - LOW WATER USE
[Dotted pattern]	HIGH-EFFICIENCY MATCHED PRECIPITATION RATE SPRAY - HIGH WATER USE
[Grid pattern]	SEEDED MEADOW - TEMPORARY SPRAY
[Hexagonal pattern]	STORMWATER AREA - TEMPORARY SPRAY
[Solid grey pattern]	STORMWATER AREA - PERMANENT SPRAY

Jacobs.

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201



Portland, OR
503.224.9560
Vancouver, WA
360.685.7679
Seattle, WA
206.493.9395
www.mackenzie.inc

MACKENZIE.

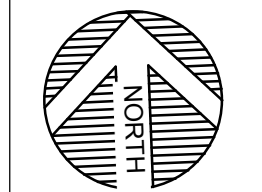
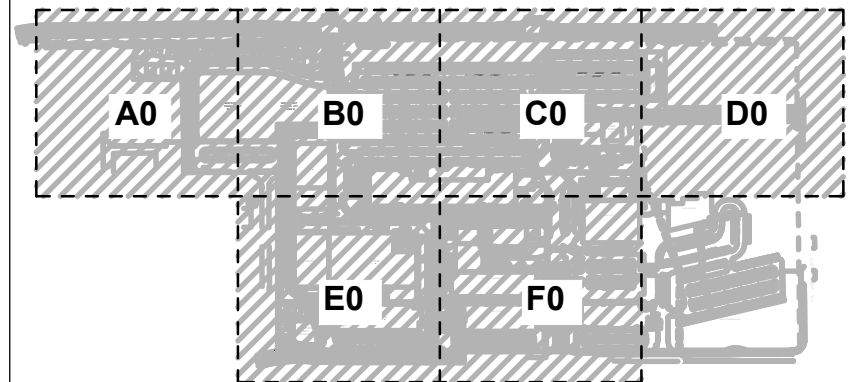
JACOBS PROJECT No.: D3822800 CLIENT PROJECT No.:

DRAWN: REVIEWED:

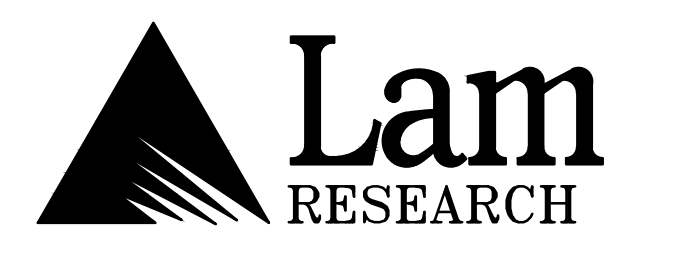
DESIGNED: APPROVED:

NOTICE: STAMP:

NO	REVISION OR ISSUE	DATE	BY



SITE



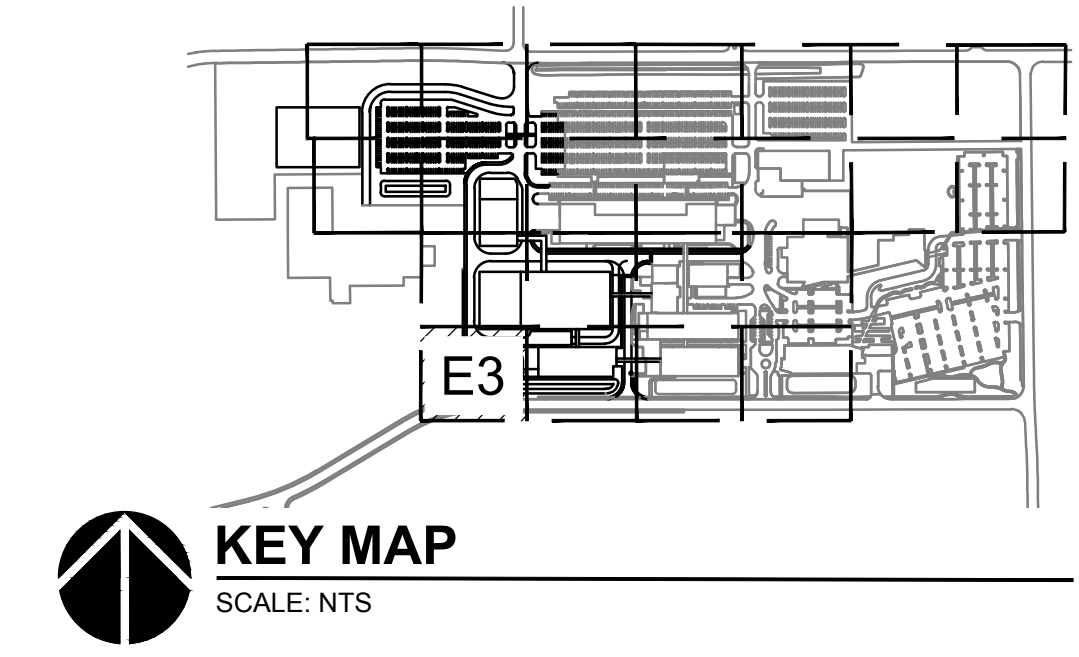
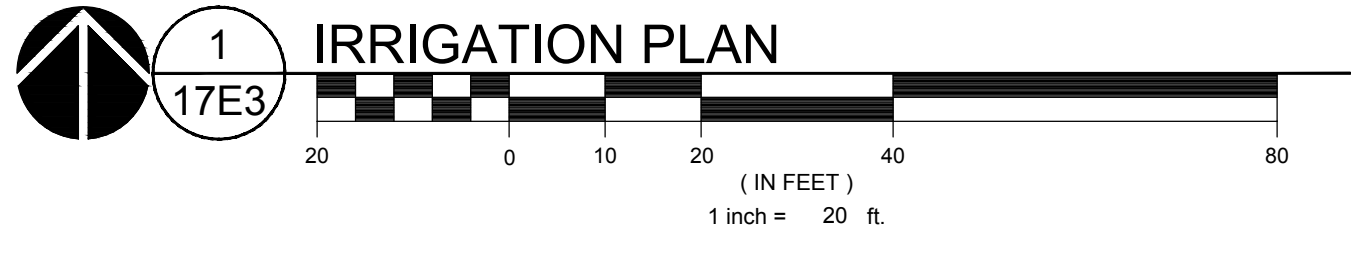
Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

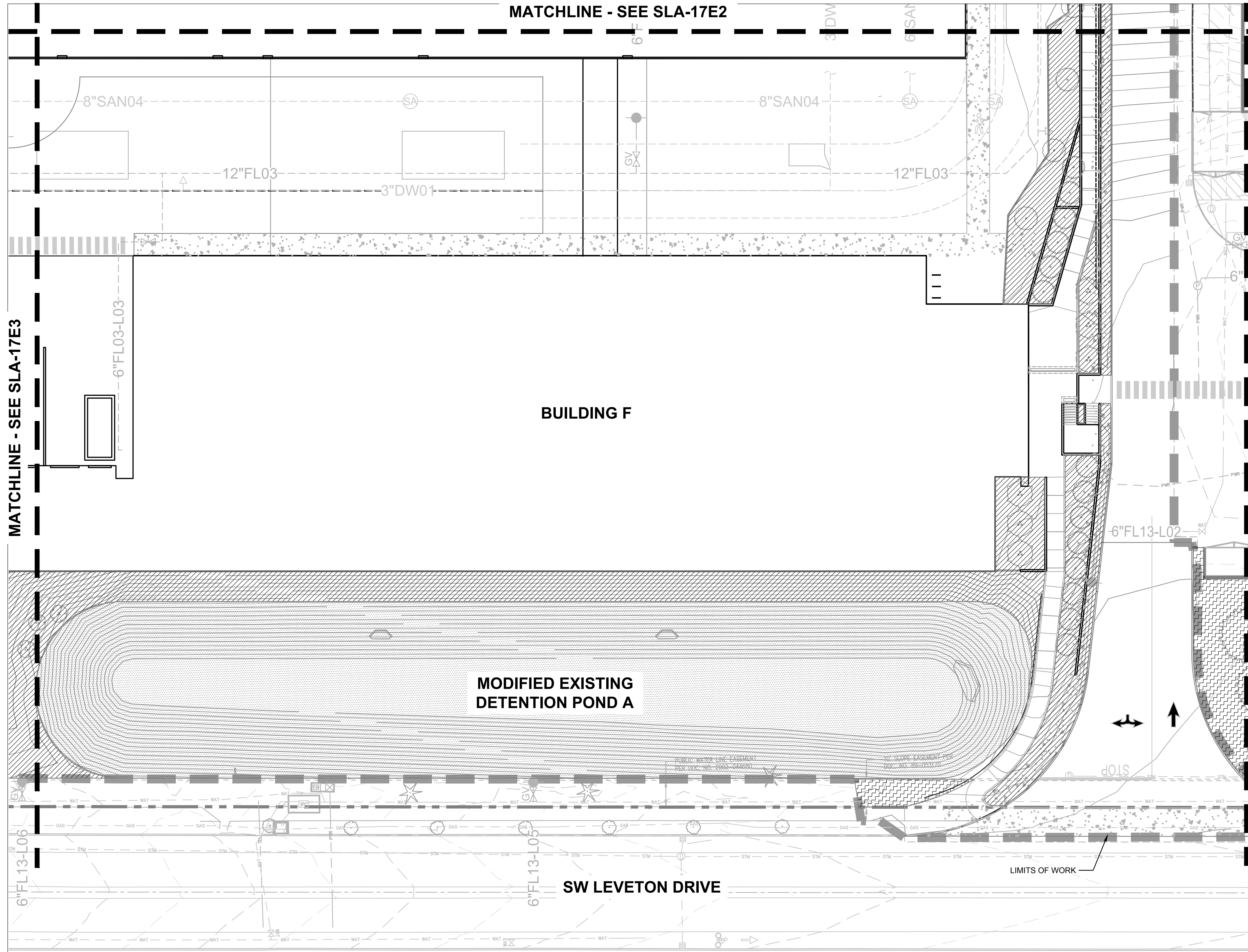
TITLE:
IRRIGATION PLAN

DATE ISSUED: DRAWING SCALE: 1" = 40'

REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:
SLA-17E3



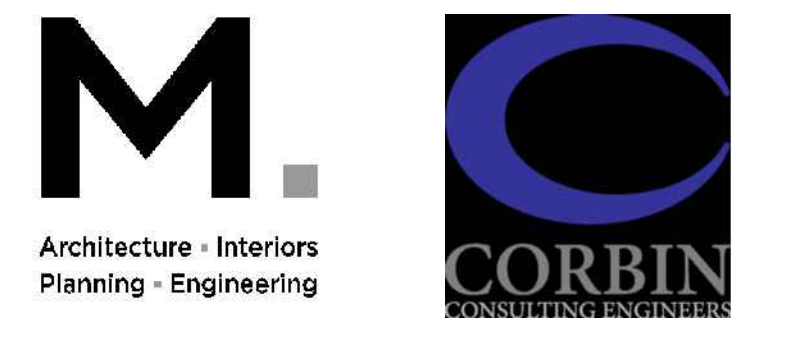


IRRIGATION LEGEND

	HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - MODERATE WATER USE
	HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - LOW WATER USE
	HIGH-EFFICIENCY MATCHED PRECIPITATION RATE SPRAY - HIGH WATER USE
	SEEDED MEADOW - TEMPORARY SPRAY
	STORMWATER AREA - TEMPORARY SPRAY
	STORMWATER AREA - PERMANENT SPRAY

Jacobs.

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201



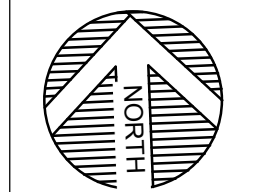
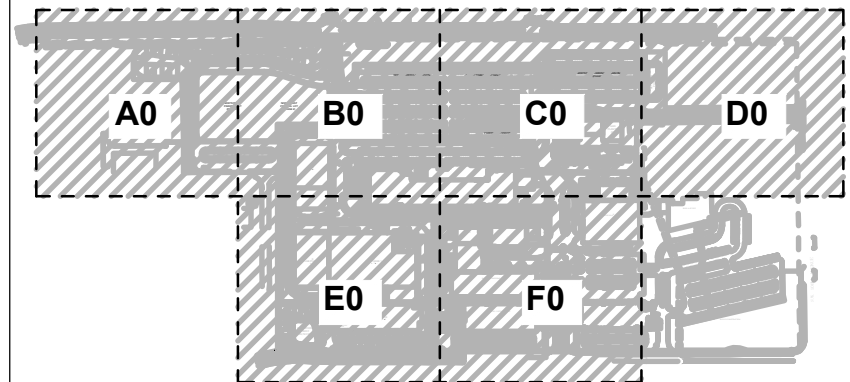
Portland, OR
503.224.9560
Vancouver, WA
360.695.7679
Seattle, WA
206.493.9395

www.mackenzie.inc

MACKENZIE.

JACOBS PROJECT No.: D3822800	CLIENT PROJECT No.:
DRAWN:	REVIEWED:
DESIGNED:	APPROVED:
NOTICE:	STAMP:

NO	REVISION OR ISSUE	DATE	BY



SITE

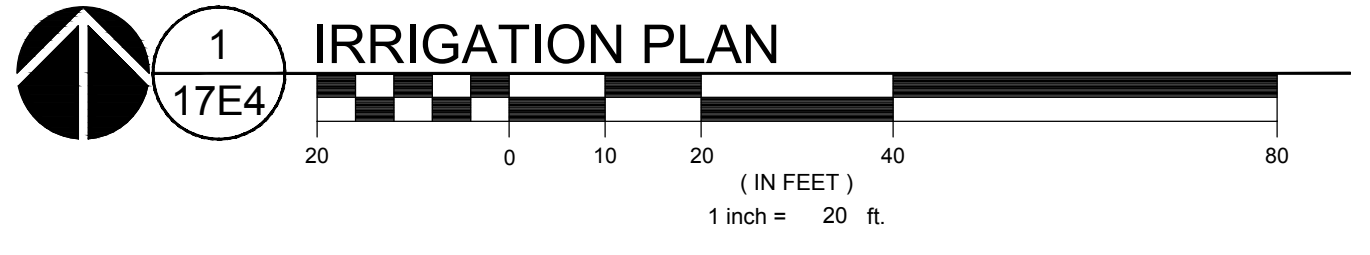


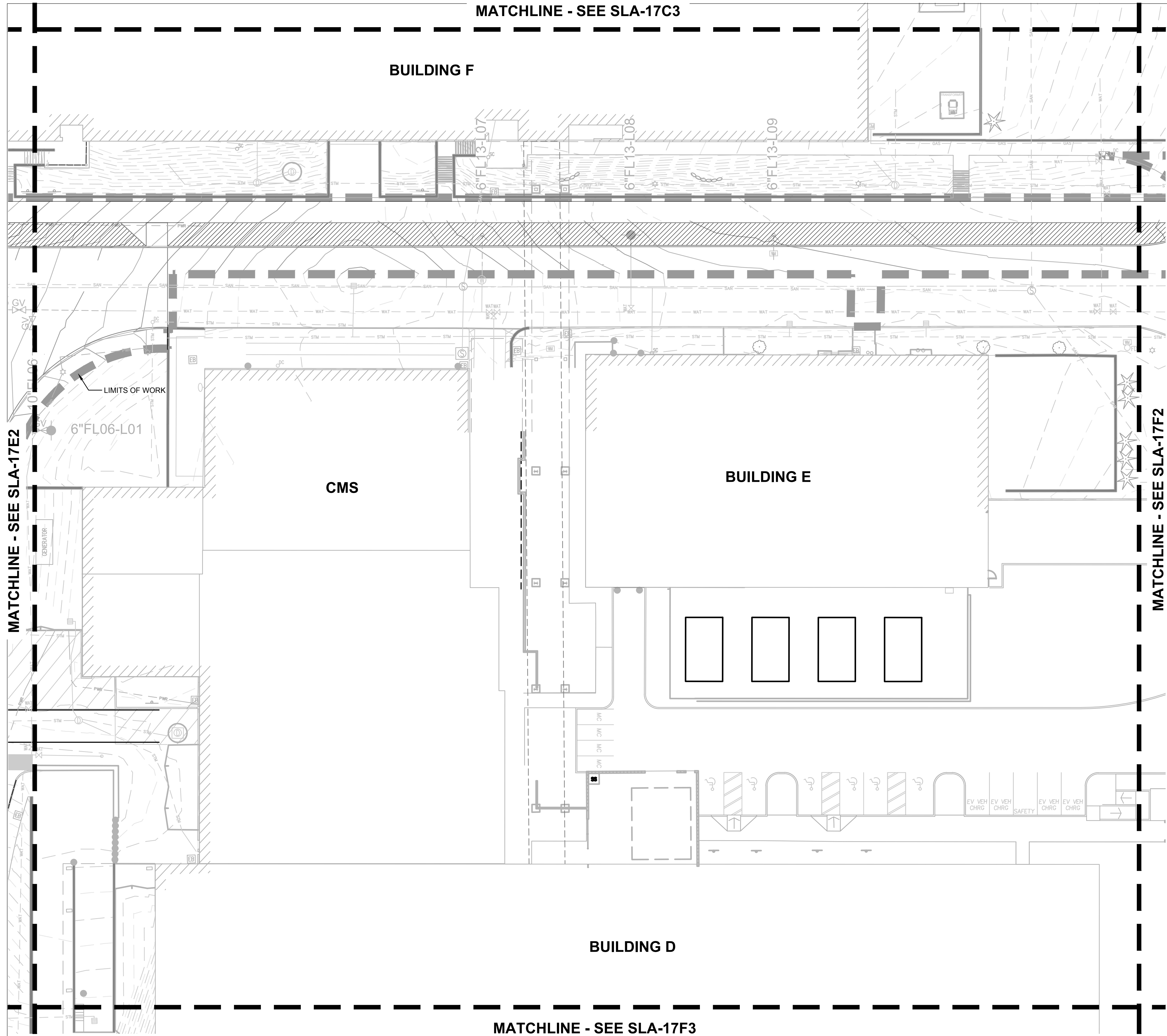
Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE:
IRRIGATION PLAN

DATE ISSUED:	DRAWING SCALE: 1" = 40'
REVIT FILE:	BUILDING DESIGNATOR:
DRAWING NUMBER:	

SLA-17E4

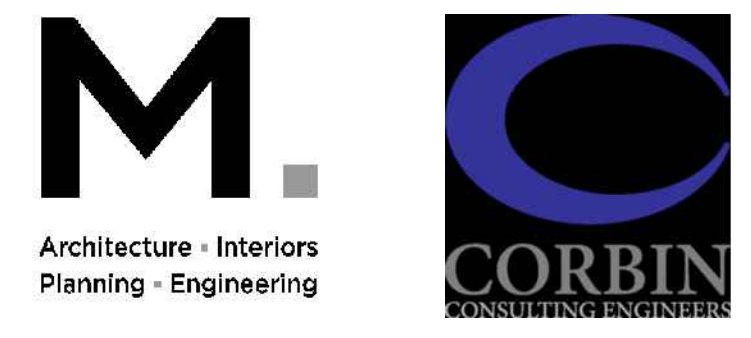




- IRRIGATION LEGEND**
- HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - MODERATE WATER USE
 - HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - LOW WATER USE
 - HIGH-EFFICIENCY MATCHED PRECIPITATION RATE SPRAY - HIGH WATER USE
 - SEEDED MEADOW - TEMPORARY SPRAY
 - STORMWATER AREA - TEMPORARY SPRAY
 - STORMWATER AREA - PERMANENT SPRAY

Jacobs.

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201



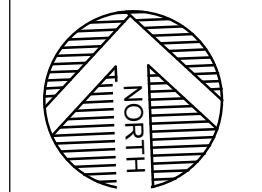
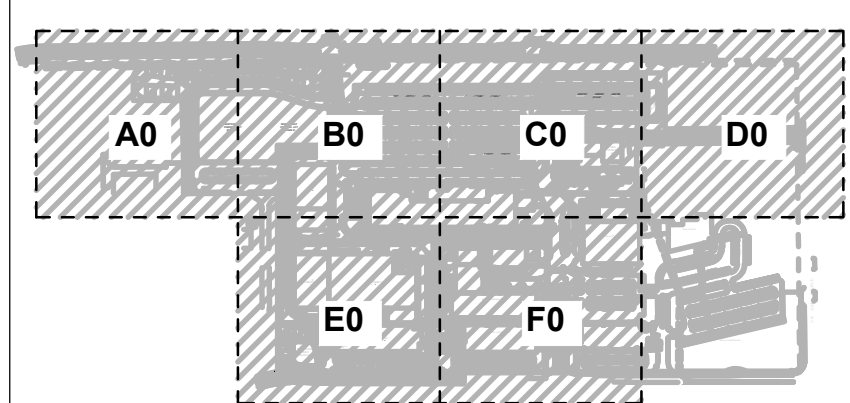
Portland, OR
503.224.9560
Vancouver, WA
360.682.7679
Seattle, WA
206.493.9395

www.mackenzie.inc

MACKENZIE.

JACOBS PROJECT No.: D3822800	CLIENT PROJECT No.:
DRAWN:	REVIEWED:
DESIGNED:	APPROVED:
NOTICE:	STAMP:

NO	REVISION OR ISSUE	DATE	BY



SITE

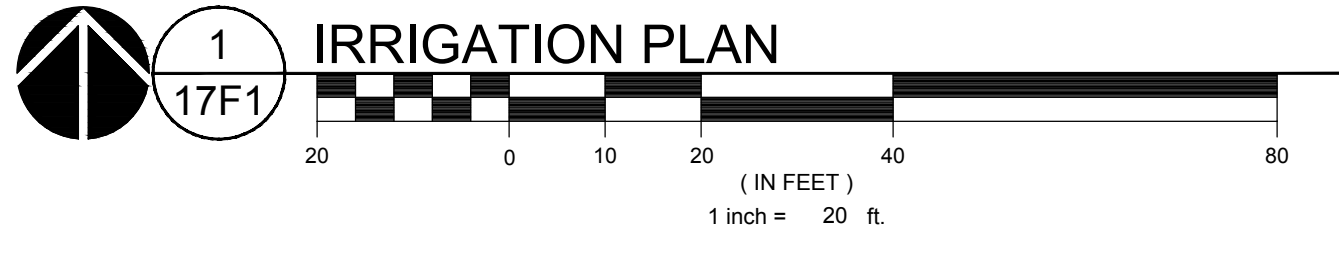


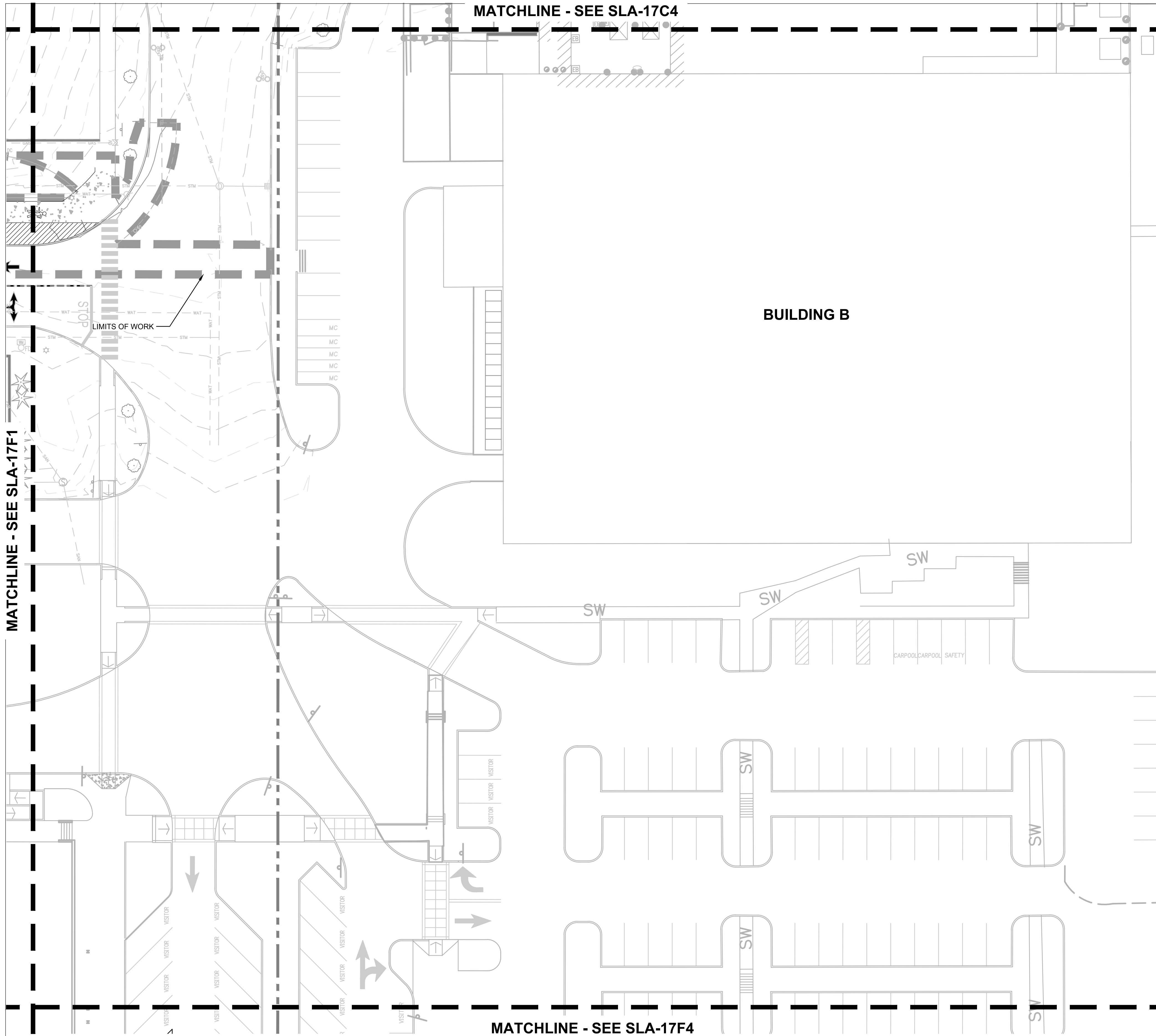
Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE:
IRRIGATION PLAN

DATE ISSUED: DRAWING SCALE: 1" = 20'
REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER: **SLA-17F1**





IRRIGATION LEGEND

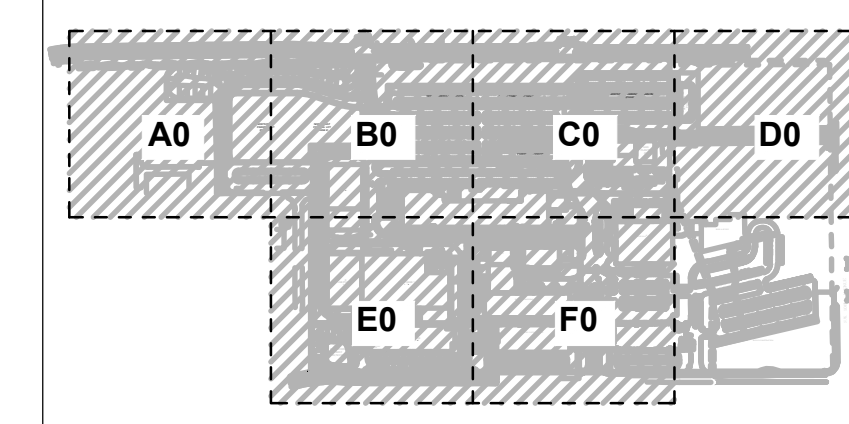
	HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - MODERATE WATER USE
	HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - LOW WATER USE
	HIGH-EFFICIENCY MATCHED PRECIPITATION RATE SPRAY - HIGH WATER USE
	SEEDED MEADOW - TEMPORARY SPRAY
	STORMWATER AREA - TEMPORARY SPRAY
	STORMWATER AREA - PERMANENT SPRAY



Portland, OR
503.224.9560
Vancouver, WA
360.685.7679
Seattle, WA
206.493.9395
www.mackenzie.inc
MACKENZIE.

JACOBS PROJECT No.: D3822800
CLIENT PROJECT No.:
DRAWN: _____ REVIEWED: _____
DESIGNED: _____ APPROVED: _____
NOTICE: _____ STAMP: _____

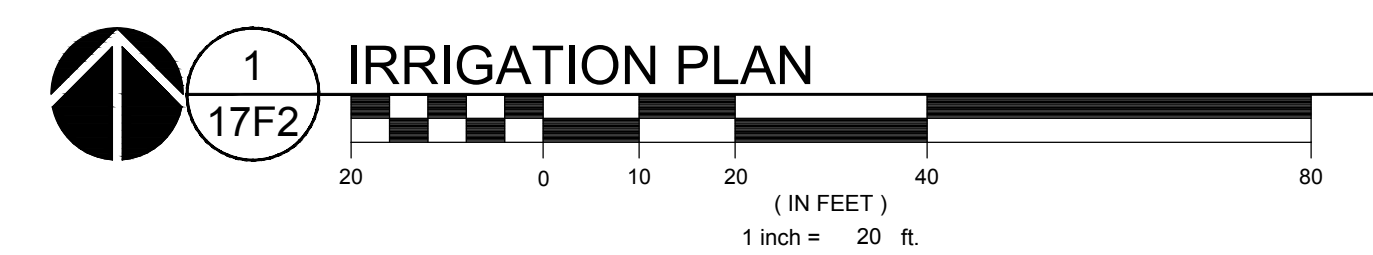
NO	REVISION OR ISSUE	DATE	BY



Lam RESEARCH
Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE:
IRRIGATION PLAN

DATE ISSUED: _____ DRAWING SCALE: 1" = 20'
REVIT FILE: _____ BUILDING DESIGNATOR: _____
DRAWING NUMBER: **SLA-17F2**



MATCHLINE - SEESLA-17F1

IRRIGATION LEGEND

- HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - MODERATE WATER USE
- HIGH-EFFICIENCY PRESSURE COMPENSATING DRIP - LOW WATER USE
- HIGH-EFFICIENCY MATCHED PRECIPITATION RATE SPRAY - HIGH WATER USE
- SEEDED MEADOW - TEMPORARY SPRAY
- STORMWATER AREA - TEMPORARY SPRAY
- STORMWATER AREA - PERMANENT SPRAY

Jacobs.

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M.

Architecture - Interiors
Planning - Engineering

CORBIN

CONSULTING ENGINEERS

Portland, OR
503.224.9560
Vancouver, WA
360.695.7679
Seattle, WA
206.493.9395

www.mackenzie.inc

MACKENZIE.

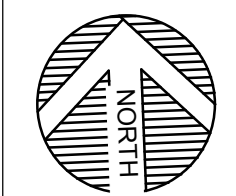
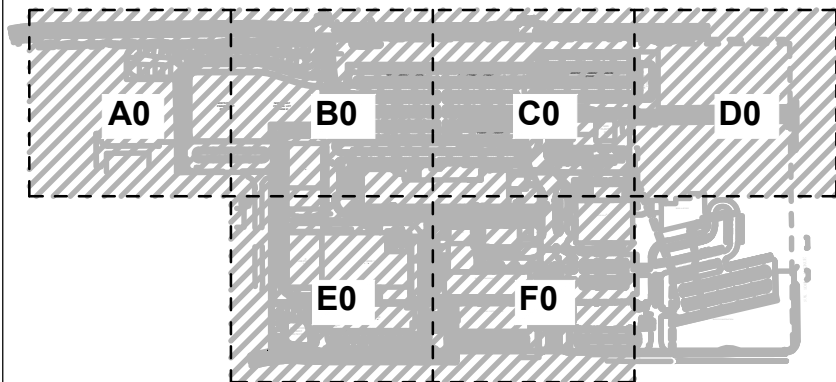
JACOBS PROJECT No.: D3822800 CLIENT PROJECT No.:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO	REVISION OR ISSUE	DATE	BY



SITE



Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE:
IRRIGATION PLAN

DATE ISSUED: DRAWING SCALE: 1" = 40'

REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER: **SLA-17F3**

MATCHLINE - SEE SLA-17E4

MATCHLINE - SEE SLA-17F4

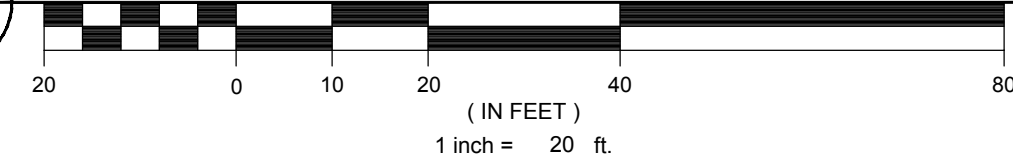
BUILDING C

N 89°35'19" W 1325.84'

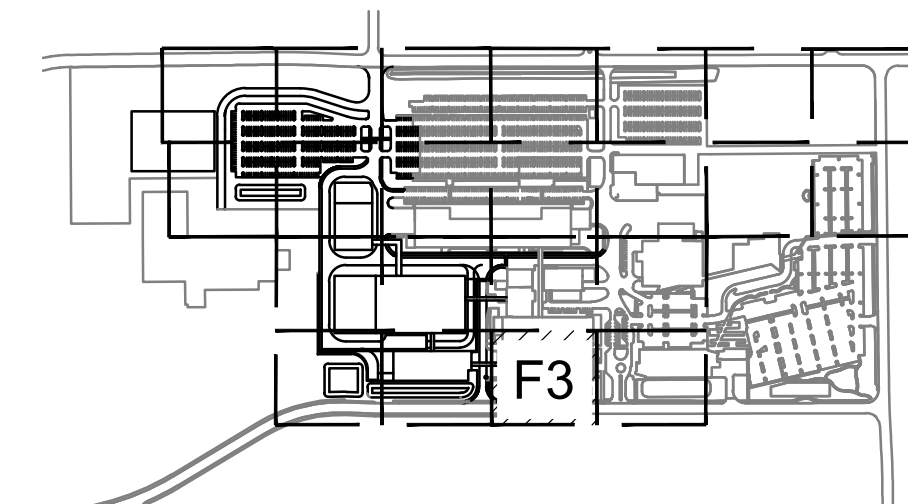
SW LEVETON DRIVE

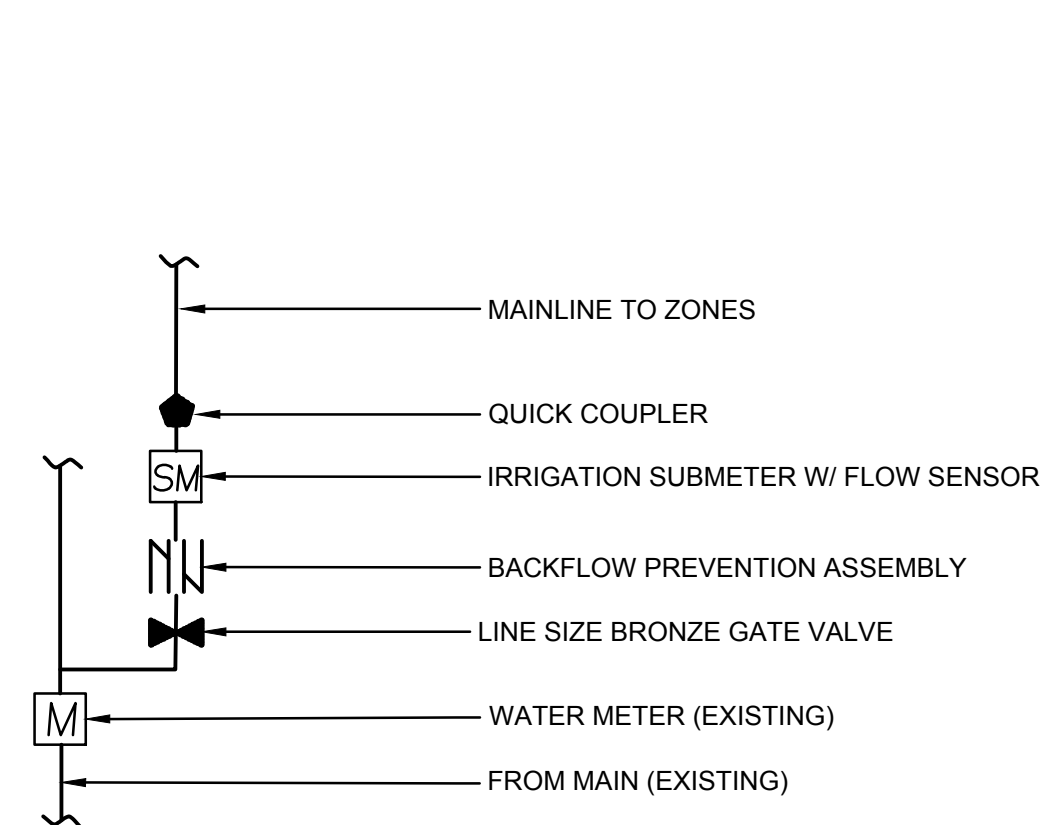
LIMITS OF WORK

1 IRRIGATION PLAN
17F3

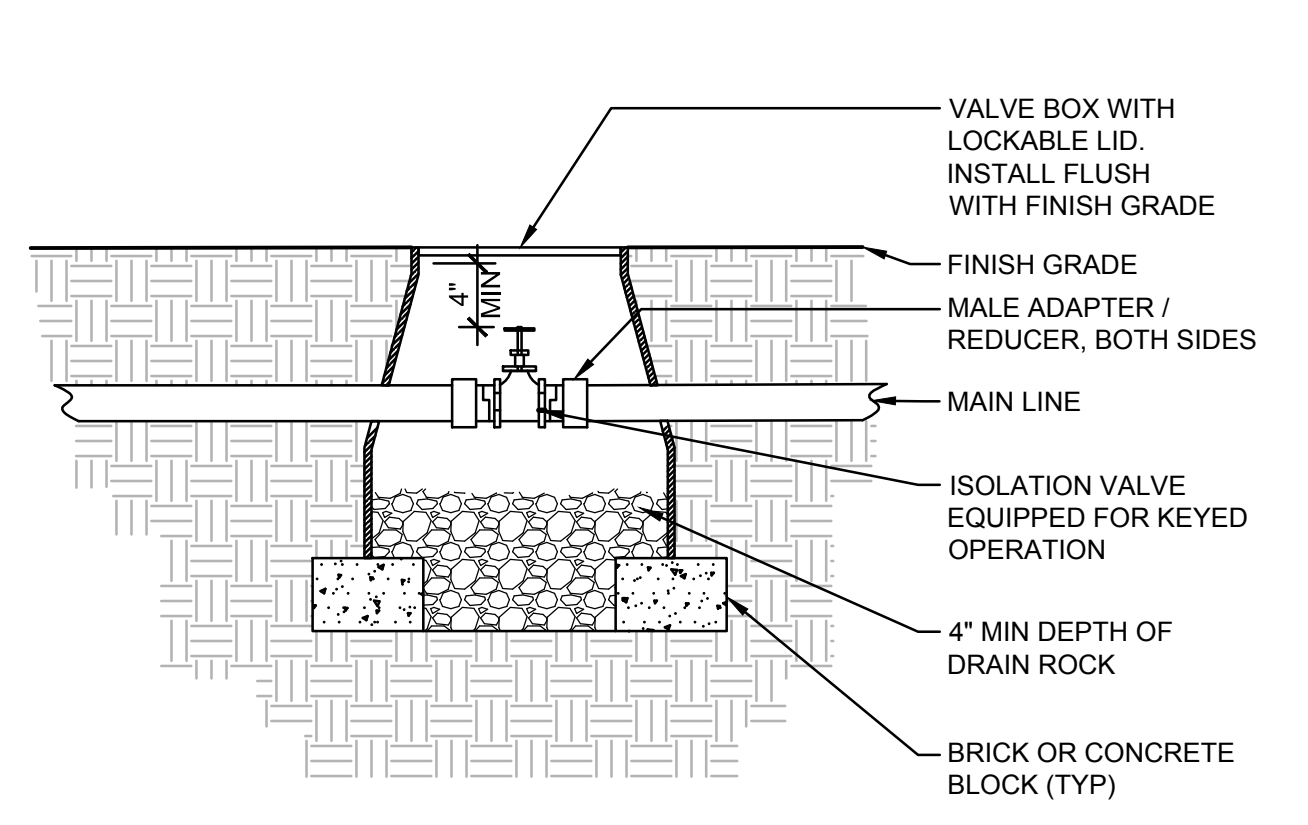


KEY MAP
SCALE: NTS

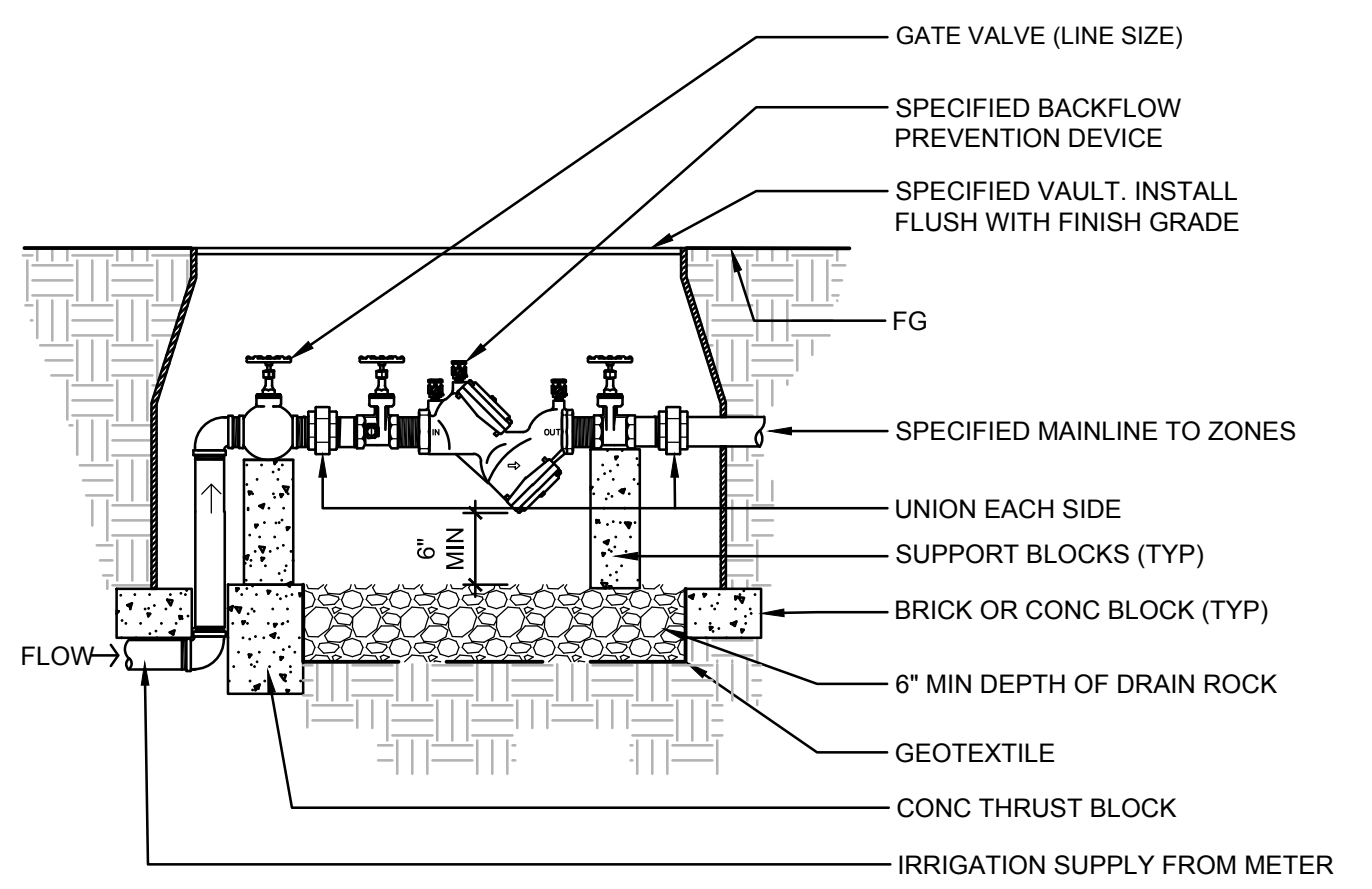




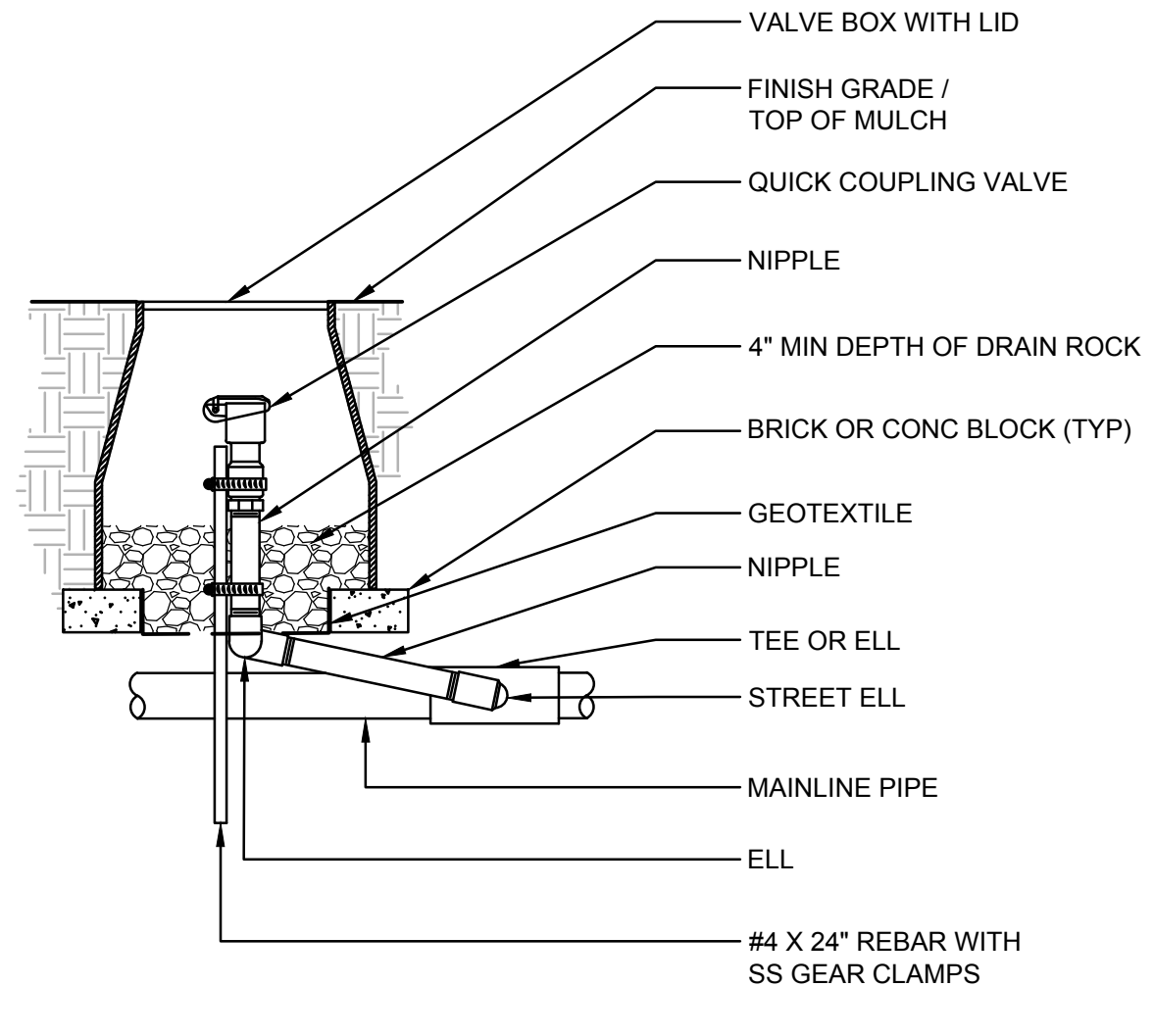
1 POINT OF CONNECTION
IRRIGATION SUBMETER SCALE: NTS



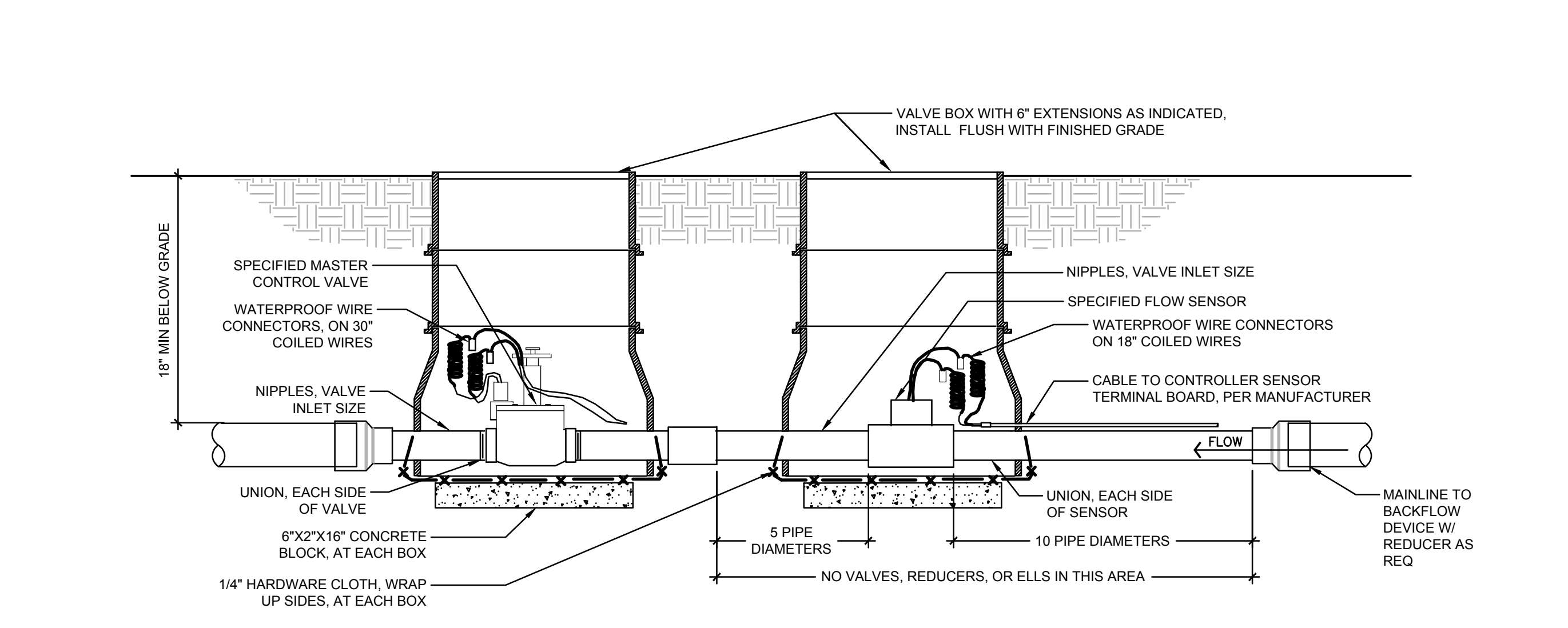
2 ISOLATION VALVE
GATE VALVE SCALE: NTS



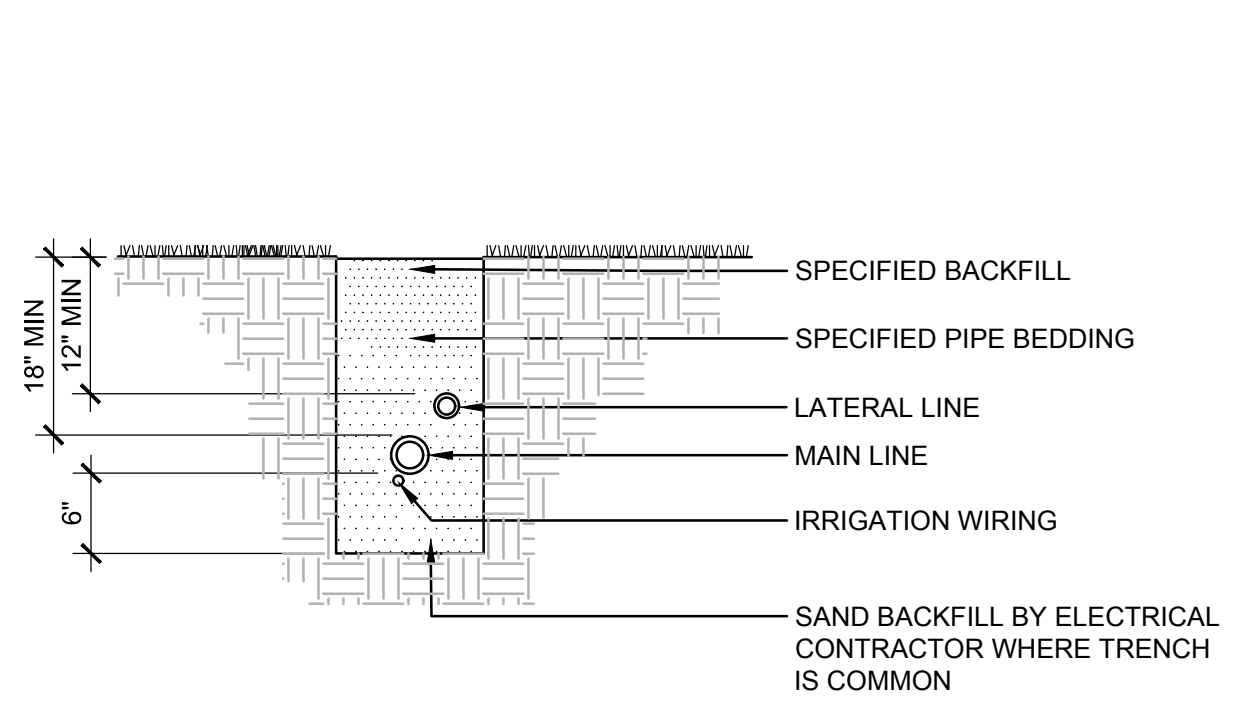
3 DOUBLE CHECK VALVE SCALE: NTS



4 QUICK COUPLER VALVE SCALE: NTS

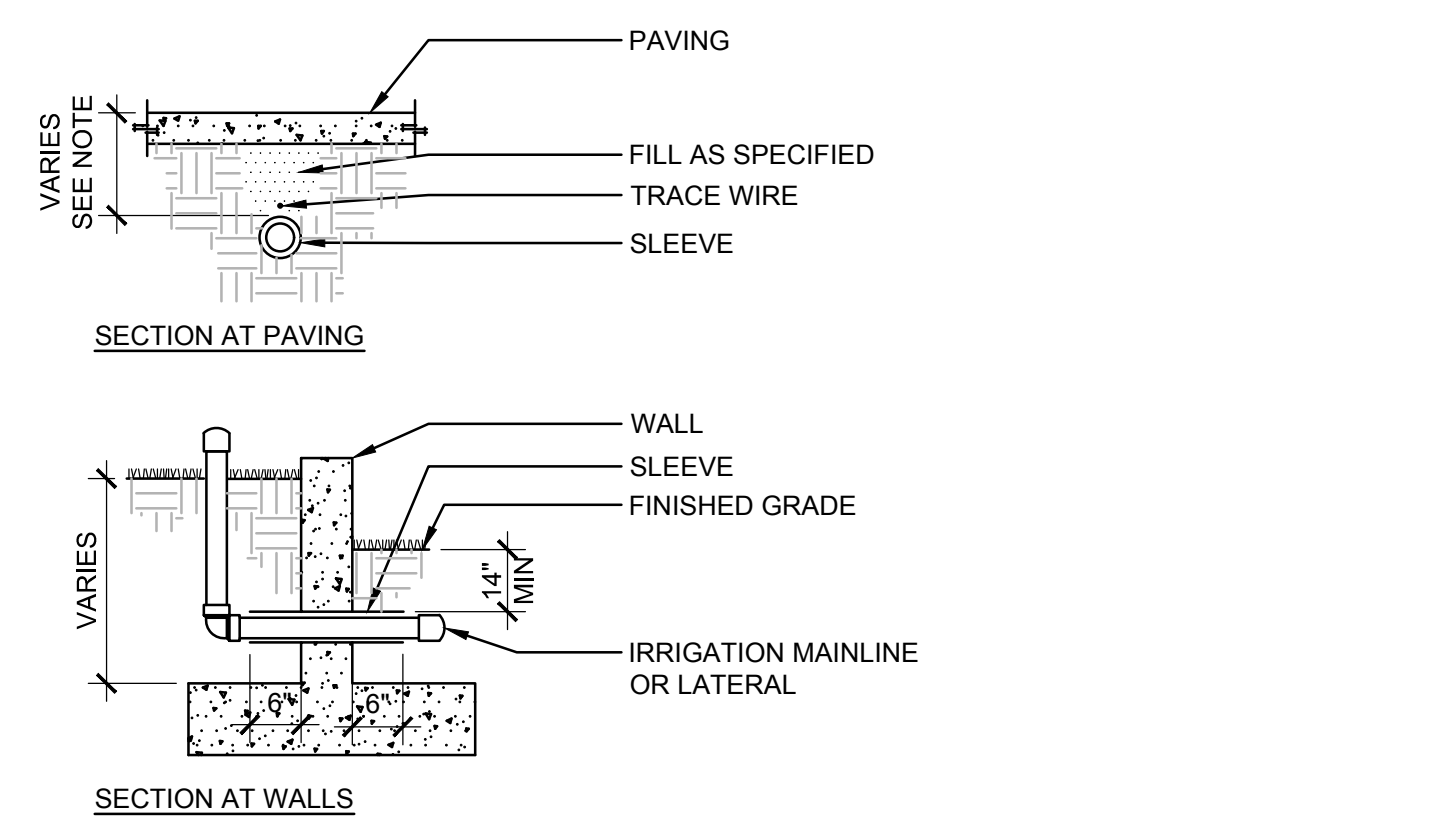


5 MASTER VALVE/FLOW SENSOR ASSEMBLY SCALE: NTS



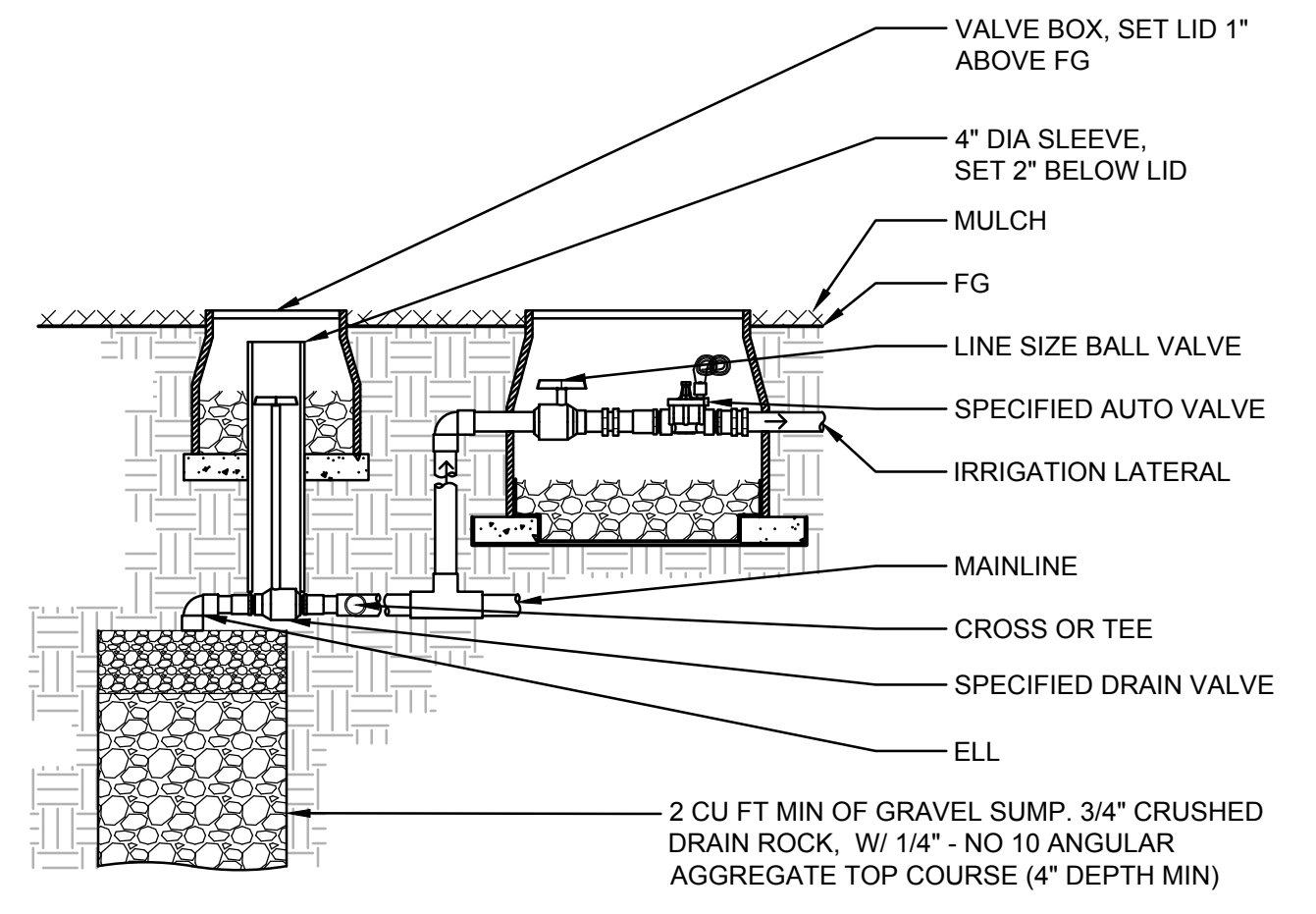
- NOTES**
- SNAKE ALL HDPE PIPING IN TRENCHING.
 - TIE LOOSE 3' LOOP IN ALL IRRIGATION WIRING AT CHANGES IN DIRECTION GREATER THAN 30 DEGREES. UNTIE AFTER ALL CONNECTIONS HAVE BEEN MADE.
 - WHERE ELECTRICAL WIRING DOES NOT SHARE COMMON TRENCH, OVER EXCAVATE TRENCH 2" MIN AND BACKFILL WITH SPECIFIED BEDDING MATERIAL.
 - LOCATE ALL WIRING NOT IN COMMON TRENCHES ACCURATELY ON RECORD DRAWINGS.

6 IRRIGATION TRENCHING (TYP) SCALE: NTS



- | MIN DEPTH OF PIPE | |
|--------------------|-----|
| MAINLINE | 18" |
| LATERAL AT PAVING | 14" |
| AT DRIVING SURFACE | 24" |
- NOTES**
- SLEEVES TO BE TWICE DIAMETER OF LINE OR LINES PASSING THROUGH.
 - EXTEND IRRIGATION SLEEVE 6" BEYOND EDGE OF PAVING, EACH SIDE.
 - INSTALL SLEEVES AT SAME TIME AS WALL OR PAVING INSTALLATION.
 - INSTALL PIPE IN SLEEVE BEFORE BACKFILLING AND CAP BOTH ENDS WITHOUT GLUE.

7 IRRIGATION SLEEVES SCALE: NTS

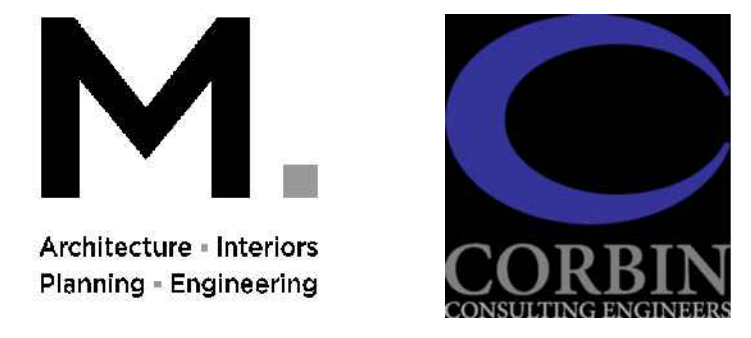


- NOTES**
- SIZE GRAVEL SUMP PER SOIL CONDITIONS. PROVIDE 2 CU FT CAPACITY MIN.
 - LOCATE DRAIN VALVE(S) AT LOW POINT(S) ALONG MAINLINE.
 - MARK LOCATION OF SUMP ACCURATELY ON RECORD DRAWINGS.
 - ENSURE POSITIVE DRAINAGE AT SUMP. PROVIDE VALVE SLEEVE FROM VALVE BOX DOWN TO TOP OF VALVE.

8 CONTROL AND MANUAL DRAIN VALVE SCALE: NTS

Jacobs

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201



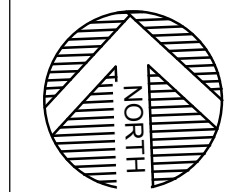
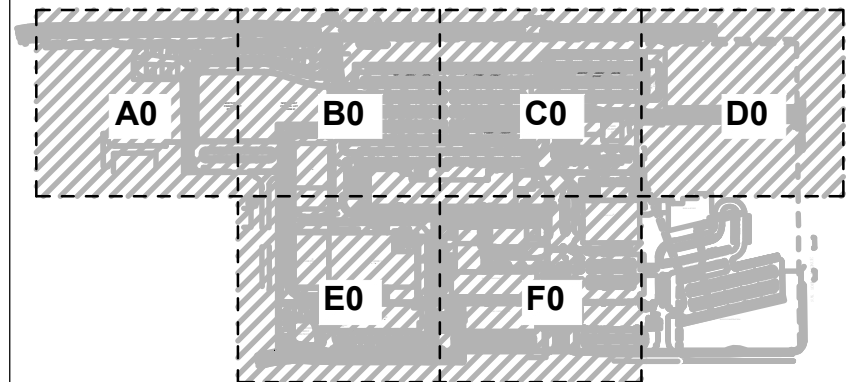
Portland, OR
503.224.9560
Vancouver, WA
360.686.7679
Seattle, WA
206.493.9965

MACKENZIE

JACOBS PROJECT No.: _____ CLIENT PROJECT No.: _____
D3822800

DRAWN: _____ REVIEWED: _____
DESIGNED: _____ APPROVED: _____
NOTICE: _____ STAMP: _____

NO	REVISION OR ISSUE	DATE	BY
----	-------------------	------	----



SITE

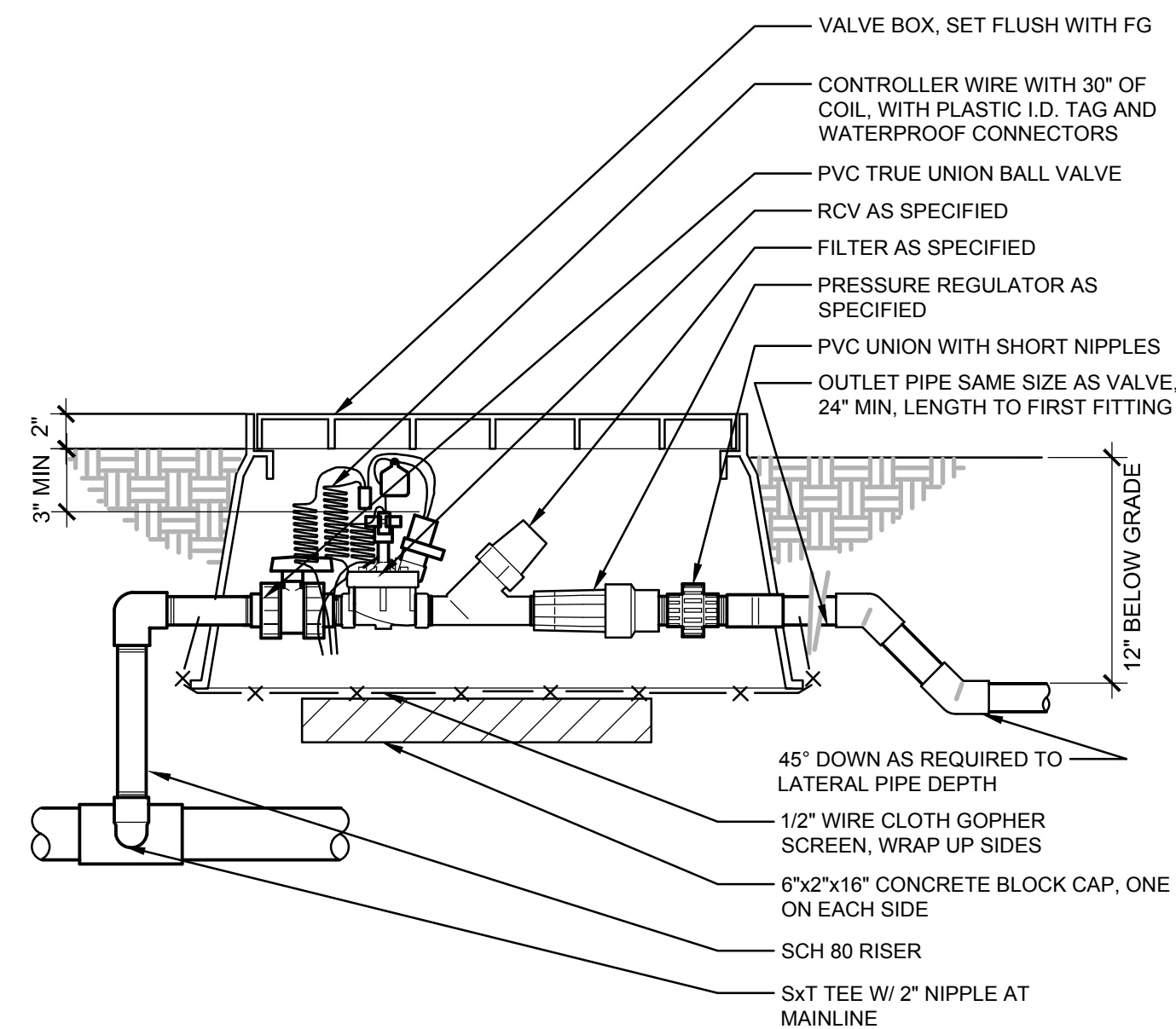


Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

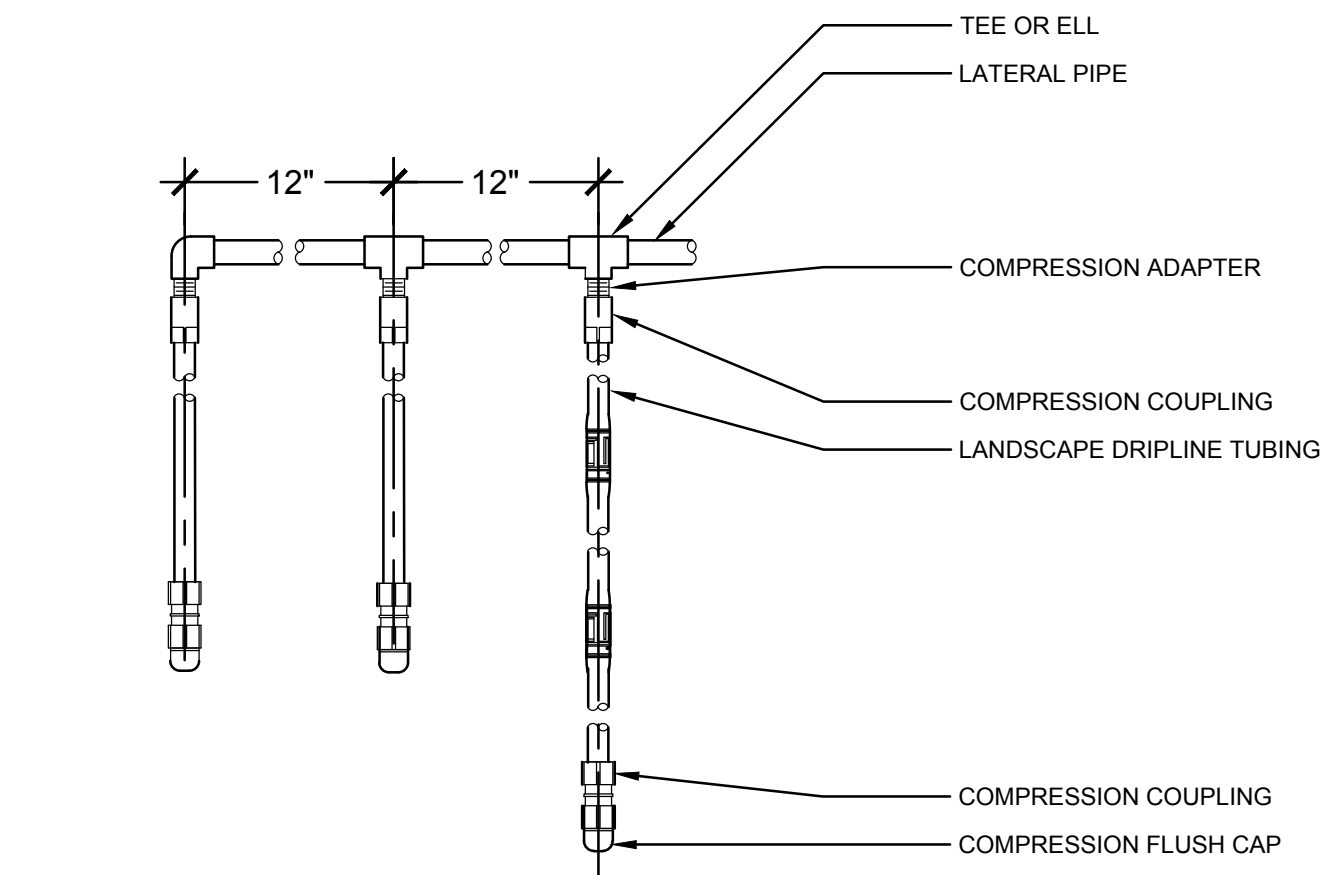
DETAILS

DATE ISSUED: _____ DRAWING SCALE: _____
REVIT FILE: _____ BUILDING DESIGNATOR: _____

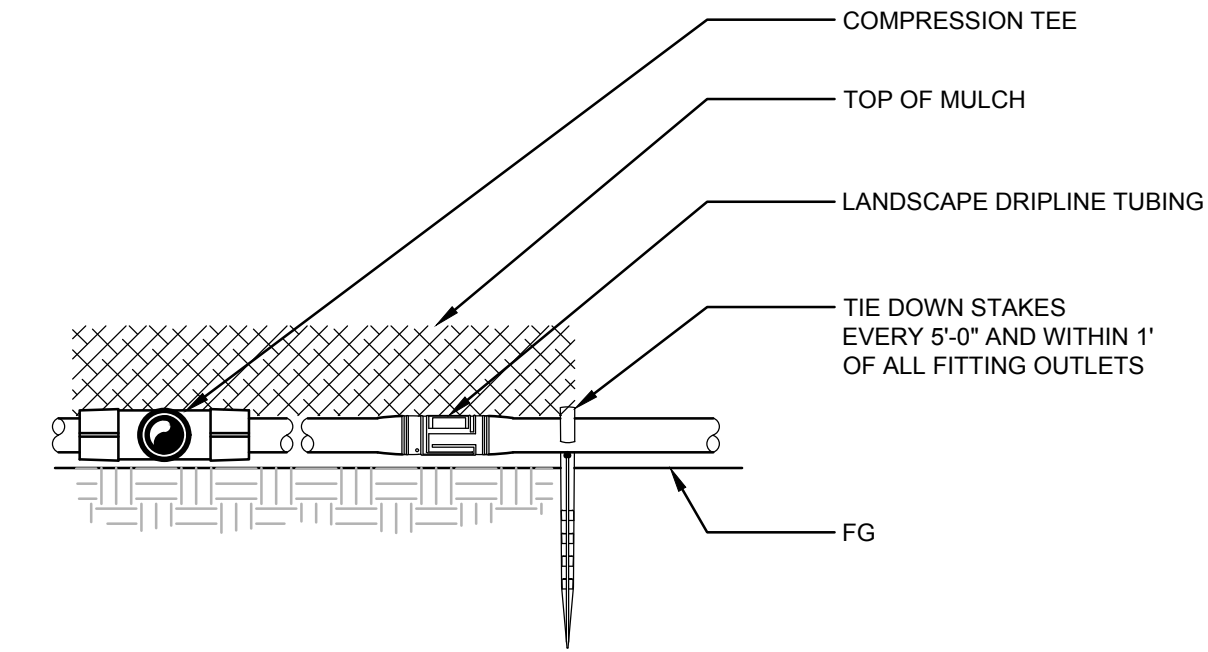
DRAWING NUMBER: **SLA-7600**



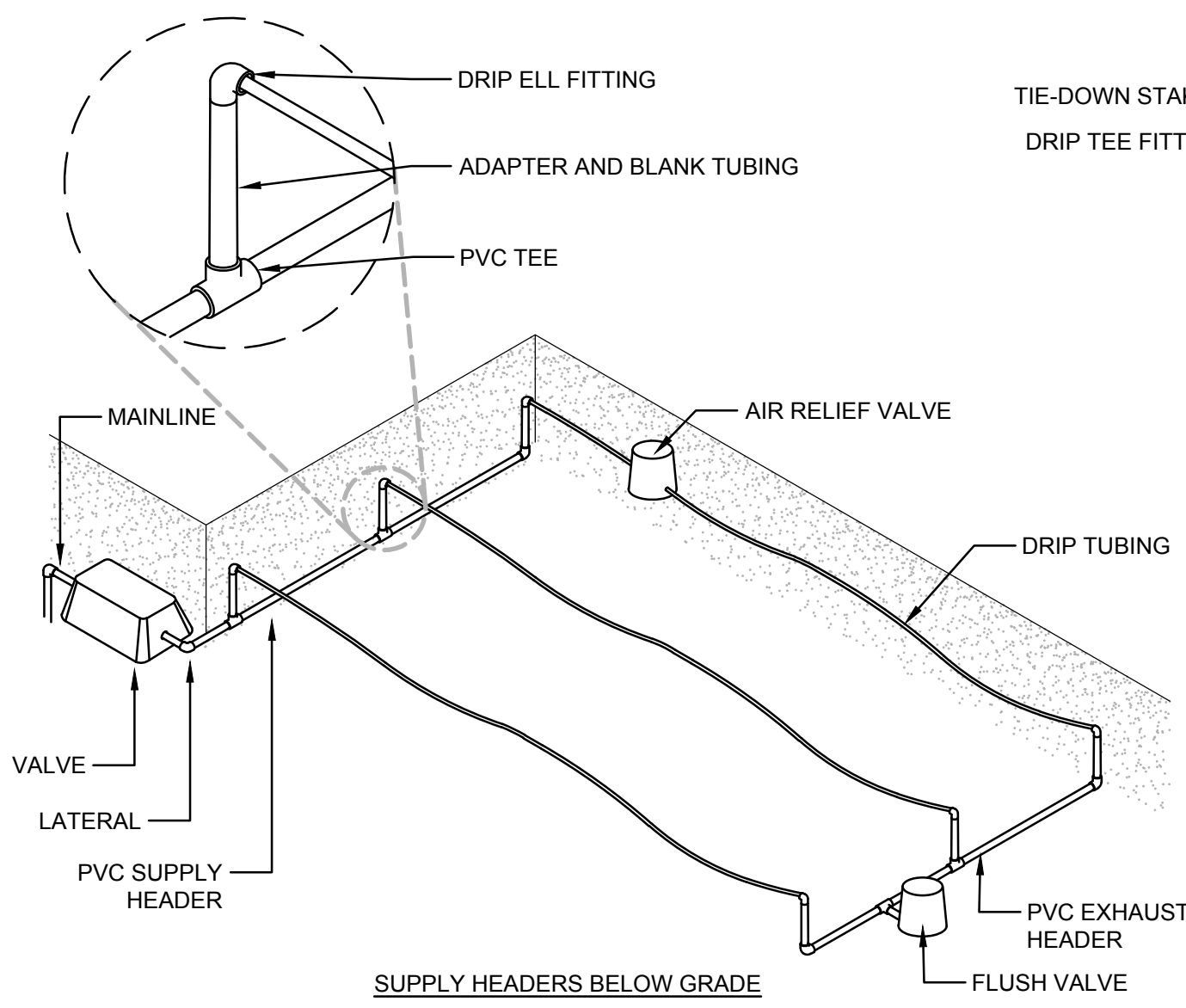
9 1" DRIP VALVE/FILTER/REGULATOR SCALE: NTS



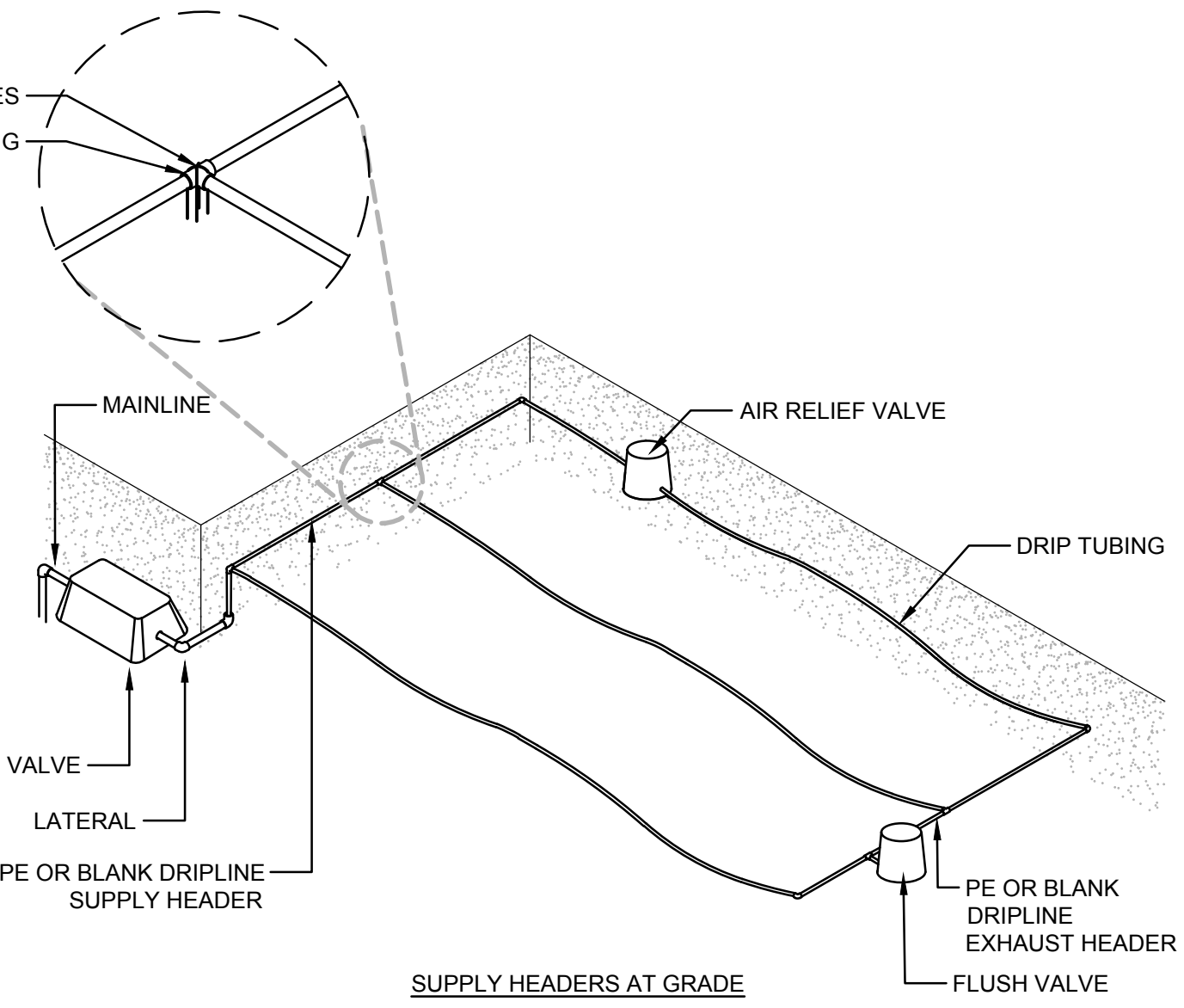
10 DRIPLINE LATERALS DETAIL-SUBTITLE SCALE: NTS



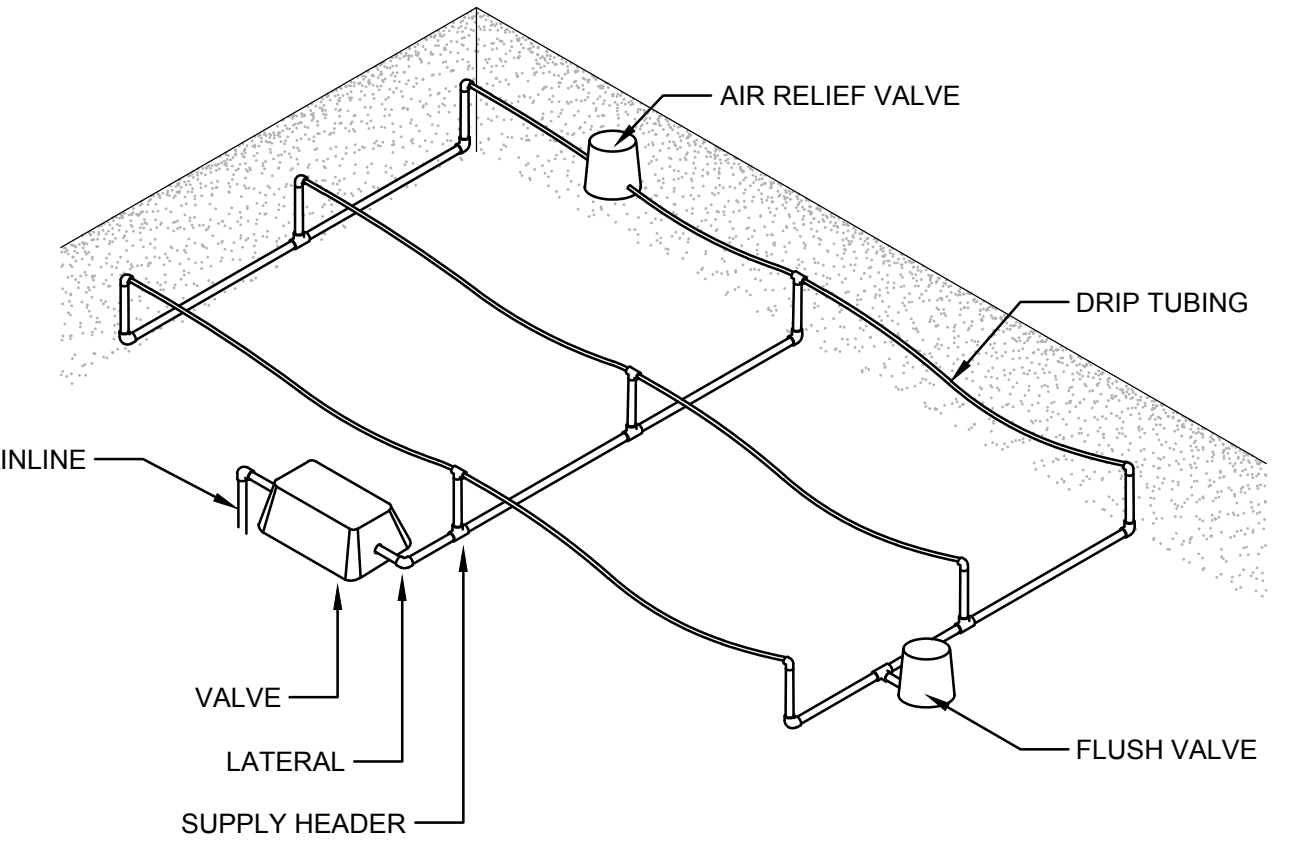
11 DRIPLINE ON GRADE SCALE: NTS



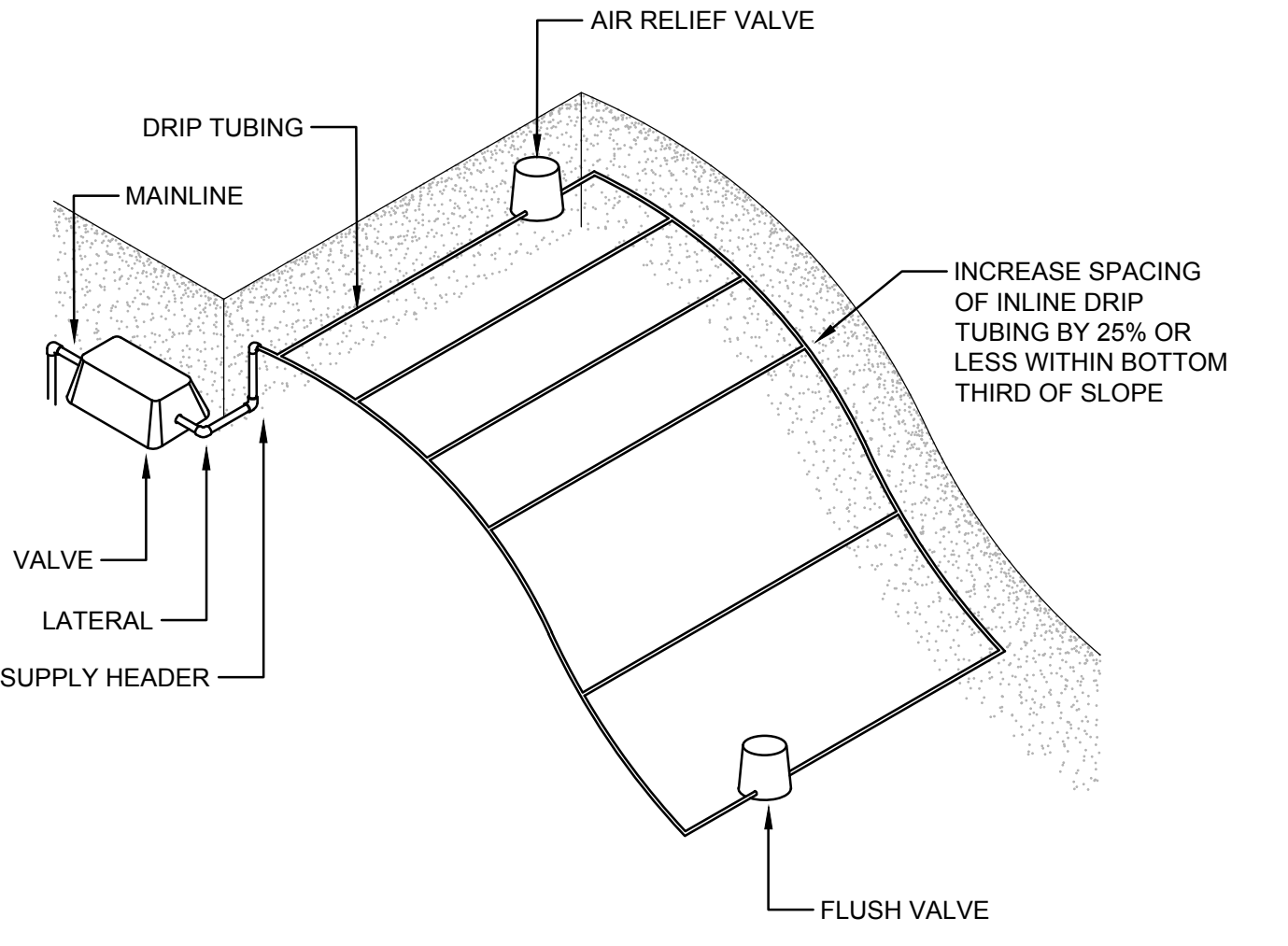
12 DRIP ZONE HEADERS SCALE: NTS



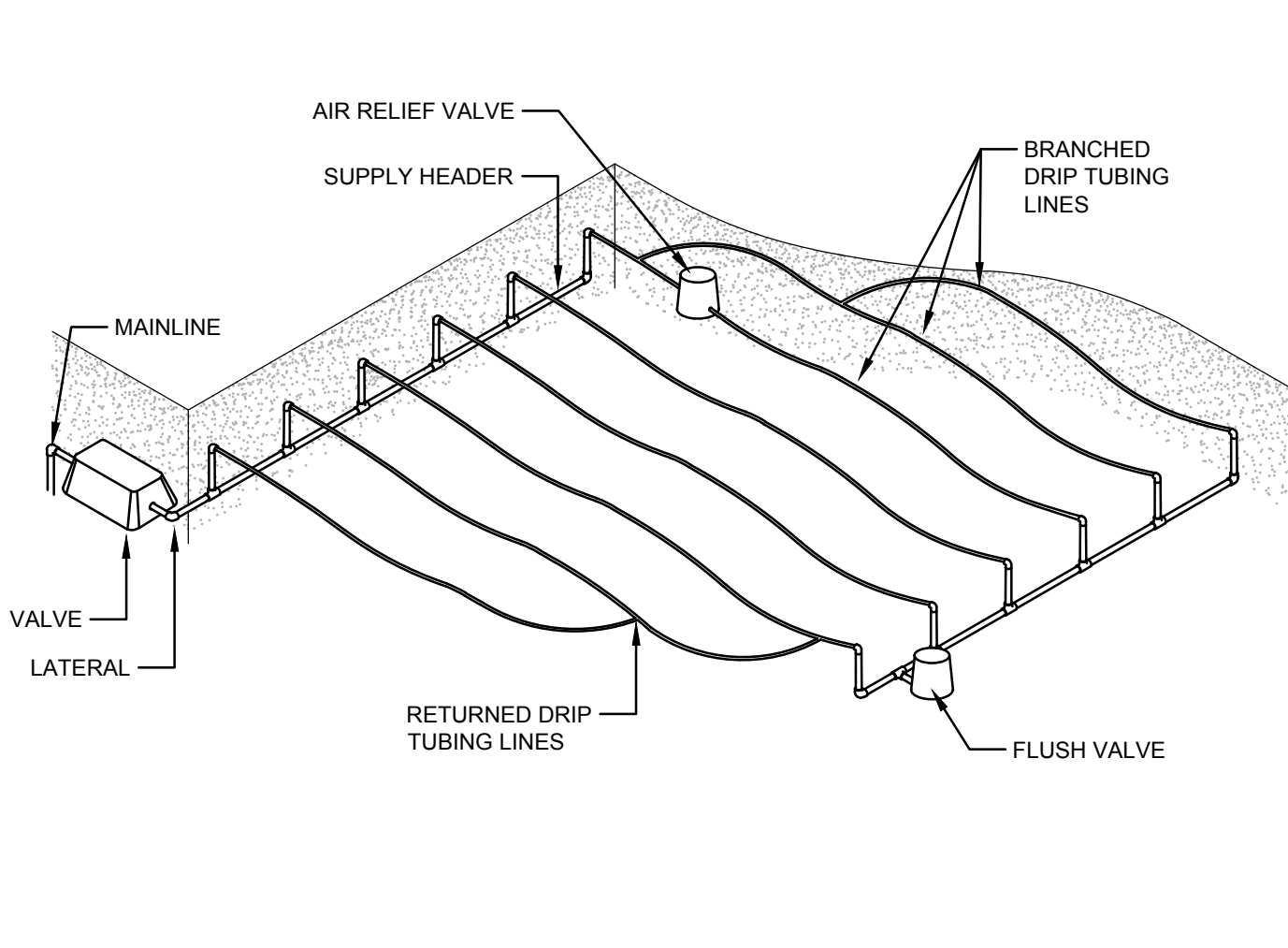
13 CENTER-FEED LAYOUT SCALE: NTS



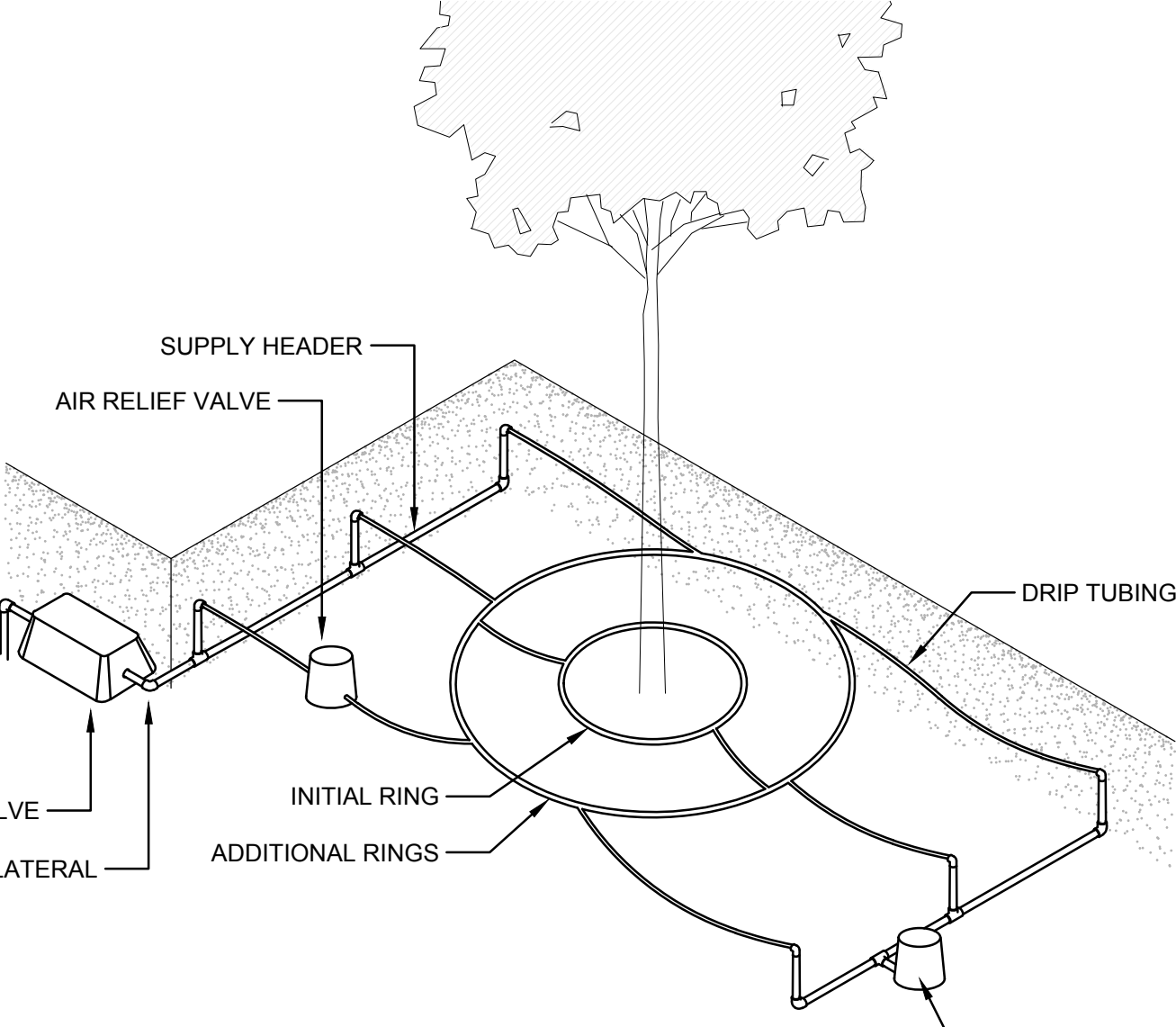
14 ON-SLOPE LAYOUT SCALE: NTS



15 CURVED LAYOUT SCALE: NTS

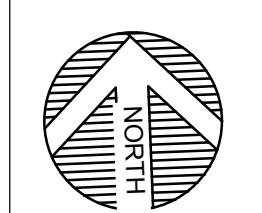
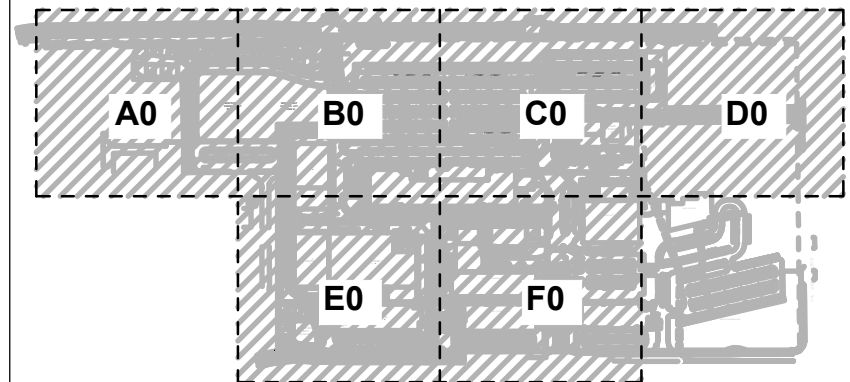


16 TREE DRIP LAYOUT SCALE: NTS



17 TREE DRIP LAYOUT SCALE: NTS

NO	REVISION OR ISSUE	DATE	BY
----	-------------------	------	----



SITE

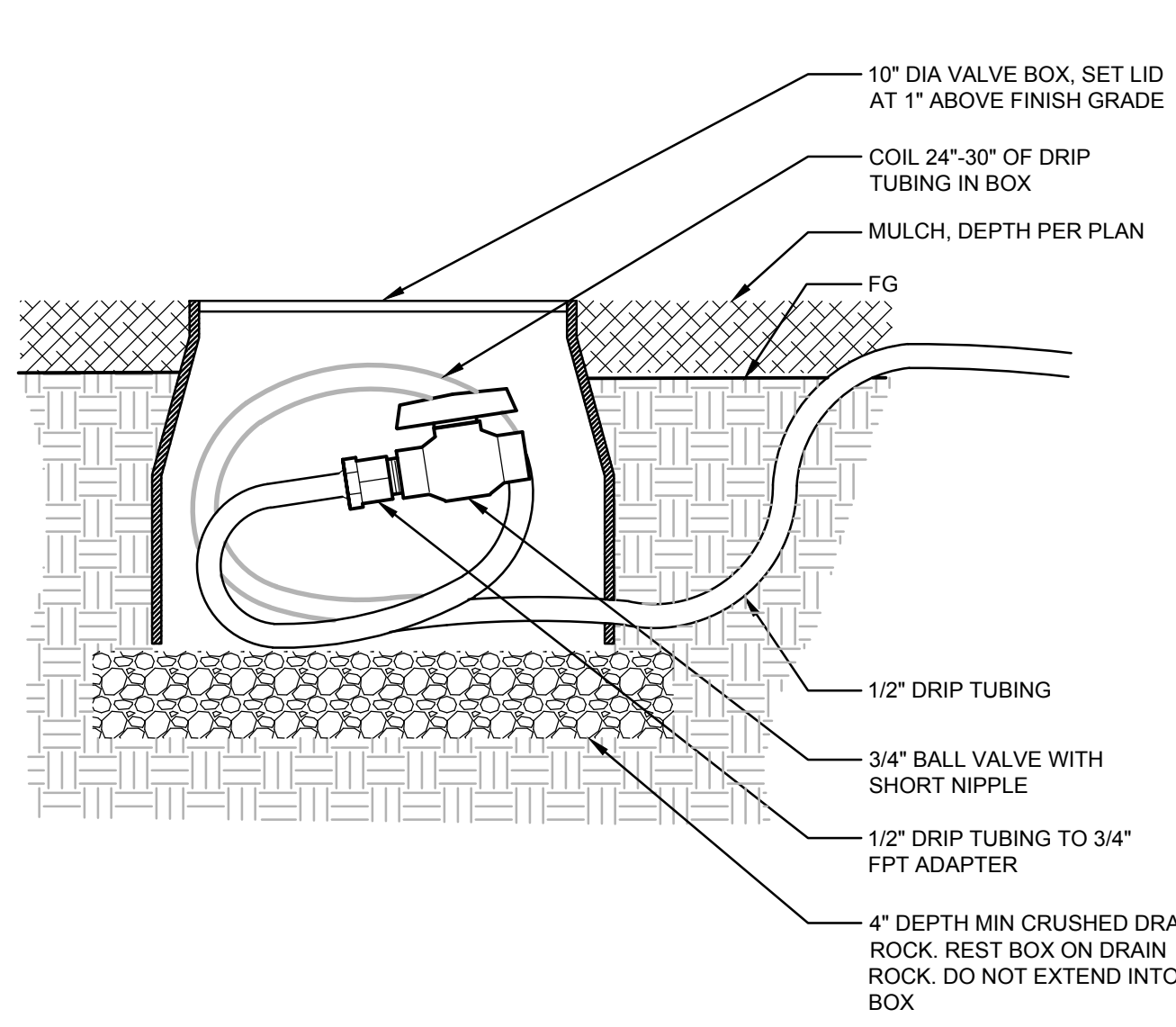


Lam Research
C 4400 CUSHING PARKWAY
FREMONT, CA 94538

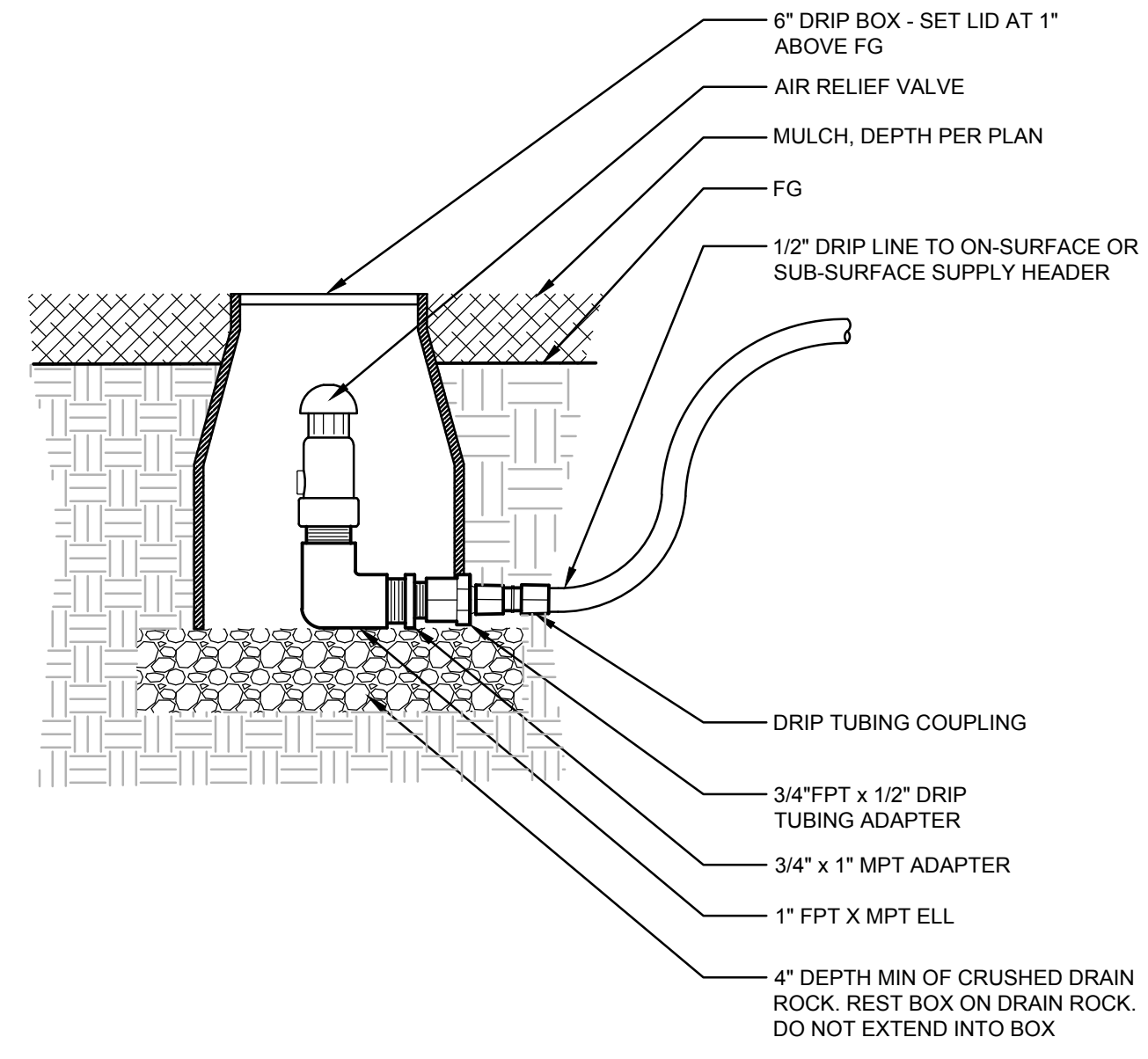
TITLE:
DETAILS

DATE ISSUED: DRAWING SCALE:
REVIT FILE: BUILDING DESIGNATOR:

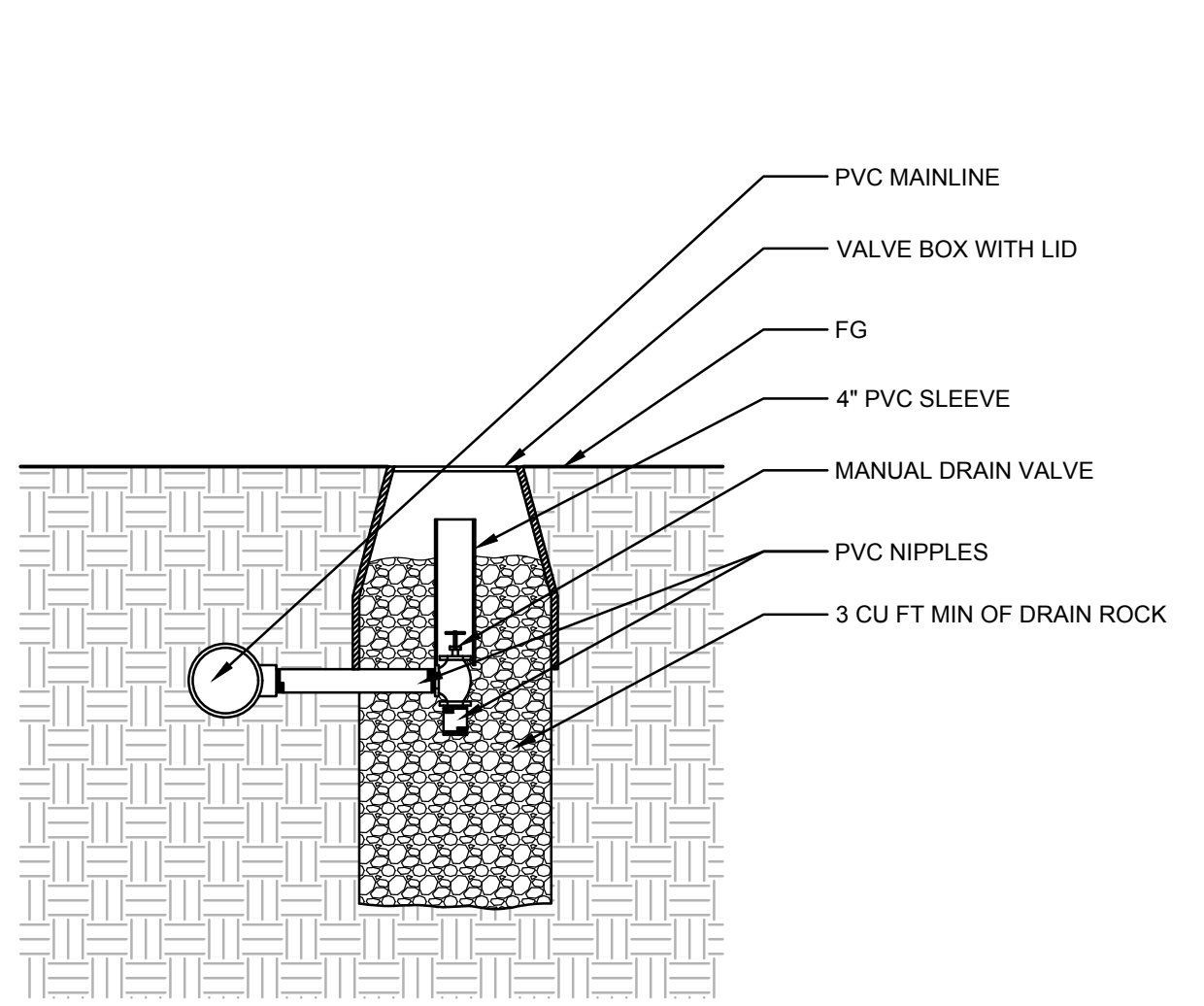
DRAWING NUMBER:
SLA-7601



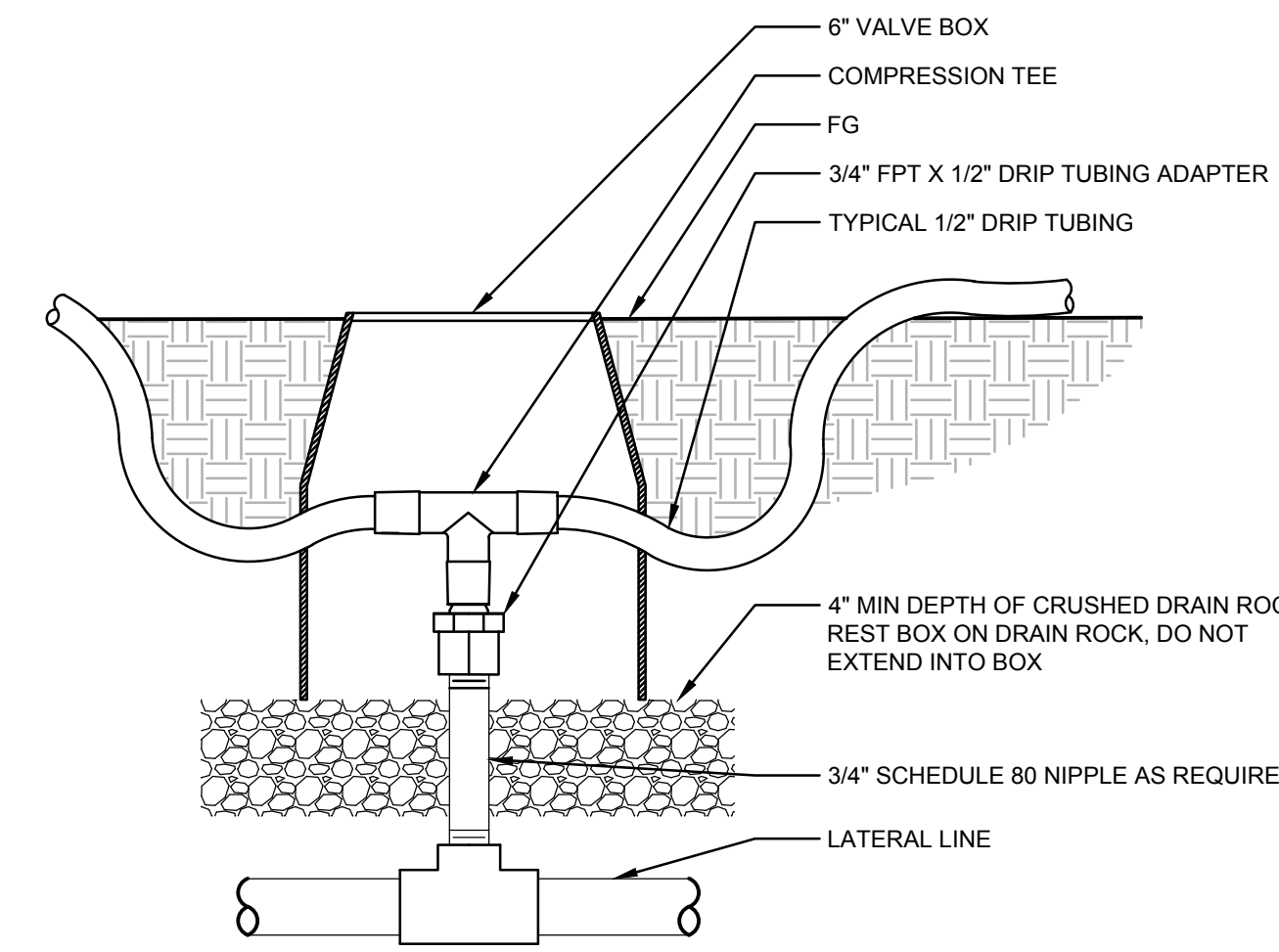
17 DRIP FLUSH VALVE SCALE: NTS



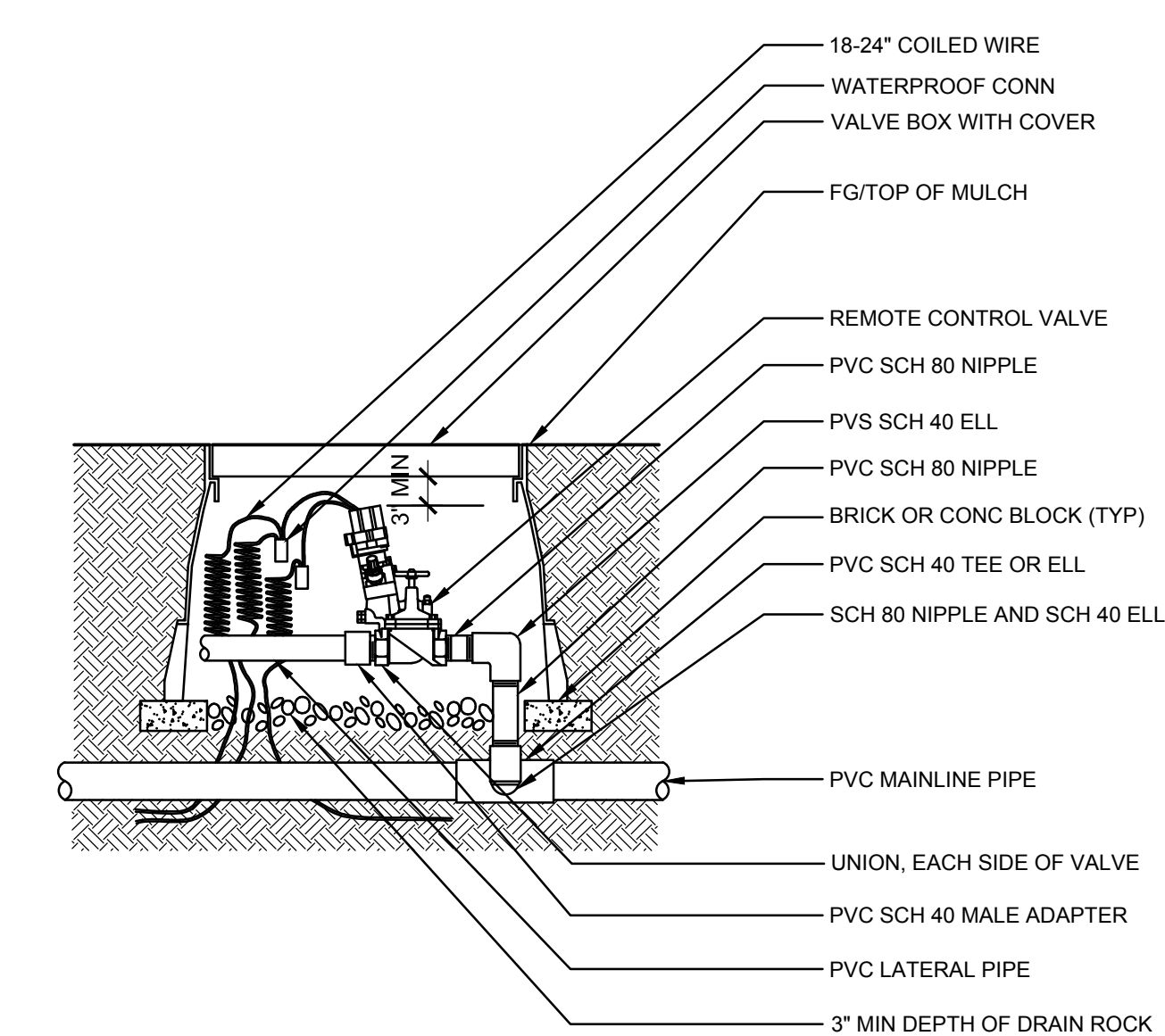
18 DRIP AIR RELIEF VALVE IN BOX SCALE: NTS



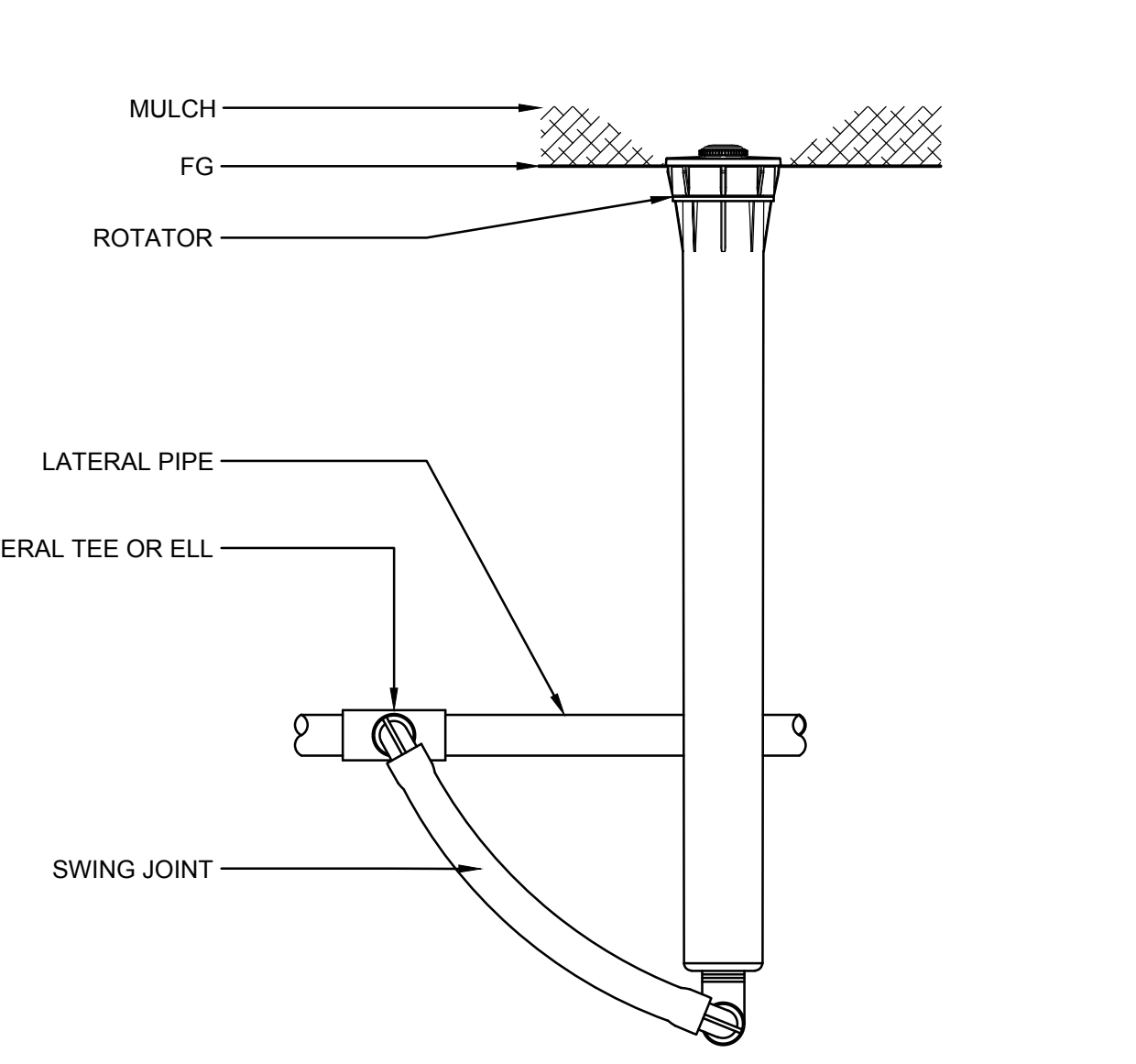
19 MANUAL DRAIN VALVE SCALE: NTS



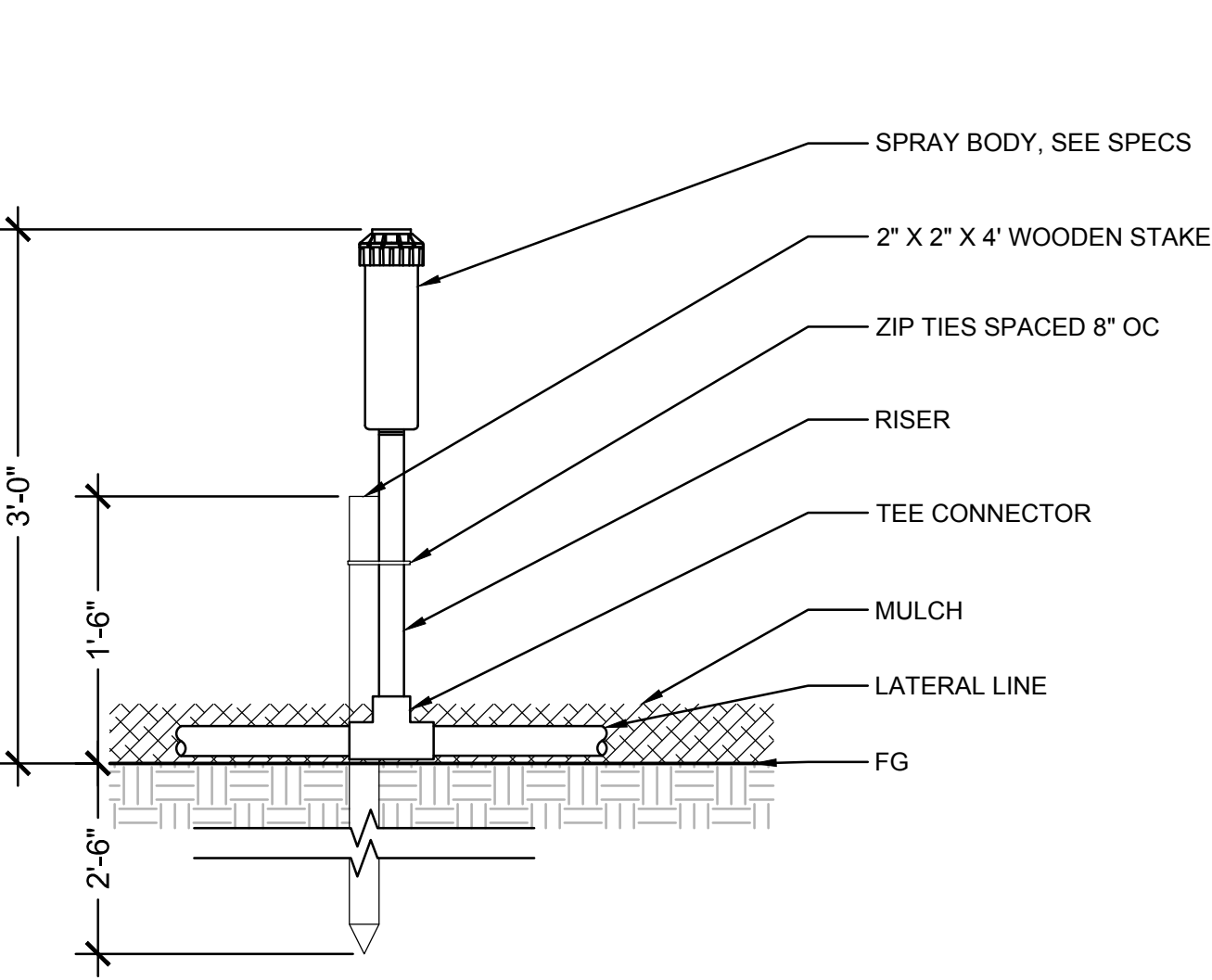
20 ZONE CONTROL SCALE: NTS



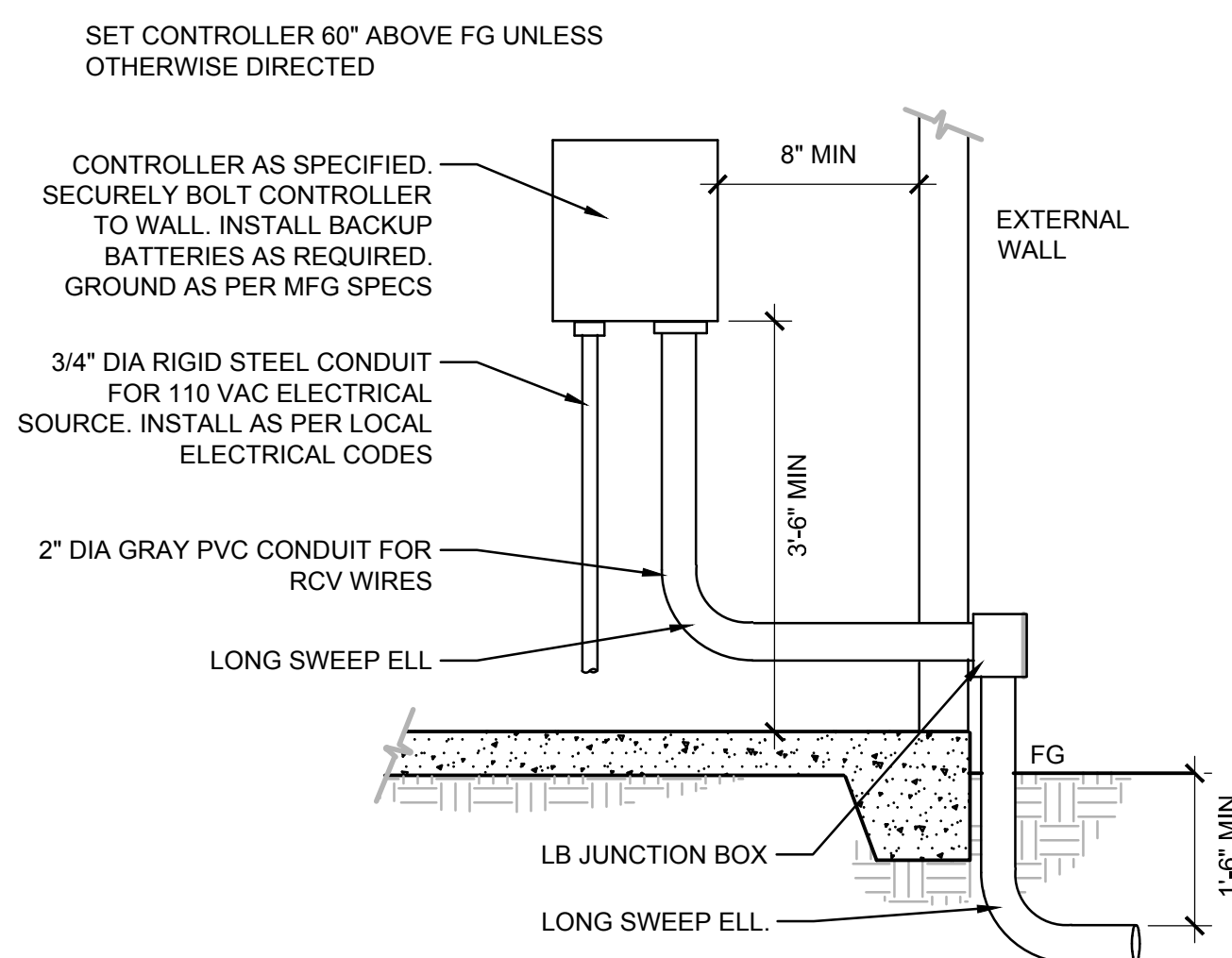
21 ELECTRIC REMOTE CONTROL VALVE SCALE: NTS



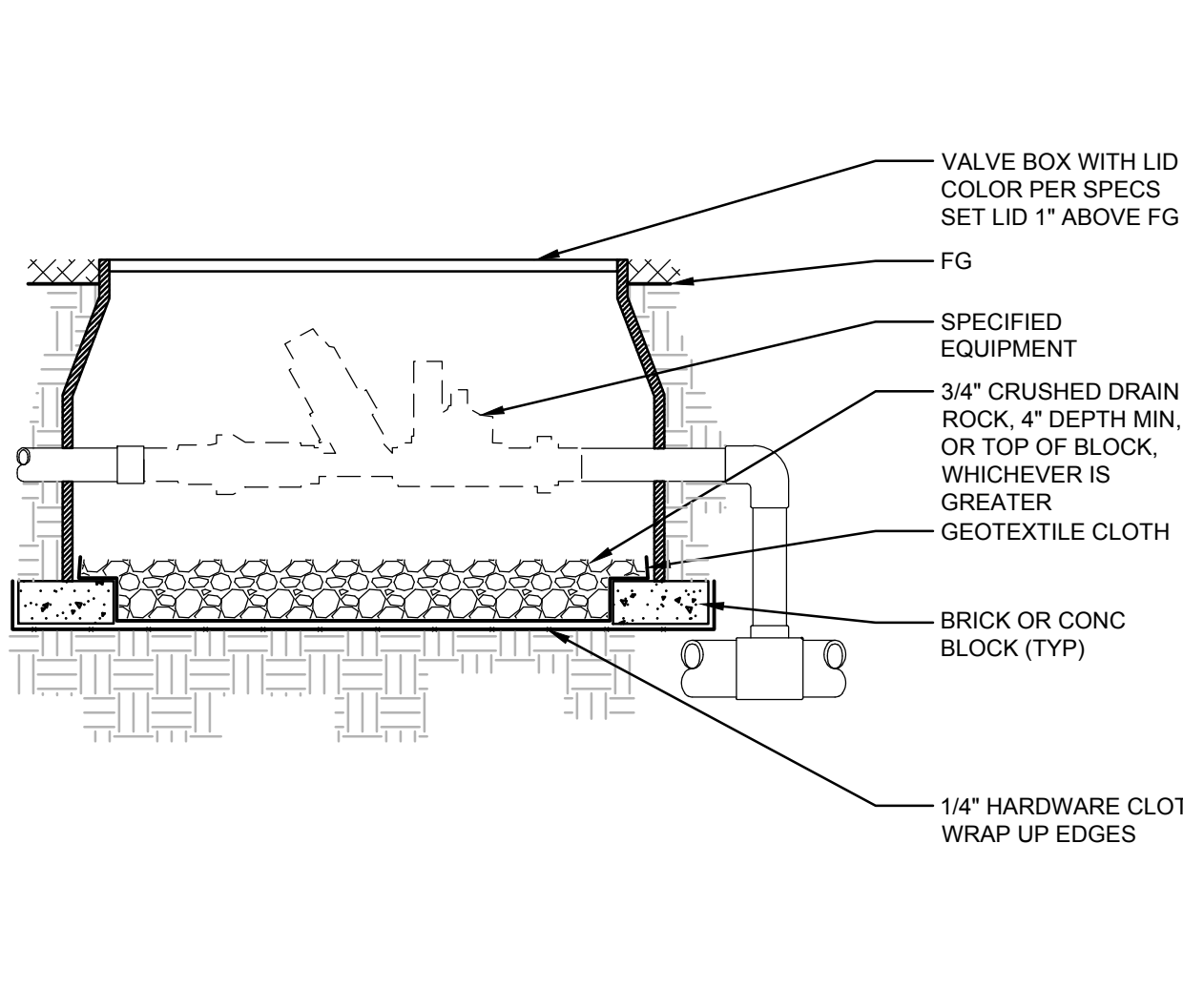
22 MULTI-TRAJECTORY SPRAY HEAD SCALE: NTS



23 SPRAY HEAD - TEMPORARY IRRIGATION SCALE: NTS



24 INTERIOR WALL MOUNT CONTROLLER SCALE: NTS



25 STANDARD VALVE BOX INSTALLATION SCALE: NTS

- NOTES
1. ALL WIRE TO BE INSTALLED AS PER LOCAL ELECTRICAL CODE.
 2. VERIFY LOCATION PRIOR TO INSTALLATION.
 3. INSTALL CONTROLLER PER MANUFACTURER'S INSTRUCTION.

NOTE
1. VALVE BOX SHALL BE SIZED TO PROVIDE 4\"/>

JACOBS PROJECT No.: CLIENT PROJECT No.:

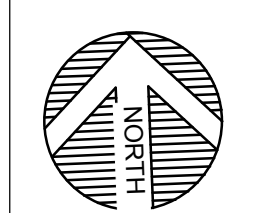
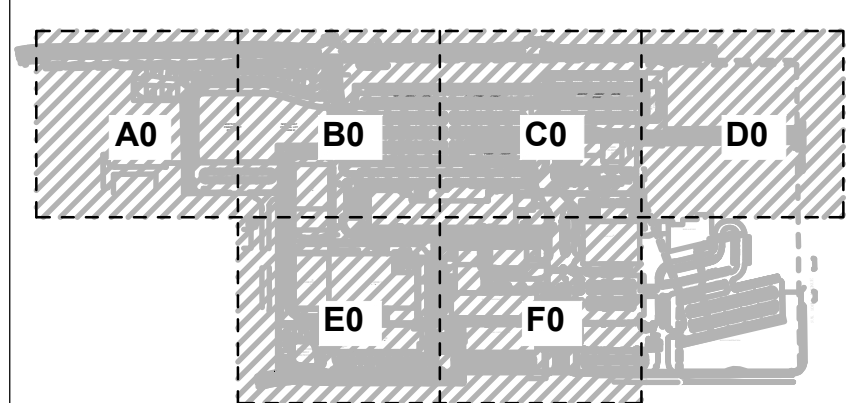
D3822800

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

NO	REVISION OR ISSUE	DATE	BY
----	-------------------	------	----

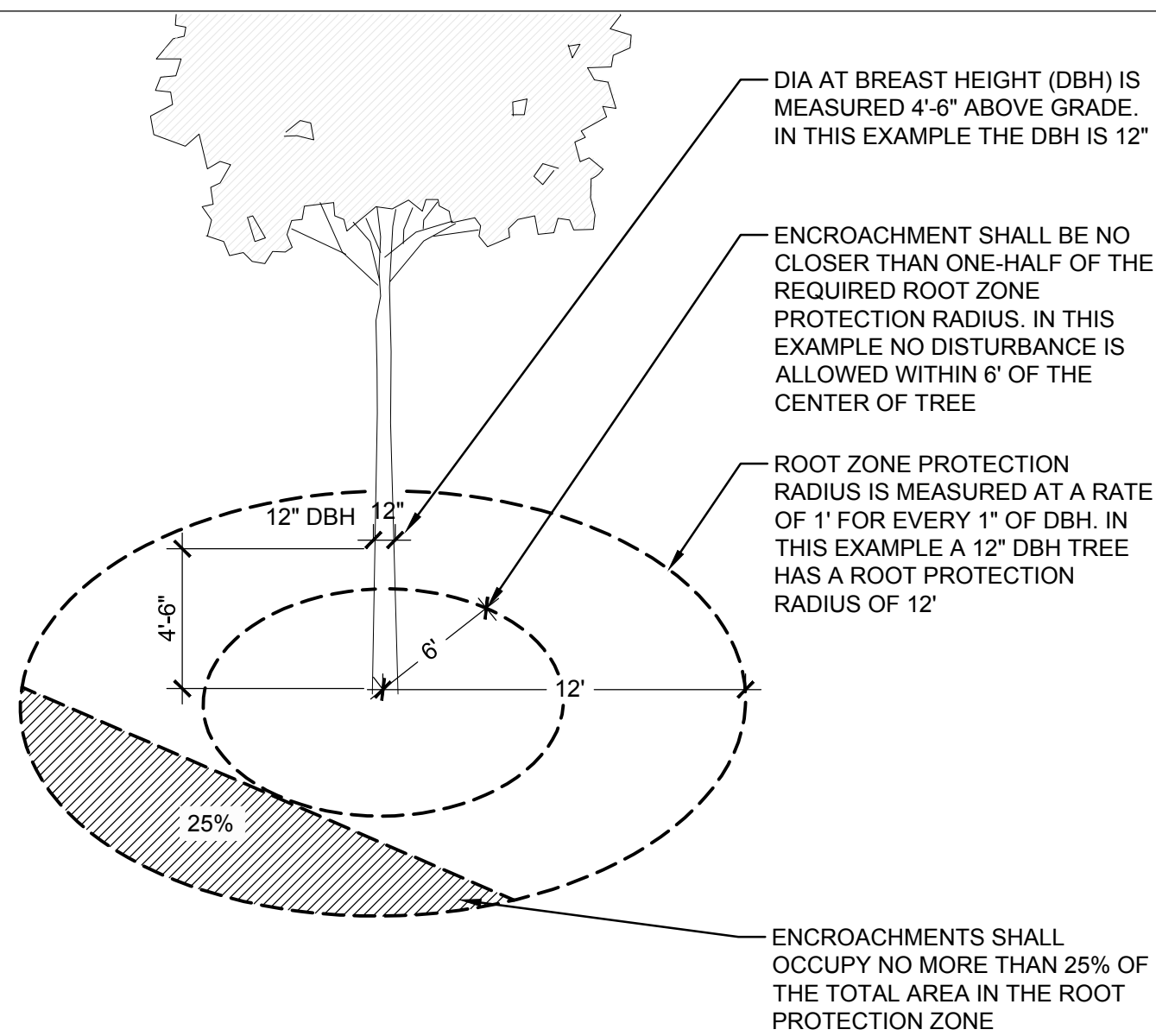


SITE

TITLE:
DETAILS

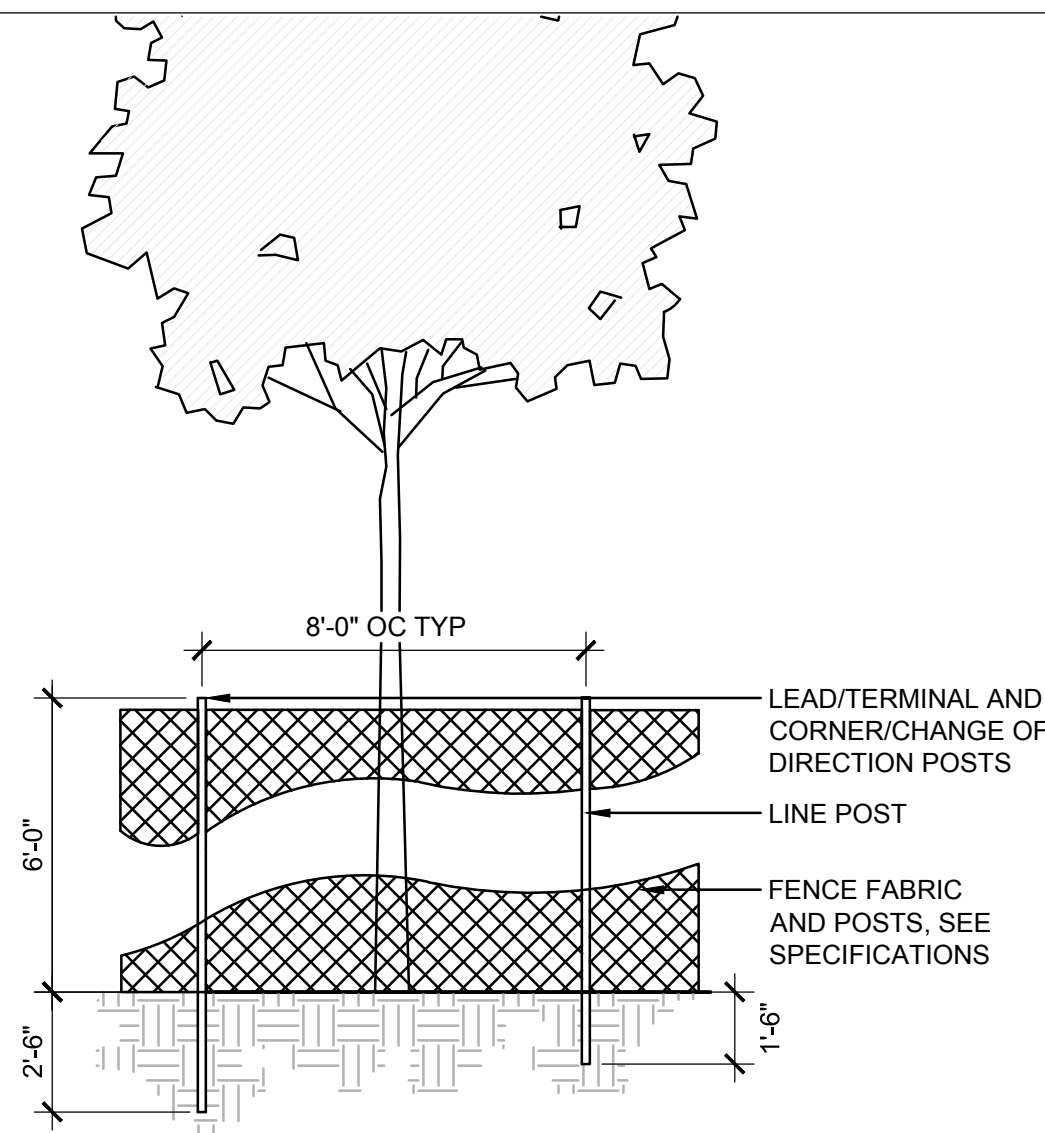
DATE ISSUED: DRAWING SCALE:
REVIT FILE: BUILDING DESIGNATOR:
DRAWING NUMBER:

SLA-7602



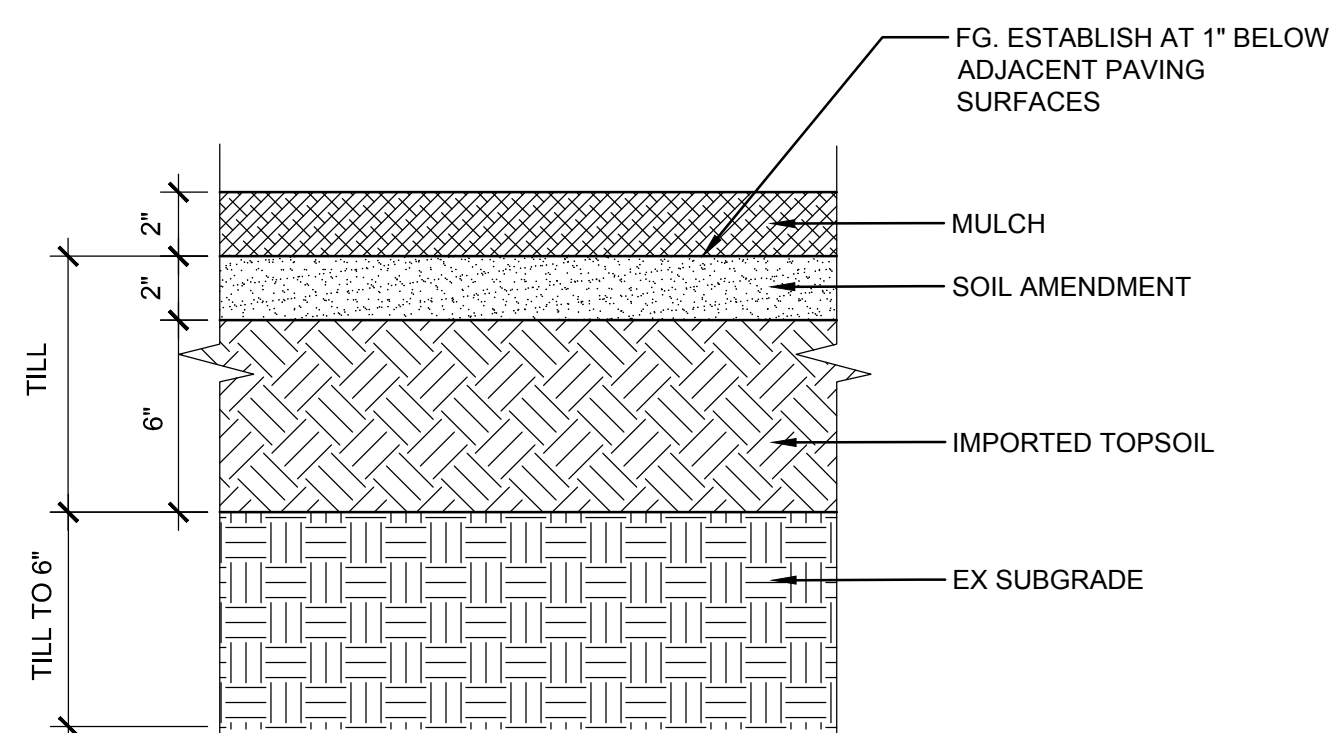
1 ROOT PROTECTION ZONE

SCALE: NTS



2 TREE PROTECTION

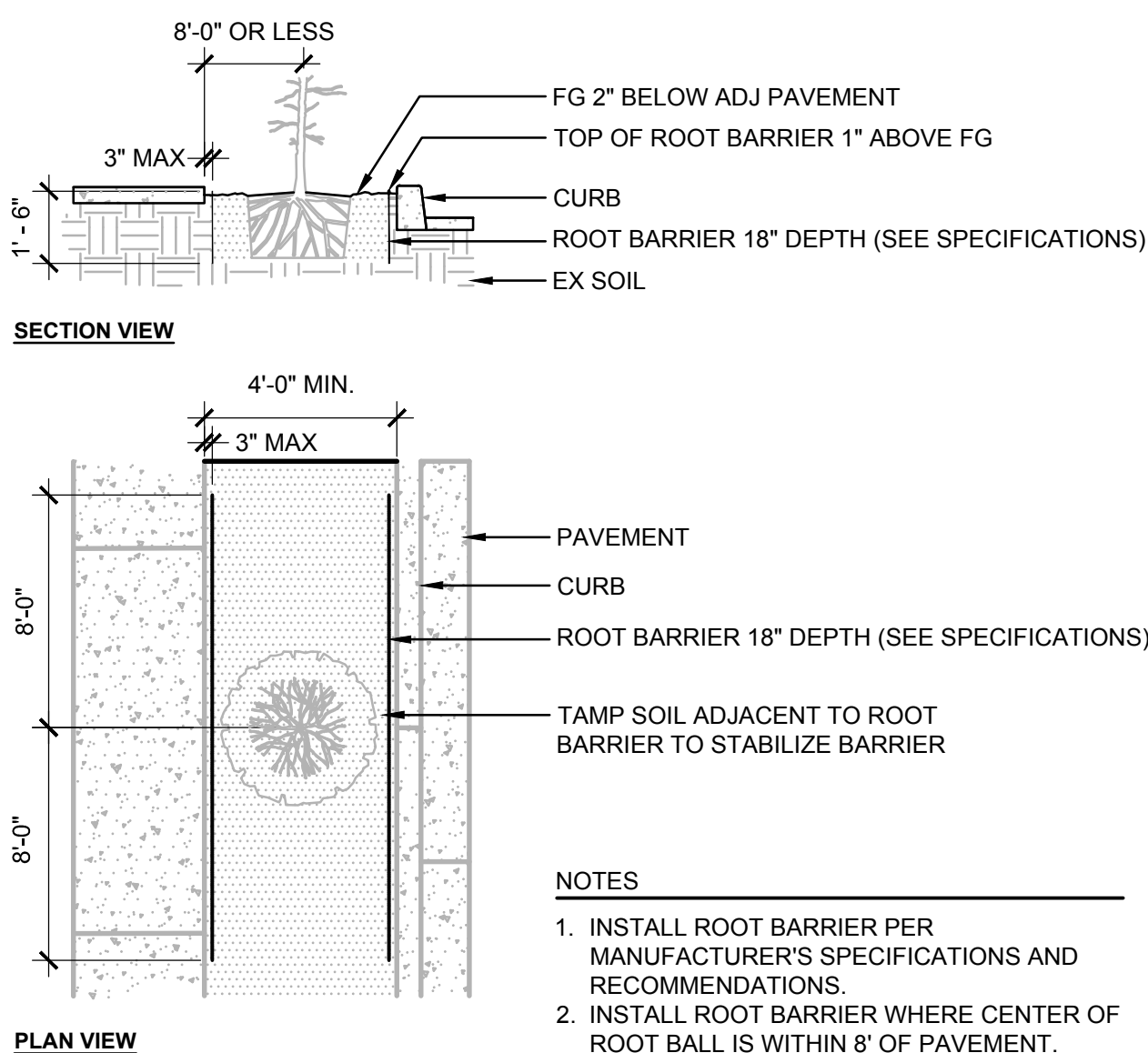
SCALE: NTS



- NOTES
1. REMOVE ALL ROCK, DEBRIS AND OTHER FOREIGN MATTER OVER 1" IN DIAMETER FROM TOP 12" OF SOIL.
 2. RIP AND TILL SUBGRADE TO MIN 6" DEEP PRIOR TO INSTALLING TOPSOIL AND TILL INTERFACE OF SUBGRADE AND TOPSOIL.
 3. TILL TOPSOIL AND SOIL AMENDMENTS TO A MIN 12" DEPTH.
 4. SUBMIT SAMPLE OF MULCH & TOPSOIL FOR ACCEPTANCE PRIOR TO PLACEMENT.

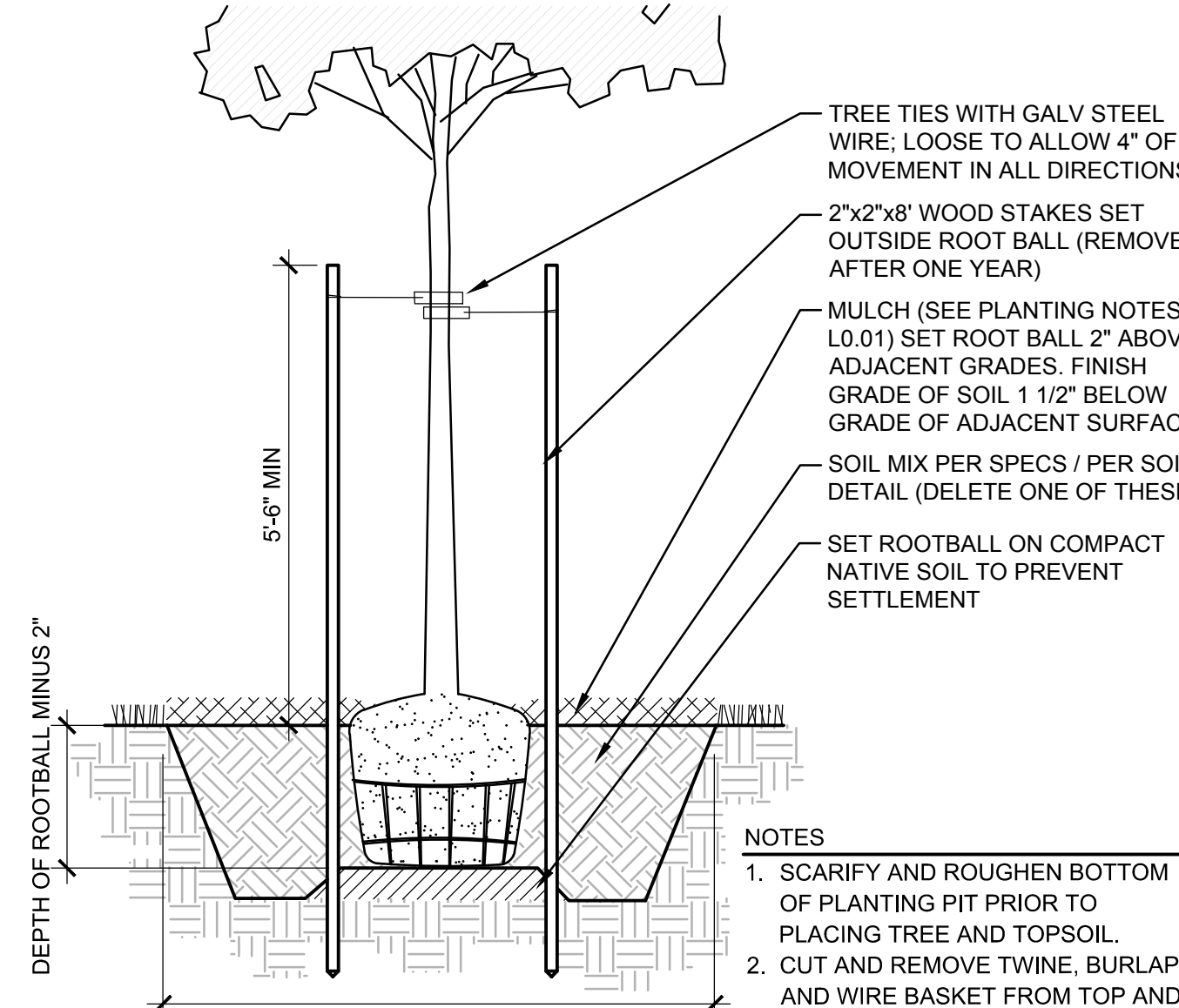
3 STANDARD SOIL PREPARATION

SCALE: NTS



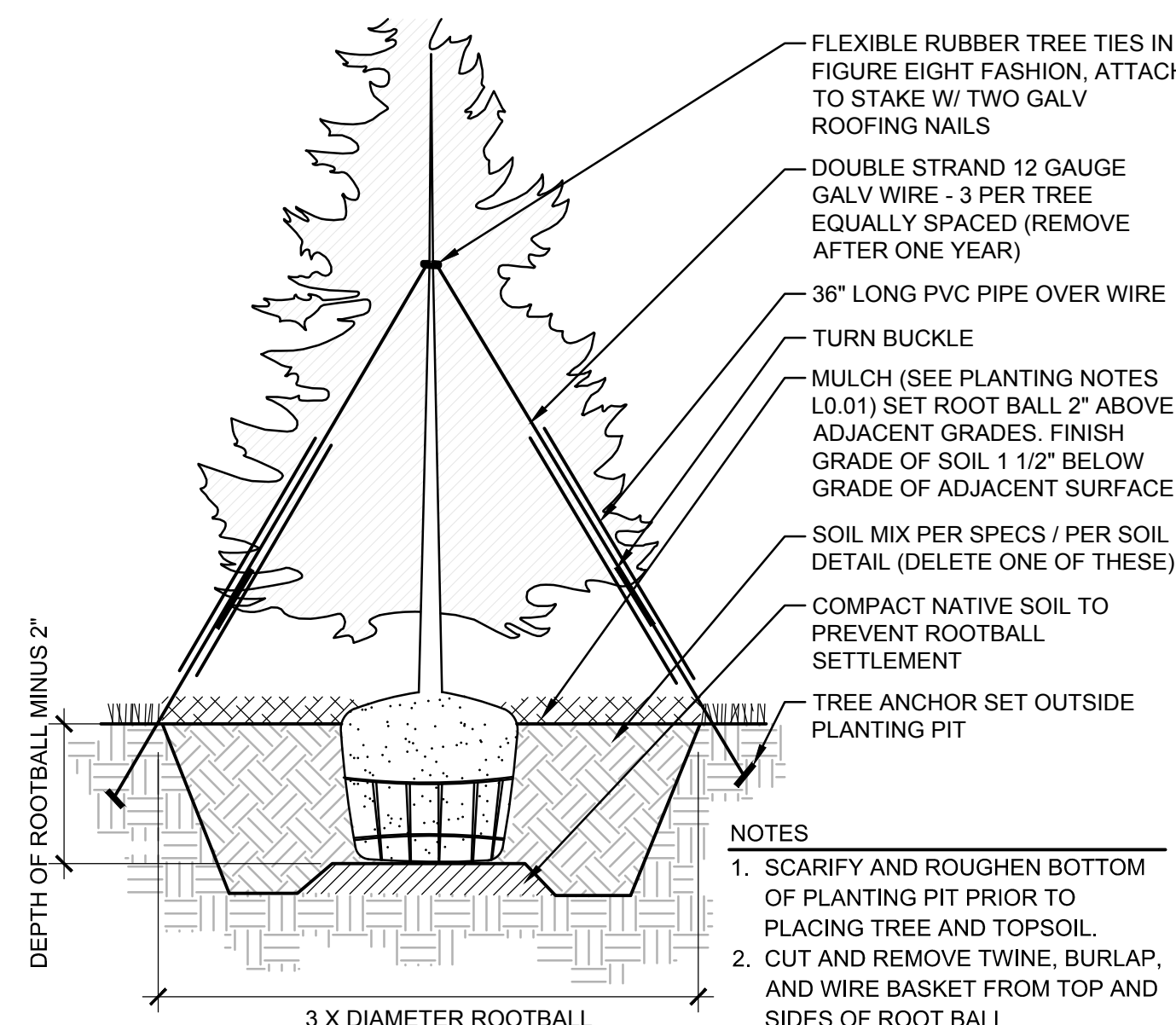
4 ROOT BARRIER

SCALE: NTS



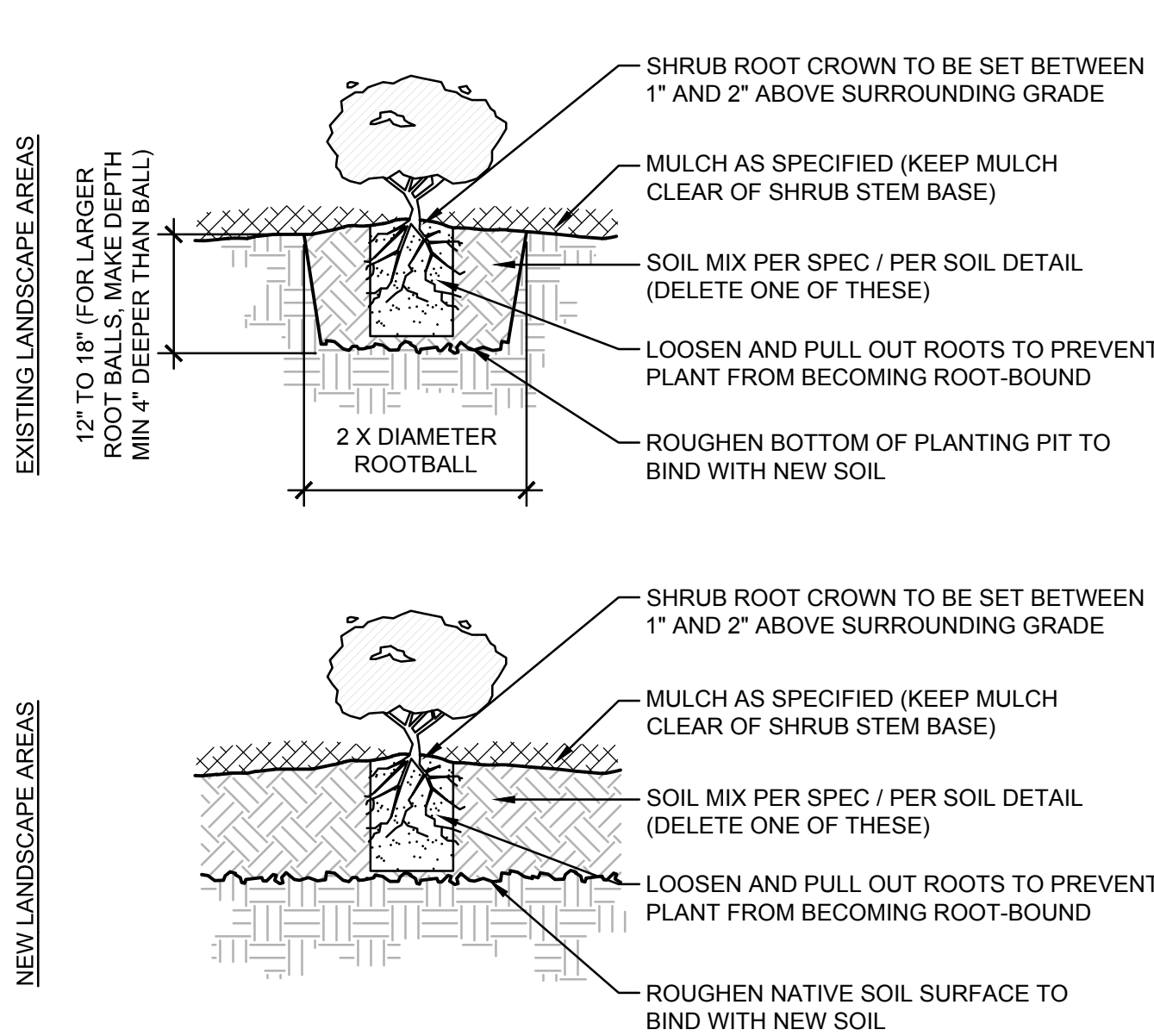
5 DECIDUOUS TREE PLANTING

SCALE: NTS



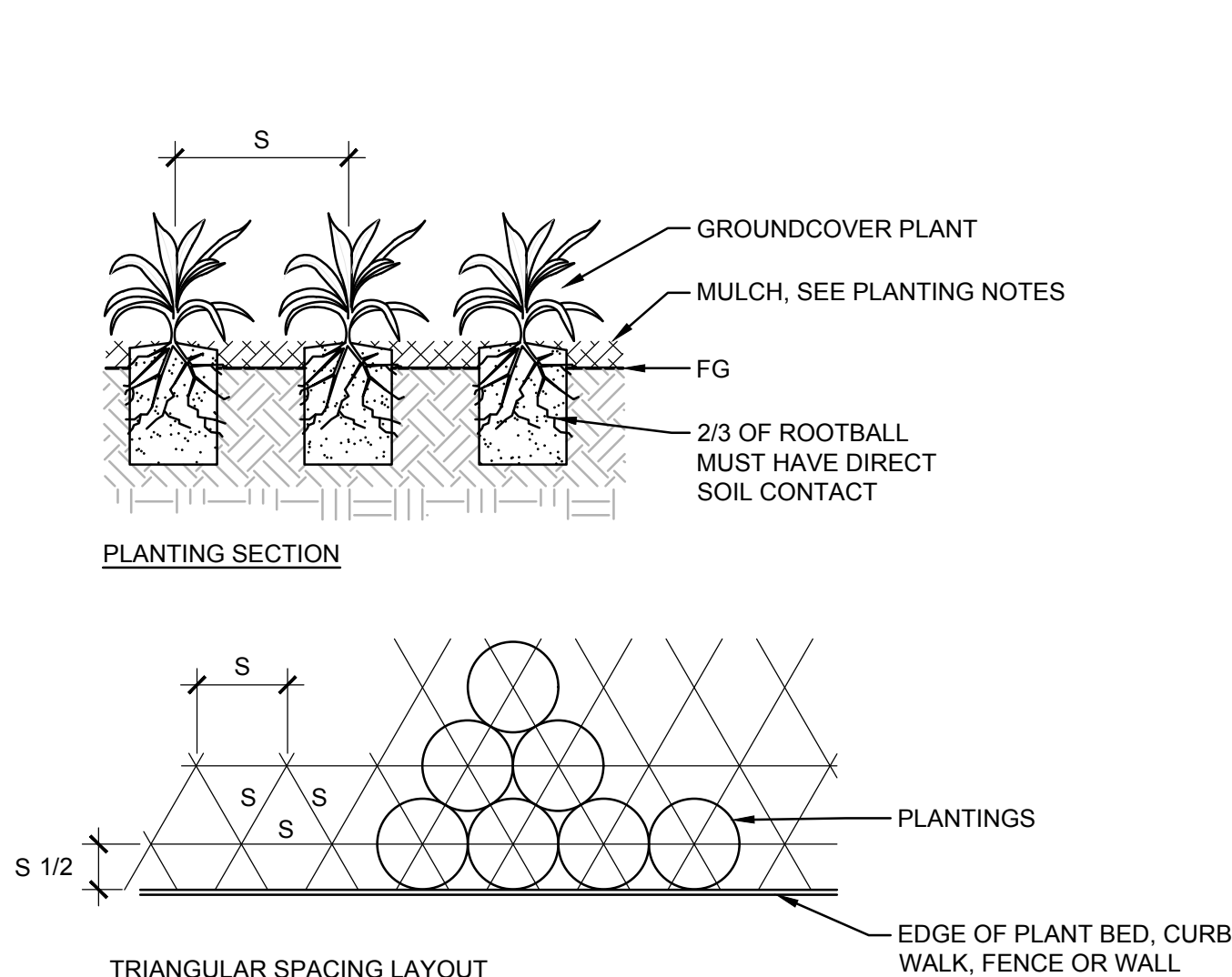
6 EVERGREEN TREE PLANTING

SCALE: NTS



7 SHRUB PLANTING

SCALE: NTS



8 GROUNDCOVER PLANTING

SCALE: NTS

TREE PROTECTION MEASURES

UNLESS OTHERWISE INDICATED FOR REMOVAL ALL TREES SHALL RECEIVE PROTECTIVE MEASURES FOR THE DURATION OF THE PROJECT IN ACCORDANCE WITH THE CITY REQUIREMENTS.

6' HIGH MIN CHAIN-LINK FENCING, SHALL BE ERECTED AND MAINTAINED. FENCING SHALL BE INSTALLED AS INDICATED ON THIS PLAN. IN AREAS WHERE ROOT ZONE ENCROACHMENT IS UNAVOIDABLE ADJUSTMENTS OF FENCING LOCATION SHALL BE COORDINATED WITH A CERTIFIED ARBORIST PRIOR TO START OF WORK.

NO ACTIVITY MAY BE CONDUCTED WITHIN ANY DESIGNATED TREE PROTECTION AREA INCLUDING BUT NOT LIMITED TO PARKING EQUIPMENT, PLACING SOLVENTS, STORING MATERIALS AND SOIL DEPOSITS, DUMPING CONCRETE WASHOUT, OR OTHER DEBRIS, OR ANY EXCAVATION OR COMPACTION WORK.

DURING CONSTRUCTION NO OBJECTS SHALL BE ATTACHED TO ANY TREE DESIGNATED TO BE RETAINED AND PROTECTED.

FENCE SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF CONSTRUCTION ACTIVITIES. MOVEMENT OR REMOVAL OF THE FENCE REQUIRES APPROVAL BY THE ARBORIST AND/OR THE CITY'S AUTHORIZED REPRESENTATIVE.

EXCAVATION / TRENCHING AROUND TREES

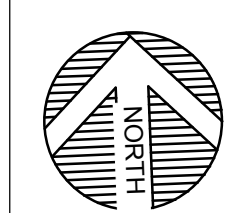
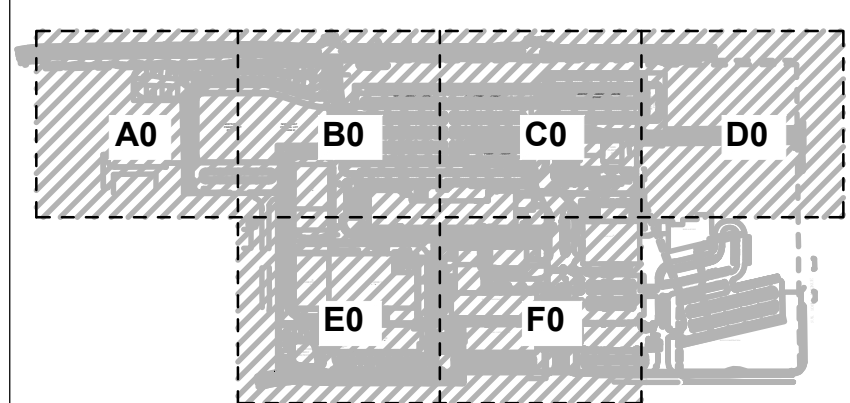
PROPOSED TRENCHING AND EXCAVATION AROUND TREES SHALL BE COORDINATED WITH CONSULTING ARBORIST.

WHERE TRENCHING IS REQUIRED WITHIN CRITICAL ROOT ZONE, TUNNEL UNDER OR AROUND ROOTS BY HAND DIGGING OR BORING. DO NOT CUT MAIN LATERAL ROOTS OR TAP ROOTS. CLEANLY CUT/SEVER SMALLER ROOTS. RELOCATE ROOTS IN BACKFILL AREAS WHEREVER POSSIBLE.

DO NOT ALLOW EXPOSED ROOTS TO DRY OUT BEFORE PERMANENT BACKFILL IS PLACED. PROVIDE TEMPORARY EARTH COVER, OR PACK WITH PEAT MOSS AND WRAP WITH BURLAP. WATER AND MAINTAIN IN MOIST CONDITION UNTIL RELOCATED AND COVERED WITH BACKFILL.

DRAWN:	REVIEWED:
DESIGNED:	APPROVED:
NOTICE:	STAMP:

NO	REVISION OR ISSUE	DATE	BY
----	-------------------	------	----



SITE

TITLE: **DETAILS**

DATE ISSUED: DRAWING SCALE:
REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER: **SLA-7603**

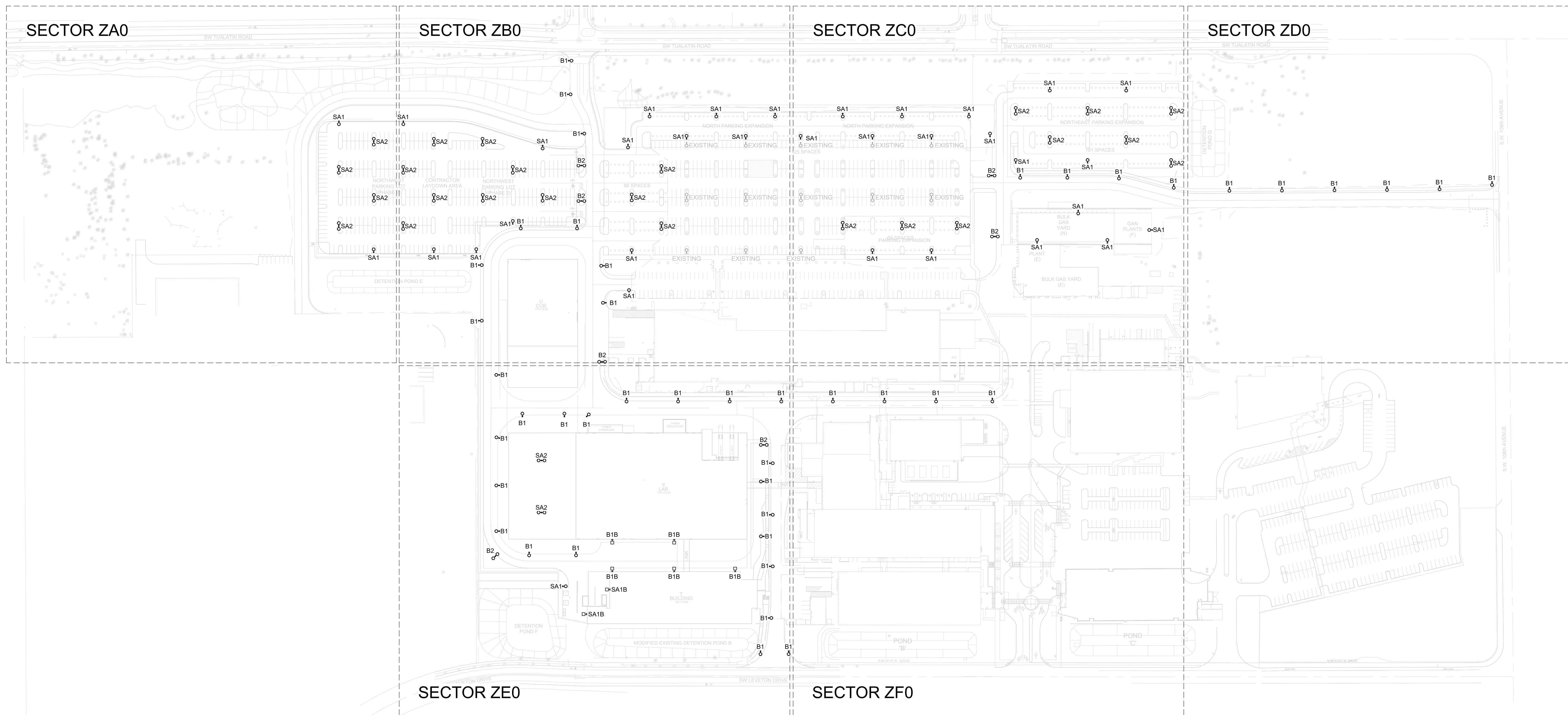
ARCHITECTURAL REVIEW
9/16/2024
(NOT FOR CONSTRUCTION)

GENERAL NOTES:

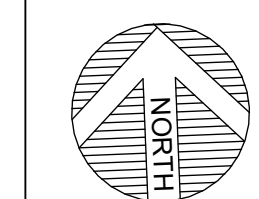
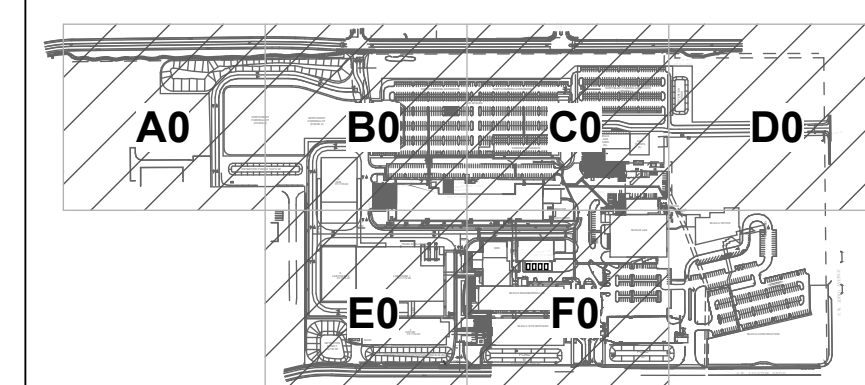
- A. FOR LUMINAIRE SCHEDULE AND DATASHEET SEE ZEL-0100.
- B. LIGHT LOSS FACTOR USED FOR CALCULATION IS 0.77 (BASED ON DATA PROVIDED BY MANUFACTURER).

KEYED NOTES:

NOT USED



NO	REVISION OR ISSUE	DATE	BY
----	-------------------	------	----



SITE



Lam RESEARCH
Lam Research Corporation
4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE
**SITE - TUX
ELECTRICAL
GROUND FLOOR - OVERALL
LIGHTING PLAN**

DATE ISSUED: DRAWING SCALE:

REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:

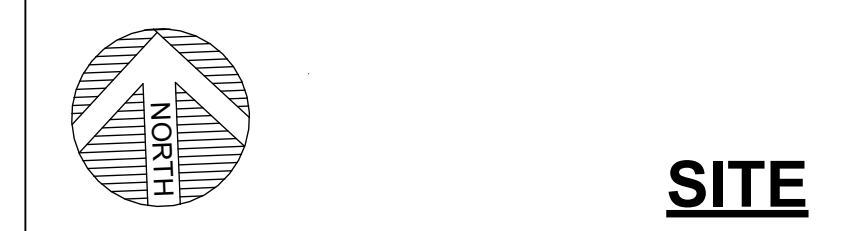
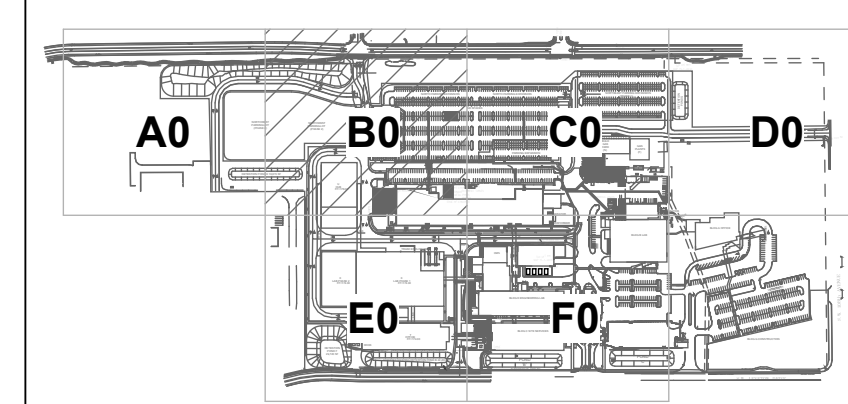
ZEL-0000

GENERAL NOTES:

A. FOR LUMINAIRE SCHEDULE AND DATASHEET SEE ZEL-0100
 B. LIGHT LOSS FACTOR USED FOR CALCULATION IS 0.77 (BASED ON DATA PROVIDED BY MANUFACTURER).

KEYED NOTES:
 NOT USED

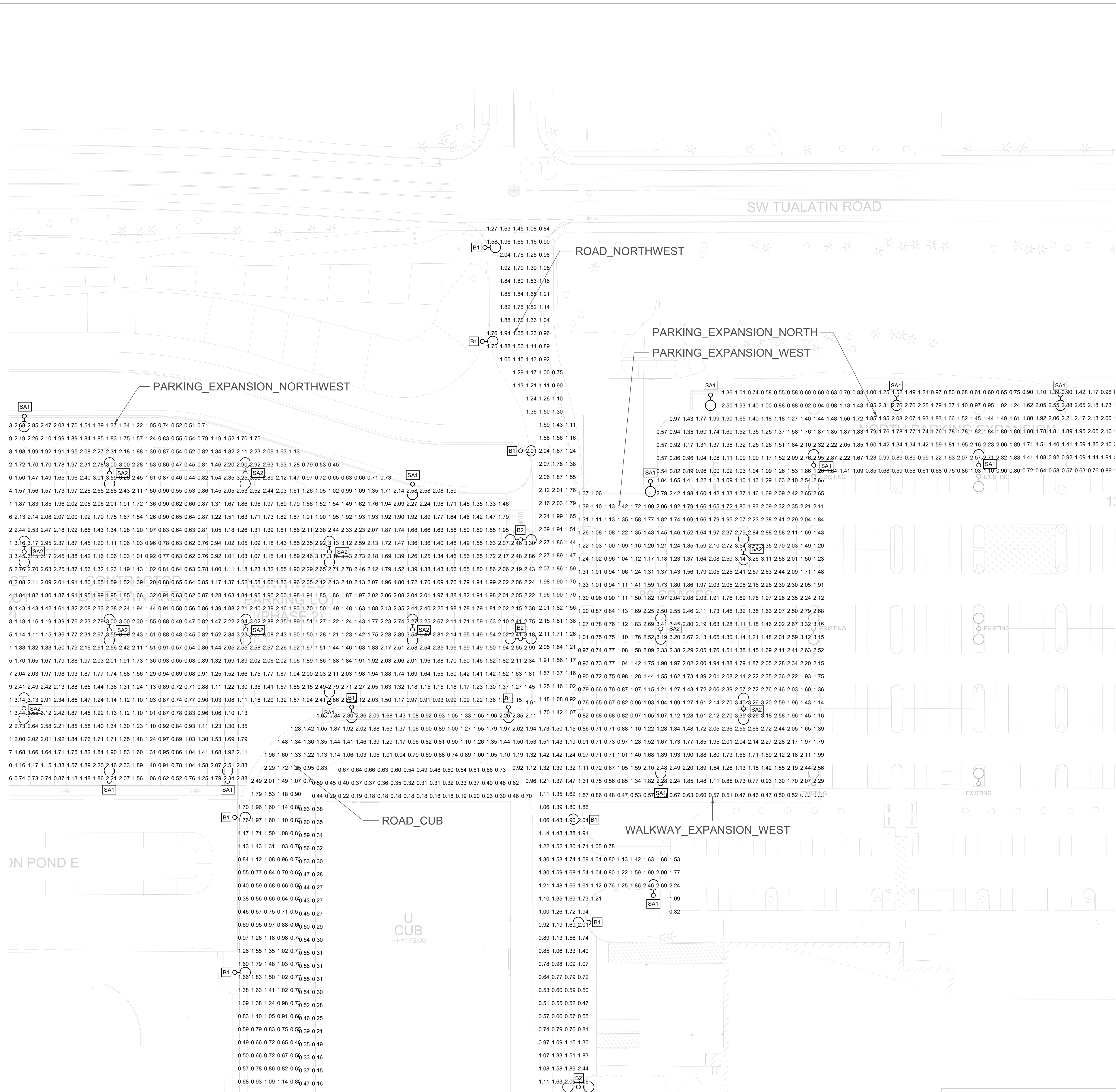
NO	REVISION OR ISSUE	DATE	BY



Lam RESEARCH
 Lam Research Corporation
 4400 CUSHING PARKWAY
 FREMONT, CA 94538

TITLE:
SITE - TUX ELECTRICAL GROUND FLOOR - SECTOR B PHOTOMETRICS

DATE ISSUED: DRAWING SCALE:
 REVIT FILE: BUILDING DESIGNATOR:
 DRAWING NUMBER:
ZEL-000B1



ZEL-000B1-ElumTools General Use Global Illuminance Results					
Calculation Points Name	Average	Maximum	Minimum	Avg/Min	Max/Min
PARKING_EXPANSION_NORTH	1.42 fc	3.02 fc	0.35 fc	4.0	8.6
PARKING_EXPANSION_NORTHWEST	1.69 fc	3.68 fc	0.44 fc	3.9	8.4
PARKING_EXPANSION_WEST	1.74 fc	3.83 fc	0.56 fc	3.1	6.8
ROAD_CUB	1.20 fc	3.06 fc	0.32 fc	3.8	9.6
ROAD_NORTHWEST	1.55 fc	2.39 fc	0.75 fc	2.1	3.2
WALKWAY_EXPANSION_WEST	0.59 fc	1.57 fc	0.33 fc	1.8	4.8

DATE: 9/16/2024 11:55:17 AM P:\TUX - Architect Drawings\DCR_23082805_ZEL\000B01_LAM Research Corp - TuxSite Electrical_TUXX-000B01.dwg JAC-JAC

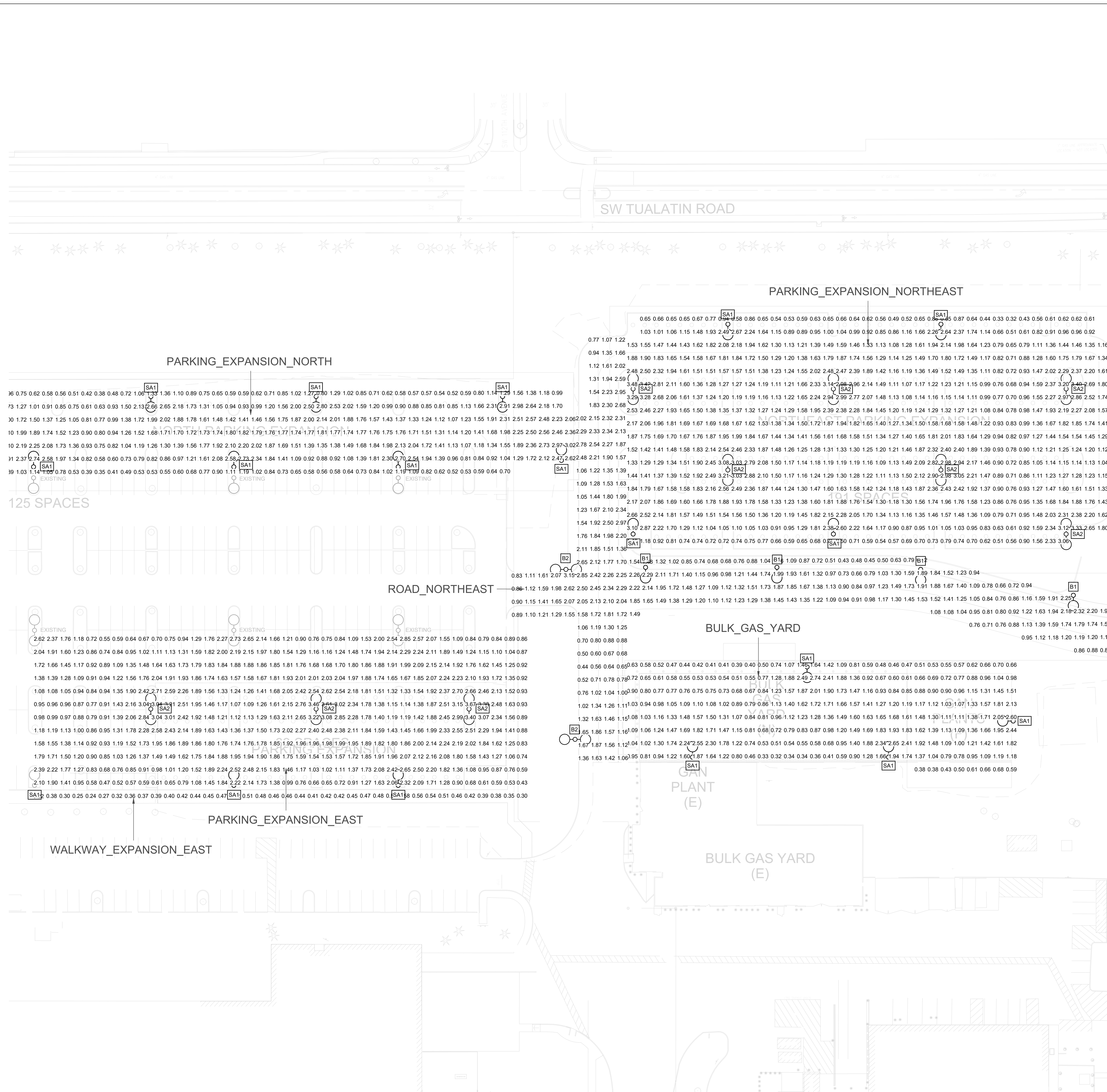
ARCHITECTURAL REVIEW
9/16/2024
(NOT FOR CONSTRUCTION)

GENERAL NOTES:

- A. FOR LUMINAIRE SCHEDULE AND DATASHEET SEE ZEL-0100.
- B. LIGHT LOSS FACTOR USED FOR CALCULATION IS 0.77 (BASED ON DATA PROVIDED BY MANUFACTURER).

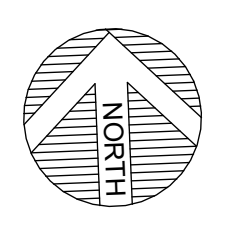
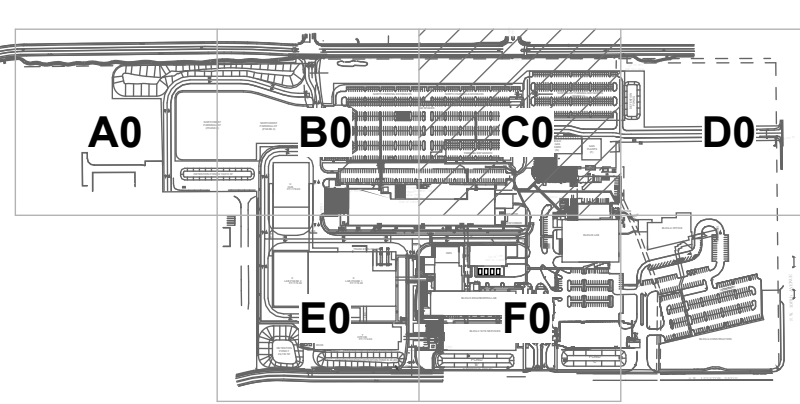
KEYED NOTES:

NOT USED



ZEL-000C1-ElumTools General Use Global Illuminance Results					
Calculation Points Name	Average	Maximum	Minimum	Avg/Min	Max/Min
BULK GAS YARD	1.13 fc	2.74 fc	0.32 fc	3.5	8.5
PARKING EXPANSION EAST	1.66 fc	3.67 fc	0.47 fc	3.5	7.8
PARKING EXPANSION NORTH	1.42 fc	3.02 fc	0.35 fc	4.0	8.6
PARKING EXPANSION NORTHEAST	1.49 fc	3.48 fc	0.32 fc	4.6	10.7
ROAD NORTHEAST	1.25 fc	3.15 fc	0.40 fc	3.1	7.8
WALKWAY EXPANSION EAST	0.51 fc	0.93 fc	0.22 fc	2.3	4.2

NO	REVISION OR ISSUE	DATE	BY



SITE

Lam RESEARCH
Lam Research Corporation
4400 CUSHING PARKWAY
FREMONT, CA 94538

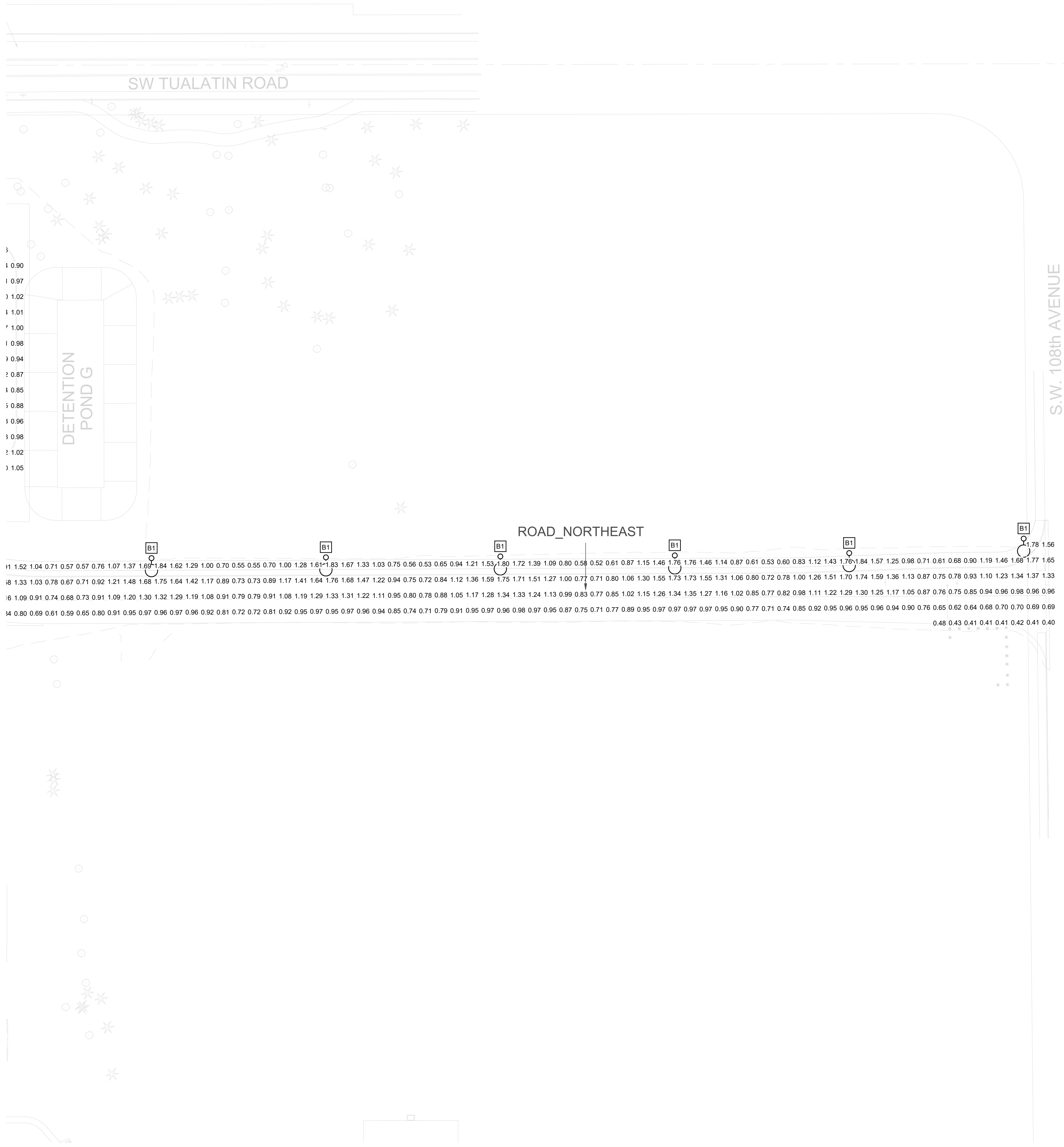
SITE - TUX ELECTRICAL GROUND FLOOR - SECTOR C PHOTOMETRICS

DATE ISSUED: DRAWING SCALE:
REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:

ZEL-000C1

DATE: 9/16/2024 11:52:38 AM PATH: \\A0001-Docs\GIS\DCP_C3822800_ZEL-000C1-LAM Research Corp - Tuxsite Expansion\TUXSITE-AM000-000000-DIM-ARCH.rvt



1.90
1.97
1.02
1.01
1.00
0.98
0.94
0.87
0.85
0.88
0.96
0.98
1.02
1.05

ROAD_NORTHEAST

1.52 1.04 0.71 0.57 0.76 1.07 1.37 1.89 1.84 1.62 1.29 1.00 0.70 0.55 0.55 0.70 1.00 1.28 1.61 1.83 1.67 1.33 1.03 0.75 0.56 0.53 0.65 0.94 1.21 1.53 1.80 1.72 1.39 1.09 0.80 0.58 0.52 0.61 0.87 1.15 1.46 1.76 1.76 1.46 1.14 0.87 0.61 0.53 0.60 0.83 1.12 1.43 1.76 1.84 1.57 1.25 0.98 0.71 0.61 0.68 0.90 1.19 1.46 1.68 1.77 1.65

1.33 1.03 0.78 0.67 0.71 0.92 1.21 1.48 1.68 1.75 1.64 1.42 1.17 0.89 0.73 0.73 0.89 1.17 1.41 1.64 1.76 1.68 1.47 1.22 0.94 0.75 0.72 0.84 1.12 1.36 1.59 1.75 1.71 1.51 1.27 1.00 0.77 0.71 0.80 1.06 1.30 1.55 1.73 1.55 1.31 1.06 0.80 0.72 0.78 1.00 1.26 1.51 1.70 1.74 1.59 1.36 1.13 0.87 0.75 0.78 0.93 1.10 1.23 1.34 1.37 1.33

1.09 0.91 0.74 0.68 0.73 0.91 1.09 1.20 1.30 1.32 1.29 1.19 1.08 0.91 0.79 0.79 0.91 1.08 1.19 1.29 1.33 1.31 1.22 1.11 0.95 0.80 0.78 0.88 1.05 1.17 1.28 1.34 1.33 1.24 1.13 0.99 0.83 0.77 0.85 1.02 1.15 1.26 1.34 1.35 1.27 1.16 1.02 0.85 0.77 0.82 0.88 1.11 1.22 1.29 1.30 1.25 1.17 1.05 0.87 0.76 0.75 0.85 0.94 0.96 0.98 0.96 0.96

0.80 0.69 0.61 0.59 0.65 0.80 0.91 0.95 0.97 0.96 0.97 0.96 0.92 0.81 0.72 0.72 0.81 0.92 0.95 0.97 0.95 0.97 0.96 0.94 0.85 0.74 0.71 0.79 0.91 0.95 0.97 0.96 0.98 0.97 0.95 0.87 0.75 0.71 0.77 0.89 0.95 0.97 0.97 0.97 0.97 0.95 0.90 0.77 0.71 0.74 0.85 0.92 0.95 0.96 0.95 0.96 0.94 0.90 0.76 0.65 0.62 0.64 0.68 0.70 0.70 0.69 0.69

0.48 0.43 0.41 0.41 0.41 0.42 0.41 0.40

Calculation Points Name	Average	Maximum	Minimum	Avg/Min	Max/Min
ROAD_NORTHEAST	1.25 fc	3.15 fc	0.40 fc	3.1	7.8

Jacobs

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M.C.
Architecture - Interiors
Planning - Engineering

CORBIN
CONSULTING ENGINEERS
1905 NW 180TH PL, STE 121
BEAVERTON, OR 97006

Portland, OR
503.224.9560

Vancouver, WA
360.695.3979

Seattle, WA
206.749.9993

www.mackenzieinc

MACKENZIE

JACOBS PROJECT No.:
D3822800

CLIENT PROJECT No.:

DRAWN:

REVIEWED:

DESIGNED:

APPROVED:

NOTICE:

STAMP:

**ARCHITECTURAL
REVIEW**
9/16/2024
(NOT FOR CONSTRUCTION)

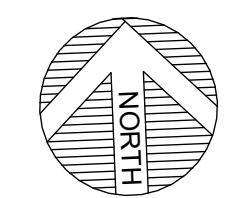
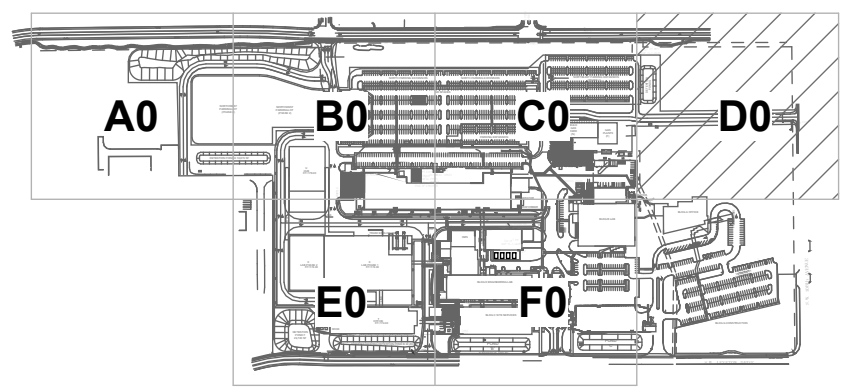
GENERAL NOTES:

- A. FOR LUMINAIRE SCHEDULE AND DATASHEET SEE ZEL-0100
- B. LIGHT LOSS FACTOR USED FOR CALCULATION IS 0.77 (BASED ON DATA PROVIDED BY MANUFACTURER).

KEYED NOTES:

NOT USED

NO REVISION OR ISSUE DATE BY



SITE

Lam
RESEARCH

Lam Research Corporation
4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE
**SITE - TUX
ELECTRICAL
GROUND FLOOR - SECTOR D
PHOTOMETRICS**

DATE ISSUED: DRAWING SCALE:

REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:

ZEL-000D1

DATE: 9/16/2024 11:53:54 AM
PWT: Autodesk Docs:US:CP_C3822800_LAM Research Corp_Tuxux Electrical_TUXES-MAN-000-D1M-JAC-INT

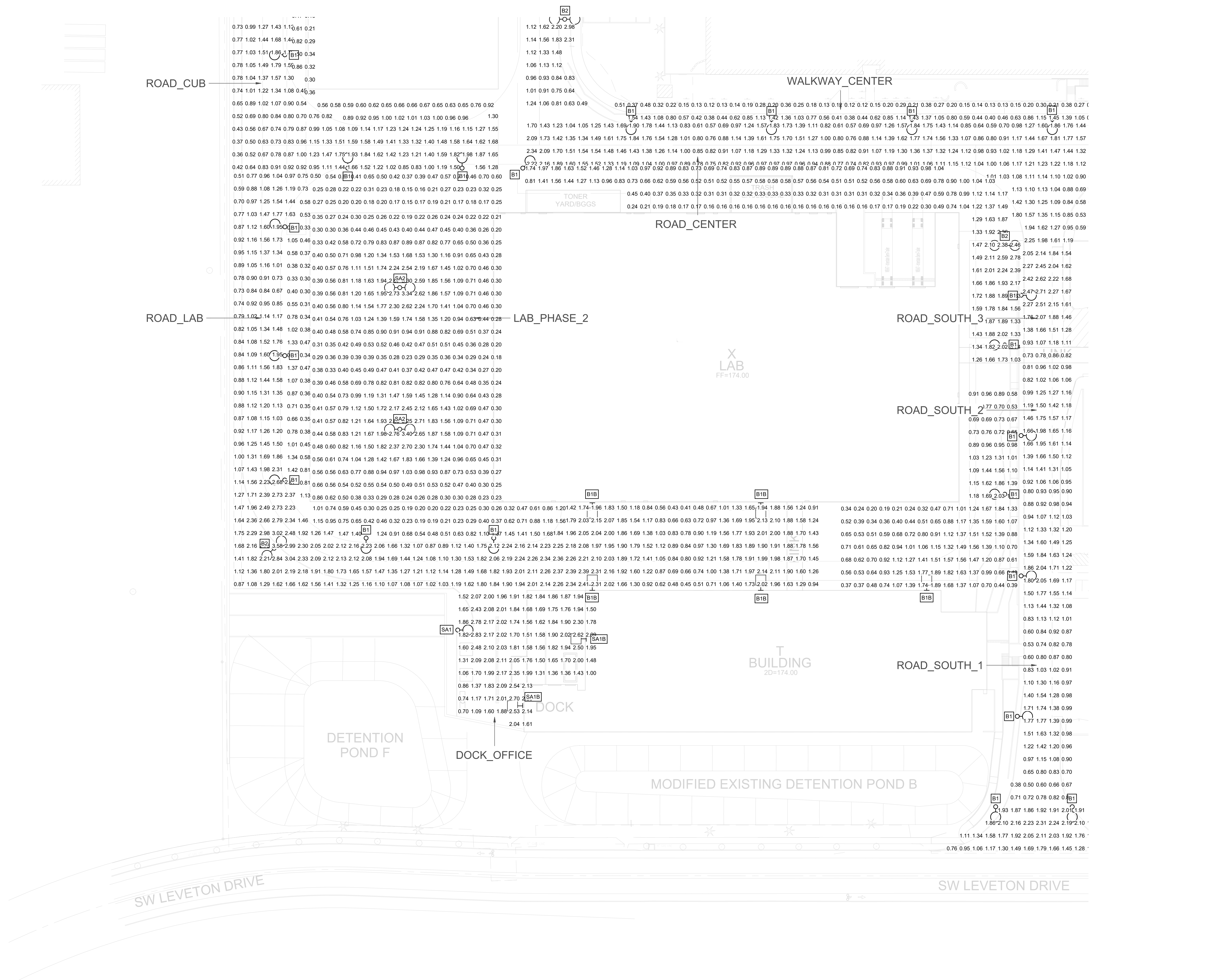
ARCHITECTURAL
REVIEW
9/16/2024
(NOT FOR CONSTRUCTION)

GENERAL NOTES:

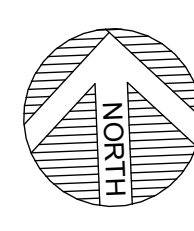
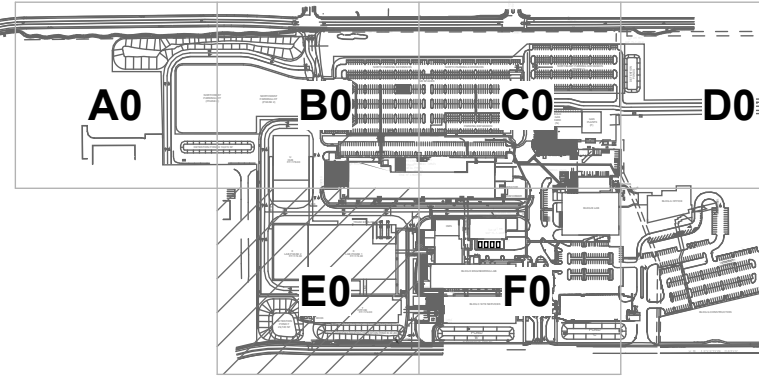
- A. FOR LUMINAIRE SCHEDULE AND DATASHEET SEE ZEL-0100
- B. LIGHT LOSS FACTOR USED FOR CALCULATION IS 0.77 (BASED ON DATA PROVIDED BY MANUFACTURER).

KEYED NOTES:

NOT USED



ZEL-000E1-ElumTools General Use Global Illuminance Results					
Calculation Points Name	Average	Maximum	Minimum	Avg/Min	Max/Min
DOCK_OFFICE	1.84 fc	2.83 fc	0.70 fc	2.6	4.1
LAB_PHASE_2	0.87 fc	3.40 fc	0.18 fc	4.9	19.1
ROAD_CENTER	1.17 fc	2.34 fc	0.40 fc	3.0	5.9
ROAD_CUB	1.20 fc	3.06 fc	0.32 fc	3.8	9.6
ROAD_LAB	1.54 fc	3.58 fc	0.41 fc	3.8	8.7
ROAD_SOUTH_1	1.29 fc	2.31 fc	0.38 fc	3.4	6.1
ROAD_SOUTH_2	1.28 fc	1.98 fc	0.81 fc	1.6	2.5
ROAD_SOUTH_3	1.75 fc	2.71 fc	0.73 fc	2.4	3.7
WALKWAY_CENTER	0.51 fc	1.54 fc	0.09 fc	5.5	16.8



SITE



Lam Research Corporation
4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE:

SITE - TUX
ELECTRICAL
GROUND FLOOR - SECTOR E
PHOTOMETRICS

DATE ISSUED:

DRAWING SCALE:

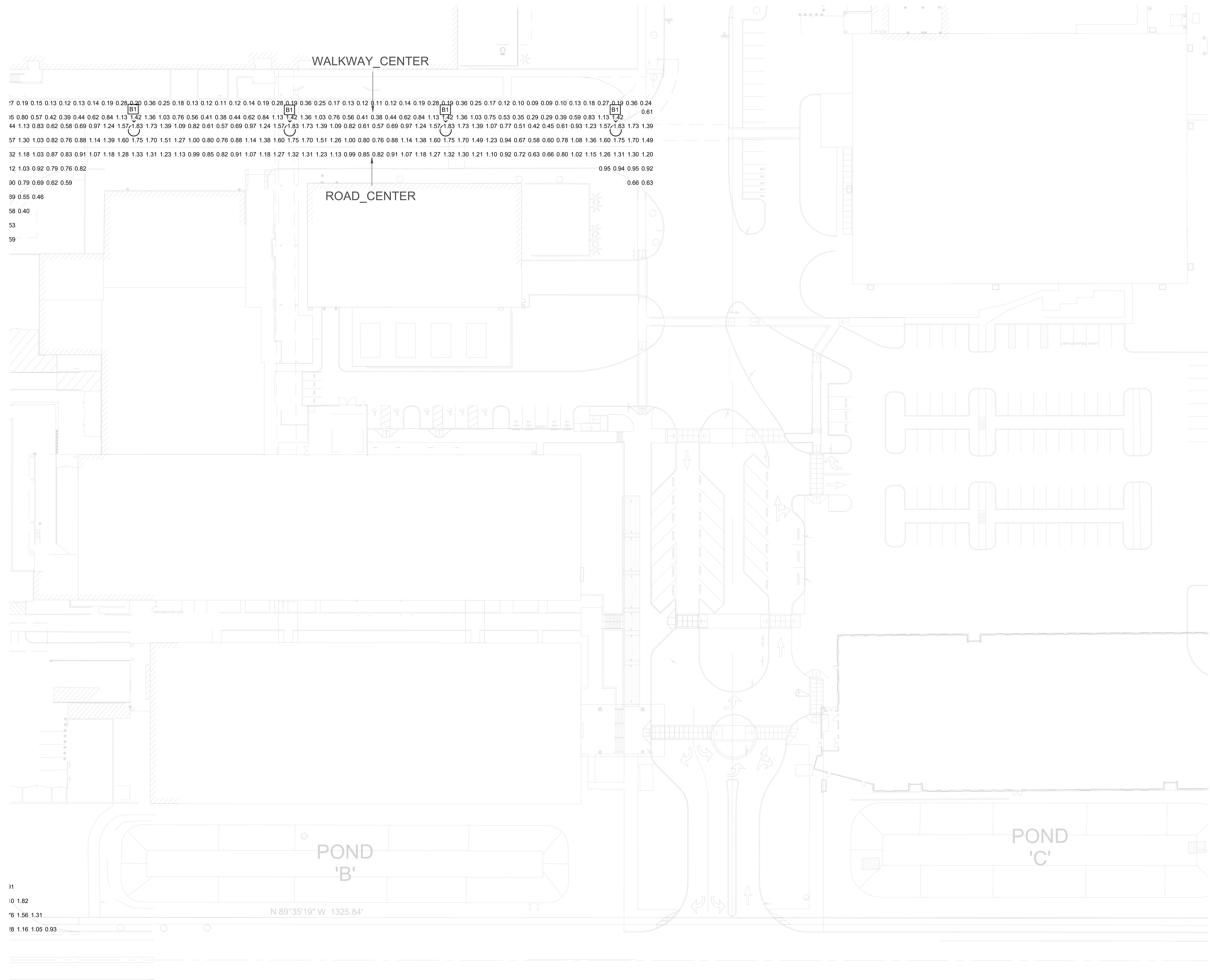
REVIT FILE:

BUILDING DESIGNATOR:

DRAWING NUMBER:

ZEL-000E1

DATE: 9/16/2024 11:55:41 AM PWT: AutoCAD LT/2024:ZEL-000E1-LAM-Research-Corp_TuxSiteGroundFloorSectorE.dwg



Jacobs

Portland Office
2020 S.W. 4th Avenue, 3rd Floor
Portland, Oregon 97201

M.C.
CORBIN
CONSULTING ENGINEERS

1905 NW 180TH PL, STE 121
BEAVERTON, OR 97006

Portland, OR
503.224.9560
Vancouver, WA
360.695.7878
Seattle, WA
206.749.9993
www.mackenzieinc.com

MACKENZIE

JACOBS PROJECT No.: D3822800 CLIENT PROJECT No.:

DRAWN: REVIEWED:

DESIGNED: APPROVED:

NOTICE: STAMP:

ARCHITECTURAL REVIEW
9/16/2024
(NOT FOR CONSTRUCTION)

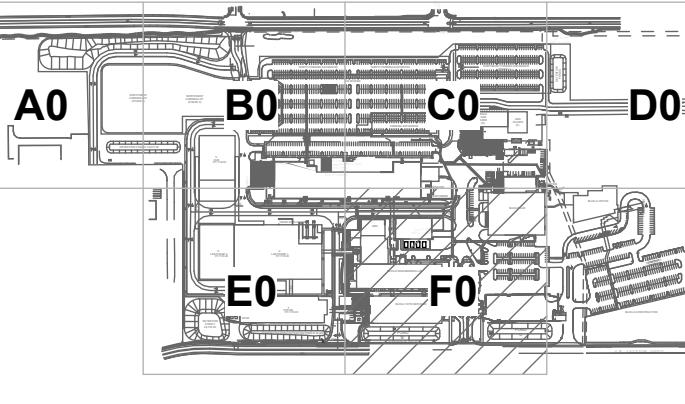
GENERAL NOTES:

- A. FOR LUMINAIRE SCHEDULE AND DATASHEET SEE ZEL-0100
- B. LIGHT LOSS FACTOR USED FOR CALCULATION IS 0.77 (BASED ON DATA PROVIDED BY MANUFACTURER).

KEYED NOTES:

NOT USED

NO	REVISION OR ISSUE	DATE	BY



SITE

Lam RESEARCH
Lam Research Corporation
4400 CUSHING PARKWAY
FREMONT, CA 94538

TITLE
**SITE - TUX
GROUND FLOOR - SECTOR F
PHOTOMETRICS**

DATE ISSUED: DRAWING SCALE:
REVIT FILE: BUILDING DESIGNATOR:

DRAWING NUMBER:
ZEL-000F1

ZEL-000F1-ElumTools General Use Global Illuminance Results

Calculation Points Name	Average	Maximum	Minimum	Avg/Min	Max/Min
ROAD_CENTER	1.17 fc	2.34 fc	0.40 fc	3.0	5.9
WALKWAY_CENTER	0.51 fc	1.54 fc	0.09 fc	5.5	16.8

DATE: 9/16/2024 11:58:43 AM PWT: AutoCAD/Doc/ISO/OP_C3822800_ZEL-000F1_LAM Research Corp_TuxSiteGroundFloorSectorF.dwg

